

# 111 WEST 57TH STREET

NEW YORK, NY 10019

DOB PAA  
3.27.15

**JDS DEVELOPMENT GROUP**

**sh p**

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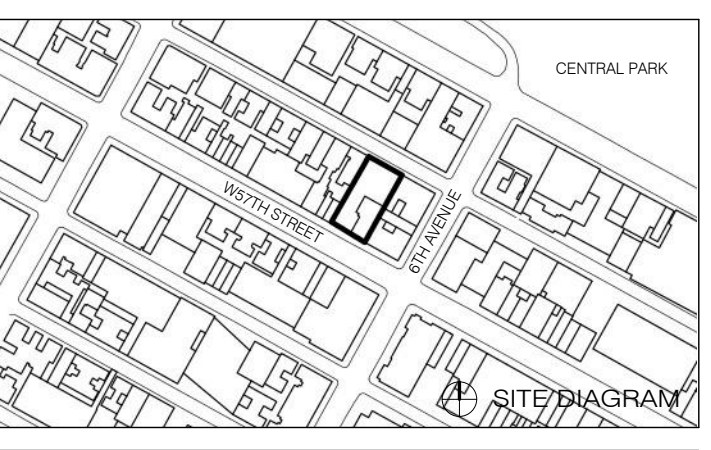


PROPERTY MARKETS GROUP  
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 NEW YORK, NY 10019  
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CURRENT ISSUE: **DOB PAA**



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	5.1.14	DOB PLING SET
NO.	DATE	REVISION

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DRAWING TITLE

**TITLE SHEET**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130607	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121332068	
DRAWING NUMBER		

**T-000.01**

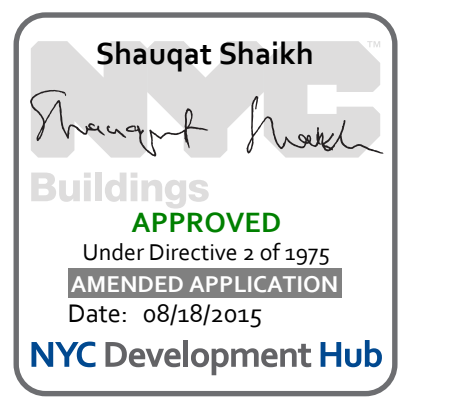
SHEET NUMBER	SHEET NAME	0 0 1	SHEET NUMBER	SHEET NAME	0 0 1	SHEET NUMBER	SHEET NAME	0 0 1	SHEET NUMBER	SHEET NAME	0 0 1
TITLE			A-505.01	STAIR A/B TOWER ENLARGED PLANS		S-936.00	SOUTH SHEARWALL ELEVATIONS 7		M-504.00	HVAC SCHEDULES SHEET No. 5	
T-000.01	TITLE SHEET		A-506.01	STAIR D & STAIR E PLANS AND SECTIONS		S-937.00	SHEARWALL ELEVATION 8		M-505.00	HVAC SCHEDULES SHEET No. 6	
GENERAL			A-507.01	TOWER TOP, BMU & EMR ACCESS STAIRS		S-938.01	LINK BEAM SCHEDULE 1		M-506.00	HVAC SCHEDULES SHEET No. 7	
G-001.01	INDEX		A-508.01	STAIR PLANS & SECTIONS		S-939.01	LINK BEAM SCHEDULE 2		M-507.00	HVAC SCHEDULES SHEET No. 8	
G-002.01	GENERAL NOTES, SYMBOLOLOGY & ABBREVIATIONS		A-509.00	STAIR PLANS & SECTIONS		S-940.01	SHEARWALL REINFORCEMENT PLAN - FOUNDATION TO U/S OF GROUND		M-600.00	HVAC DETAILS SHEET No. 1	
G-005.01	OCCUPANT LOAD SCHEDULE		A-510.01	RAILING TYPES AND DETAILS		S-941.00	SHEARWALL REINFORCEMENT PLAN - GROUND TO U/S OF 9TH FLOOR		M-601.01	HVAC DETAILS SHEET No. 2	
G-010.01	FLOOR ARRANGEMENT		A-511.00	STAIR DETAILS - STEINWAY		S-942.00	SHEARWALL REINFORCEMENT PLAN - 9TH - U/S OF 16TH FLOOR		M-602.00	HVAC DETAILS SHEET No. 3	
G-011.01	LIFE SAFETY PLANS SUBCELLAR + CELLAR		A-512.00	STAIR DETAILS - TOWER		S-943.00	SHEARWALL REINFORCEMENT PLAN - 16TH - U/S OF 34TH FLOOR		M-603.01	HVAC DETAILS SHEET No. 4	
G-012.01	LIFE SAFETY PLANS LEVELS 1 + 2		A-513.00	STAIR DETAILS - MISCELLANEOUS		S-944.00	SHEARWALL REINFORCEMENT PLAN - 34TH - U/S OF 45TH FLOOR		M-604.00	HVAC DETAILS SHEET No. 5	
G-013.01	LIFE SAFETY PLANS LEVELS 3 + 4		A-660.01	FLOOR TYPES AND DETAILS		S-945.01	SHEARWALL REINFORCEMENT PLAN - 45TH - U/S OF 58TH FLOOR		M-605.01	HVAC DETAILS SHEET No. 6	
G-014.01	LIFE SAFETY PLANS LEVELS 5 + 6		A-670.01	CEILING TYPES AND DETAILS		S-946.00	SHEARWALL REINFORCEMENT PLAN - 58TH - U/S OF 80TH FLOOR		M-606.00	HVAC DETAILS SHEET No. 7	
G-015.01	LIFE SAFETY PLANS LEVELS 7 + 8		A-701.01	TYPICAL WALL DETAILS		S-947.00	SHEARWALL REINFORCEMENT PLAN - 8TH - U/S OF 85TH FLOOR		PLUMBING		
G-016.01	LIFE SAFETY PLANS LEVELS 9 + 10		A-702.01	TYPICAL WALL BASES		S-949.01	TYPICAL SHEARWALL DETAILS		P-001.01	PLUMBING TITLE SHEET	
G-017.01	LIFE SAFETY PLANS LEVELS 11 + 12		A-705.01	WALL DETAILS - RESTORED BRICK COURTYARD WALL		S-950.01	STEEL COLUMN SCHEDULE & DETAILS		P-099.01	PLUMBING CELLAR & SUBCELLAR BURIED PIPING PLANS	
G-018.01	LIFE SAFETY PLANS LEVELS 13 + 14		A-706.01	PORTE COCHERE - WALL DETAILS		S-955.01	CONCRETE COLUMN SCHEDULE		P-100.01	PLUMBING CELLAR & SUBCELLAR FLOOR PLANS	
G-019.01	LIFE SAFETY PLANS LEVELS 15 + 16		A-707.01	WALL DETAILS - ROTUNDA AND ATRIUM FEATURE WALLS		S-956.01	CONCRETE COLUMN DETAILS		P-101.01	PLUMBING 1ST & 2ND FLOOR PLANS	
G-020.01	LIFE SAFETY PLANS LEVELS 17 + 18			HISTORIC PRESERVATION		S-960.01	STEEL TYPICAL SUPERSTRUCTURE DETAILS 1		P-102.01	PLUMBING 3RD & 4TH FLOOR PLANS	
G-021.01	LIFE SAFETY PLANS LEVELS 19-57		HP-100.01	SOUTH ELEVATION - ARCHITECTURAL SCOPE		S-961.01	STEEL TYPICAL SUPERSTRUCTURE DETAILS 2		P-103.01	PLUMBING 5TH & 6TH FLOOR PLANS	
G-022.01	LIFE SAFETY PLANS LEVELS 58-73		HP-101.01	SOUTH ELEVATION - STORIES 1-12		S-965.00	CONCRETE TYPICAL SUPERSTRUCTURE DETAILS 1		P-104.01	PLUMBING 7TH & 8TH FLOOR PLANS	
G-023A.01	LIFE SAFETY PLANS LEVELS 74-79		HP-102.01	SOUTH ELEVATION - STORIES 12-15 & 14TH FLOOR PARAPET		S-966.01	CONCRETE TYPICAL SUPERSTRUCTURE DETAILS 2		P-105.01	PLUMBING 9TH & 10TH FLOOR PLANS	
G-023B.01	LIFE SAFETY PLANS LEVELS 80-85 (ROOF)		HP-103.01	SOUTH ELEVATION - EASTERN SIDE FLOORS 1-15		S-967.00	CONCRETE TYPICAL SUPERSTRUCTURE DETAILS 3		P-106.01	PLUMBING 11TH & 12TH FLOOR PLANS	
G-024.01	LIFE SAFETY DIAGRAMS		HP-104.01	SOUTH ELEVATION - ROOF DETAILS		S-968.00	CONCRETE TYPICAL SUPERSTRUCTURE DETAILS 4		P-107.01	PLUMBING 13TH & 14TH FLOOR PLANS	
G-025.01	LIFE SAFETY DIAGRAMS		HP-105.01	EAST ELEVATION - ARCHITECTURAL SCOPE		S-969.00	TYPICAL MASONRY DETAILS		P-108.01	PLUMBING 15TH & 16TH FLOOR PLANS	
G-026.01	LIFE SAFETY DIAGRAMS		HP-106.01	EAST ELEVATION - STORIES 3-15, EAST RETURN - STORIES 1-15		S-970.01	STEEL SUPERSTRUCTURE SECTIONS 1		P-109.01	PLUMBING 17TH & 18TH FLOOR PLANS	
G-027.01	LIFE SAFETY DIAGRAMS		HP-107.01	EAST ELEVATION - INNER COURT STORIES 1-15, REAR STORIES 13-15, DETAIL STORIES 7-8		S-971.01	STEEL SUPERSTRUCTURE SECTIONS 2		P-110.01	PLUMBING FLOORS 19-33 FLOOR PLANS	
G-030.01	ARCHITECTURAL SITE PLAN		HP-108.01	EAST ELEVATION - ROOF DETAILS		S-972.01	STEEL SUPERSTRUCTURE SECTIONS 3		P-111.01	PLUMBING FLOORS 36-45 FLOOR PLANS	
ZONING			HP-109.01	EAST ELEVATION - PENTHOUSE DETAILS		S-973.01	STEEL SUPERSTRUCTURE SECTIONS 4		P-112.01	PLUMBING FLOORS 46-57 FLOOR PLANS	
Z-100.01	SITE PLAN & CALCULATIONS		HP-110.01	NORTH ELEVATION - ARCHITECTURAL SCOPE		S-975.01	CONCRETE SUPERSTRUCTURE SECTIONS 1		P-113.01	PLUMBING FLOORS 58-69 FLOOR PLANS	
Z-101.01	REAR YARD ANALYSIS		HP-111.01	NORTH ELEVATION - STORIES 1-9		S-980.00	TYPICAL STAIR DETAIL		P-114.01	PLUMBING FLOORS 70-77 FLOOR PLANS	
Z-102.01	STREETScape C5-3 & C5-1		HP-112.01	NORTH ELEVATION - STORIES 10-15		S-990.00	MAIN ROOF, BULKHEAD & PENTHOUSE PART FRAMING PLANS		P-115.01	PLUMBING FLOORS 78-85 FLOOR PLANS	
Z-103.01	HEIGHT & SETBACK (NOM-MIDTOWN ZONE)		HP-113.01	NORTH ELEVATION - FOOT DETAILS		S-995.01	STEEL REPAIR DETAILS AND SECTIONS		P-116.00	PLUMBING FLOORS 86-BULKHD 4 FLOOR PLANS	
Z-106.01	DEDUCTIONS		HP-114.01	WEST ELEVATION - ARCHITECTURAL SCOPE		MECHANICAL			P-200.01	PLUMBING LEVEL 9 NORTH PIPING DETAIL & RISER DETAILS	
Z-107.01	DEDUCTIONS		HP-115.01	WEST ELEVATION NORTH AND SETBACK - STORIES 2-15		M-100.01	COVER SHEET		P-201.01	PLUMBING LEVEL 10 NORTH PIPING DETAIL & RISER DETAILS	
Z-108.01	DEDUCTIONS		HP-116.01	WEST ELEVATION - WEST FIRE COURT STORIES 1-16		M-101.01	HVAC LEVEL 1 AND 2 FLOOR PLANS		P-202.00	PLUMBING LEVEL 10 SOUTH PIPING DETAIL & RISER DETAILS	
Z-109.01	DEDUCTIONS		HP-117.01	WEST ELEVATION SOUTH - STORIES 2-3, 4-15		M-102.01	HVAC LEVEL 3 AND 4 FLOOR PLANS		P-203.00	PLUMBING LEVEL 10 SOUTH PIPING DETAIL & RISER DETAILS	
Z-110.01	ART. 1 CH. 5 CALCULATIONS		HP-118.01	WEST ELEVATION - ROOF DETAILS		M-103.01	HVAC LEVEL 5 AND 6 FLOOR PLANS		P-204.00	PLUMBING LEVEL 11 NORTH PIPING DETAIL & RISER DETAILS	
Z-111.01	ART. 1 CH. 5 CALCULATIONS		HP-200.01	57TH STREET ENTRY VESTIBULE SECTIONS AND DOOR ELEVATIONS		M-104.01	HVAC LEVEL 7 AND 8 FLOOR PLANS		P-205.00	PLUMBING LEVEL 11 SOUTH PIPING DETAIL & RISER DETAILS	
Z-112.01	ART. 1 CH. 5 CALCULATIONS & C5-3-MID RECREATIONAL SPACE		HP-201.01	57TH AND 58TH STREET ENTRY DOOR AND MASONRY DETAILS		M-105.01	HVAC LEVEL 9 AND 10 FLOOR PLANS		P-206.00	PLUMBING LEVEL 13 NORTH PIPING DETAIL & RISER DETAILS	
Z-113.00	LOT 32 FILING DRAWINGS		HP-202.01	FIRE DOOR DETAILS		M-106.01	HVAC LEVEL 11 AND 12 FLOOR PLANS		P-207.00	PLUMBING LEVEL 13 SOUTH PIPING DETAIL & RISER DETAILS	
Z-114.00	LOT 32 FILING DRAWINGS		HP-300.01	MASONRY REPAIR DETAILS		M-107.01	HVAC LEVEL 13 AND 14 FLOOR PLANS		P-208.00	PLUMBING LEVEL 14 NORTH PIPING DETAIL & RISER DETAILS	
Z-115.01	HEIGHT & SETBACK (MIDTOWN SPECIAL DISTRICT)		HP-301.01	MASONRY REPAIR DETAILS		M-108.01	HVAC LEVEL 15 AND 16 FLOOR PLANS		P-209.00	PLUMBING LEVEL 14 SOUTH PIPING DETAIL & RISER DETAILS	
Z-116.01	DAYLIGHT EVALUATION DIAGRAM -VP1		HP-302.01	MASONRY REPAIR DETAILS		M-109.01	HVAC LEVEL 17 AND 18 FLOOR PLANS		P-210.00	PLUMBING LEVELS 16-17 PIPING DETAIL & RISER DETAILS	
Z-117.01	DAYLIGHT EVALUATION DIAGRAM -VP2		HP-303.01	MASONRY REPAIR DETAILS		M-110.01	HVAC LEVELS 19-45 FLOOR PLANS		P-211.00	PLUMBING LEVELS 19-33 PIPING DETAIL & RISER DETAILS	
Z-118.01	DAYLIGHT EVALUATION DIAGRAM -VP3		HP-304.01	TERRACE FLASHING DETAILS		M-111.01	HVAC LEVELS 45, 46, 55, 56 & 57 FLOOR PLANS		P-212.00	PLUMBING LEVELS 36-52 PIPING DETAIL & RISER DETAILS	
Z-119.01	DAYLIGHT EVALUATION DIAGRAM -VP4		HP-305.01	TERRACE FLASHING DETAILS		M-112.01	HVAC LEVELS 58-67 FLOOR PLANS		P-213.00	PLUMBING LEVELS 53-54 PIPING DETAIL & RISER DETAILS	
Z-120.00	ZONE GREEN ANALYSIS		HP-306.01	ROOF FLASHING DETAILS		M-113.01	HVAC LEVELS 70-77 FLOOR PLANS		P-214.00	PLUMBING LEVELS 55 & 58-64 PIPING DETAIL & RISER DETAILS	
CIVIL			HP-307.01	BRICK WINDOW FLASHINGS AND INFILL DETAILS		M-114.01	HVAC LEVELS 78-85 FLOOR PLANS		P-215.00	PLUMBING LEVELS 65-69 PIPING DETAIL & RISER DETAILS	
C-100.00	SURVEY		HP-308.01	OCHLUS WINDOW AND TYPICAL LIMESTONE WINDOW FLASHING DETAILS		M-200.00	HVAC PART PLANS SHEET No. 1		P-216.00	PLUMBING LEVELS 70-73 PIPING DETAIL & RISER DETAILS	
C-101.00	FEMA FLOOD INSURANCE RATE MAP		HP-309.01	SHADOWBOX WINDOW AND LUMENOTE DETAILS		M-201.01	HVAC LEVELS 76-77 (T6B) PIPING PART PLAN		P-217.00	PLUMBING LEVELS 74-75 PIPING DETAIL & RISER DETAILS	
ARCHITECTURAL			HP-310.01	EXISTING AND SCHEMATIC WINDOW DETAILS		M-202.00	HVAC LEVEL 9 NORTH PART PLAN		P-218.00	PLUMBING LEVELS 76-77 PIPING DETAIL & RISER DETAILS	
A-001.00	ADA DATA, TYP MOUNTING HEIGHTS & CLEARANCES		STRUCTURAL			M-203.00	HVAC LEVEL 9 SOUTH PART PLAN		P-300.01	PLUMBING DOMESTIC WATER AND GAS RISER DIAGRAM SHEET NO. 1	
A-060.01	INTERIOR PARTITION TYPES		FO-001.01	GENERAL NOTES		M-204.00	HVAC LEVEL 10 NORTH PART PLAN		P-301.00	PLUMBING DOMESTIC WATER AND GAS RISER DIAGRAM SHEET NO. 2	
A-080.01	DOOR FRAMES AND TYPES		FO-100.01	FOUNDATION TYPICAL DETAILS 1		M-205.00	HVAC LEVEL 10 SOUTH PART PLAN		P-400.01	PLUMBING SANITARY RISER DIAGRAM SHEET NO. 1	
A-081.01	DOOR FRAMES AND TYPES		FO-200.01	FOUNDATION TYPICAL DETAILS 2		M-206.00	HVAC LEVEL 11 NORTH PART PLAN		P-401.00	PLUMBING SANITARY RISER DIAGRAM SHEET NO. 2	
A-082.01	ACCESS PANEL TYPES, LOUVER SCHEDULE AND DETAILS		FO-301.01	FOUNDATION TYPICAL DETAILS 3		M-207.00	HVAC LEVEL 11 SOUTH PART PLAN		P-500.01	PLUMBING STORM WATER RISER DIAGRAM	
A-083.01	INTERIOR DOOR SCHEDULE 01		FO-302.01	FOUNDATION TYPICAL DETAILS 4		M-208.00	HVAC LEVEL 12 NORTH PART PLAN		P-600.01	PLUMBING SCHEDULES SHEET	
A-084.01	INTERIOR DOOR SCHEDULE 02		FO-303.00	FOUNDATION TYPICAL DETAILS 4		M-208.00	HVAC LEVEL 12 NORTH PART PLAN		P-700.00	PLUMBING DETAILS SHEET NO. 1	
A-085.01	EXTERIOR DOOR SCHEDULE 03		FO-300.01	FOUNDATION SECTIONS 1		M-209.00	HVAC LEVEL 12 SOUTH PART PLAN		P-701.00	PLUMBING DETAILS SHEET NO. 2	
A-100.01	FLOOR KEY PLANS SUBCELLAR/CELLAR		FO-301.01	FOUNDATION SECTIONS 2		M-210.00	HVAC LEVEL 13 NORTH PART PLAN		P-702.00	PLUMBING BACKFLOW PREVENTER DETAILS	
A-101.01	FLOOR KEY PLANS LEVELS 1/2		STRUCTURAL			M-211.00	HVAC LEVEL 13 SOUTH PART PLAN		P-703.00	PLUMBING SITE CONNECTION DETAILS	
A-102.01	FLOOR KEY PLANS LEVELS 3/4		DMS-100.00	SUBCELLAR AND CELLAR DEMOLITION PLAN		M-212.00	HVAC LEVEL 14 NORTH PART PLAN		ENERGY		
A-103.01	FLOOR KEY PLANS LEVELS 5/6		DMS-101.00	1ST FLOOR DEMOLITION PLAN		M-213.00	HVAC LEVEL 14 SOUTH PART PLAN		EN-001.00	NYC EC COMPLIANCE COVER SHEET	
A-104.01	FLOOR KEY PLANS LEVELS 7/8		DMS-102.00	2ND FLOOR DEMOLITION PLAN		M-214.00	HVAC LEVEL 15 NORTH PART PLAN		EN-002.00	NYC EC COMPLIANCE MANDATORY MEASURES SHEET No. 1	
A-105.01	FLOOR KEY PLANS LEVELS 9/10		DMS-103.00	3RD FLOOR DEMOLITION PLAN		M-215.00	HVAC LEVEL 15 SOUTH PART PLAN		EN-003.00	NYC EC COMPLIANCE MANDATORY MEASURES SHEET No. 2	
A-106.01	FLOOR KEY PLANS LEVELS 11/12		DMS-104.00	4TH FLOOR DEMOLITION PLAN		M-216.00	HVAC LEVEL 16 NORTH PART PLAN		EN-004.00	NYC EC COMPLIANCE - LIGHTING FIXTURES SCHEDULE	
A-107.01	FLOOR KEY PLANS LEVELS 13/14		DMS-105.00	5TH FLOOR DEMOLITION PLAN		M-217.00	HVAC LEVEL 16 SOUTH PART PLAN		EN-005.00	NYC EC COMPLIANCE - LIGHTING COMPLIANCE SHEET	
A-108.01	FLOOR KEY PLANS LEVELS 15/16		DMS-106.00	6TH FLOOR DEMOLITION PLAN		M-218.00	HVAC LEVEL 17 NORTH PART PLAN		EN-100.00	NYC EC COMPLIANCE - SUBCELLAR MER AND CELLAR MER LIGHTING PLAN	
A-109.01	FLOOR KEY PLANS LEVELS 17/18		DMS-107.00	7TH FLOOR DEMOLITION PLAN		M-219.00	HVAC LEVEL 17 SOUTH PART PLAN		EN-101.00	NYC EC COMPLIANCE - LEVEL 1 AND LEVEL 2 MER LIGHTING PLAN	
A-110.01	FLOOR KEY PLANS LEVELS 19-45		DMS-108.00	8TH FLOOR DEMOLITION PLAN		M-220.00	HVAC LEVEL 18 PART PLAN		EN-102.00	NYC EC COMPLIANCE - LEVEL 3 AND LEVEL 4 LIGHTING PLAN	
A-111.01	FLOOR KEY PLANS LEVELS 46-57		DMS-109.00	9TH FLOOR DEMOLITION PLAN		M-221.00	HVAC LEVELS 19/21/29 ENLARGED PLAN		EN-103.00	NYC EC COMPLIANCE - LEVEL 5 AND LEVEL 6 MER LIGHTING PLAN	
A-112.01	FLOOR KEY PLANS LEVELS 58-67		DMS-110.00	10TH FLOOR DEMOLITION PLAN		M-222.00	HVAC LEVELS 34/35 PART PLAN (MER)		EN-104.00	NYC EC COMPLIANCE - LEVEL 7 AND LEVEL 8 LIGHTING PLAN	
A-113.01	FLOOR KEY PLANS LEVELS 70-77		DMS-111.00	11TH FLOOR DEMOLITION PLAN		M-223.00	HVAC LEVELS 36/35 PART PLAN (T1/C)OPEN		EN-105.00	NYC EC COMPLIANCE - LEVEL 9 AND LEVEL 10 LIGHTING PLAN	
A-114.01	FLOOR KEY PLANS LEVELS 78-85		DMS-112.00	12TH FLOOR DEMOLITION PLAN		M-224.00	HVAC LEVEL 46 PART PLAN (T2A)		EN-106.00	NYC EC COMPLIANCE - LEVEL 11 AND LEVEL 12 LIGHTING PLAN	
A-115.01	FLOOR KEY PLANS LEVELS 80-85 (ROOF)		DMS-113.00	13TH FLOOR DEMOLITION PLAN		M-225.00	HVAC LEVELS 54/55 PART PLAN (T8B)		EN-107.00	NYC EC COMPLIANCE - LEVEL 13 AND LEVEL 14 LIGHTING PLAN	
A-116.01	FLOOR KEY PLANS BULKHD LEVEL 1-TOP/STRUCT		DMS-114.00	14TH FLOOR DEMOLITION PLAN		M-226.00	HVAC LEVELS 56/57 PART PLAN (T8B)		EN-108.00	NYC EC COMPLIANCE - LEVEL 15 MER AND LEVEL 16 MER LIGHTING PLAN	
A-120A.01	ROOF DRAINAGE PLANS-NORTH		DMS-115.00	15TH FLOOR DEMOLITION PLAN		M-227.00	HVAC LEVELS 58/59 PART PLAN (T3)OPEN		EN-109.00	NYC EC COMPLIANCE - LEVEL 17 MER AND LEVEL 18 MER LIGHTING PLAN	
A-120B.01	ROOF DRAINAGE PLANS - SOUTH		DMS-116.00	16TH FLOOR (MAIN ROOF) DEMOLITION PLAN		M-228.00	HVAC LEVELS 66/67 (T4)		EN-110.00	NYC EC COMPLIANCE - LEVEL 19 THRU LEVEL 44 LIGHTING PLAN	
A-170.00	CORE DETAILS		DMS-117.00	17TH FLOOR (BULKHEAD) DEMOLITION PLAN		M-229.00	HVAC LEVELS 70/71 (T5)		EN-111.00	NYC EC COMPLIANCE - LEVEL 45 THRU LEVEL 57 LIGHTING PLAN	
A-171.00	CORE DETAILS		DMS-118.00	18TH FLOOR (EMR) DEMOLITION PLAN		M-230.00	HVAC LEVELS 74/75 (T6A)		EN-112.00	NYC EC COMPLIANCE - LEVEL 58 THRU LEVEL 63 LIGHTING PLAN	
A-172.00	CORE DETAILS		DMS-200.00	DEMOLITION NOTES AND SECTIONS		M-231.00	HVAC LEVELS 76/77 (T6B)		EN-113.00	NYC EC COMPLIANCE - LEVEL 64 THRU LEVEL 71 LIGHTING PLAN	
A-200.01	BUILDING ELEVATIONS OVERALL		STRUCTURAL			M-232.00	HVAC LEVELS 78/85 (MER & ROOF)		EN-114.00	NYC EC COMPLIANCE - LEVEL 72 THRU LEVEL 75 LIGHTING PLAN	
A-201.01	BUILDING ELEVATIONS - STEINWAY BUILDING W/S		S-005.01	CELLAR FRAMING PLAN		M-250.00	HVAC LEVEL 2 MER PIPING PART PLAN				



W57 1 RESTROOM COUNT SUMMARY			
<b>ALT 1</b>			
<b>Mercantile Level -1</b>			
<b>M with total occupants</b>		272.0	OCC.
<b>50% male</b>		136.0	males
<b>50% female</b>		136.0	females
<b>water closets (50%)</b>			
males: 1 per	500	1.0	males
females: 1 per	500	1.0	females
<b>total</b>		2.0	
<b>lavatories (50%)</b>			
males: 1 per	750	1.0	males
females: 1 per	750	1.0	females
<b>drinking fountains</b>			
1 per	1000	1.0	
<b>Mercantile Level 0</b>			
<b>M with total occupants</b>		215.0	OCC.
<b>50% male</b>		107.5	males
<b>50% female</b>		107.5	females
<b>water closets (50%)</b>			
males: 1 per	500	1.0	males
females: 1 per	500	1.0	females
<b>total</b>		2.0	
<b>lavatories (50%)</b>			
males: 1 per	750	1.0	males
females: 1 per	750	1.0	females
<b>drinking fountains</b>			
1 per	1000	1.0	
<b>Mercantile Level 3</b>			
<b>M with total occupants</b>		212.0	OCC.
<b>50% male</b>		106.0	males
<b>50% female</b>		106.0	females
<b>water closets (50%)</b>			
males: 1 per	500	1.0	males
females: 1 per	500	1.0	females
<b>total</b>		2.0	
<b>lavatories (50%)</b>			
males: 1 per	750	1.0	males
females: 1 per	750	1.0	females
<b>drinking fountains</b>			
1 per	1000	1.0	
<b>Mercantile Level 4</b>			
<b>M with total occupants</b>		117.0	OCC.
<b>50% male</b>		58.5	males
<b>50% female</b>		58.5	females
<b>water closets (50%)</b>			
males: 1 per	500	1.0	males
females: 1 per	500	1.0	females
<b>total</b>		2.0	
<b>lavatories (50%)</b>			
males: 1 per	750	1.0	males
females: 1 per	750	1.0	females
<b>drinking fountains</b>			
1 per	1000	1.0	
<b>Mercantile Level 5</b>			
<b>M with total occupants</b>		114.0	OCC.
<b>50% male</b>		57.0	males
<b>50% female</b>		57.0	females
<b>water closets (50%)</b>			
males: 1 per	500	1.0	males
females: 1 per	500	1.0	females
<b>total</b>		2.0	
<b>lavatories (50%)</b>			
males: 1 per	750	1.0	males
females: 1 per	750	1.0	females
<b>drinking fountains</b>			
1 per	1000	1.0	

LIFE SAFETY - USE BY ROOM						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	NOTES
SUB-CELLAR						
STEAM POE & PRIV ROOM	0201	F-2	300	4	1031 SF	
FIRE PUMP ROOM	0202	F-2	300	2	409 SF	
MECHANICAL	0203	F-2	300	5	1346 SF	
MECHANICAL	0204	F-2	300	4	1176 SF	
SUB-CELLAR						
				15		
CELLAR						
RETAIL	-0100	M	30	124	3709 SF	TENANT IMPROVEMENT AREA
RETAIL	-0100.A	M	30	27	784 SF	TENANT IMPROVEMENT AREA
RETAIL	-0101	M	30	54	1615 SF	TENANT IMPROVEMENT AREA
FUTURE RTL MECH	-0101.A	M	300	3	786 SF	TENANT IMPROVEMENT AREA
MECHANICAL	-0103	F-2	300	2	590 SF	
IT POE	-0103.A	F-2	300	2	344 SF	
SWITCHGEAR ROOM	-0103.B	F-2	300	7	1833 SF	
WATER METER	-0103.C	F-2	300	1	252 SF	
AC ROOM	-0103.D	F-2	300	1	186 SF	
EM GEAR RM	-0103.F	F-2	300	1	100 SF	
RESIDENTIAL STORAGE	-0103.G	S-2	300	1	144 SF	
RESIDENTIAL STORAGE	-0104	S-2	300	3	810 SF	
BIKE STORAGE	-0105	S-2	300	2	311 SF	
LOCKER	-0106.A	R-2	50	4	Level 7 Mezzanine (Level 8)	
RESIDENTIAL STORAGE	-0107	S-2	300	1	37 SF	
RETAIL	-0108	M	30	34	995 SF	TENANT IMPROVEMENT AREA
STORAGE	-0108.B	M	300	1	67 SF	TENANT IMPROVEMENT AREA
PLUMBING POE	-0109	F-2	300	2	341 SF	
GAS POE	-0109.B	M	300	2	410 SF	TENANT IMPROVEMENT AREA
TRASH COMPACTOR	-0132	F-2	300	1	222 SF	
TRASH COMPACTOR	-0140	F-2	300	1	297 SF	
CELLAR						
				274		
GROUND (63.1 MBD)						
RETAIL	0101	M	30	60	1795 SF	LANDMARK / TENANT IMPROVEMENT AREA
GUARD	0102.A	M	1	1	89 SF	
BOH	0103.C	R-2	300	1	257 SF	
LOBBY LOUNGE	0104	R-2	50	6	266 SF	
LOBBY	0105	R-2	50	18	853 SF	
CONCIERGE	0107	R-2	100	2	144 SF	
MAIL	0109.B	M	300	1	96 SF	TENANT IMPROVEMENT AREA
PORTE-COCHERE	0112	S-2	200	12	2351 SF	
COMMERCIAL LOADING	0113	S-1	300	4	1195 SF	
LOADING AREA	0114	S-1	300	1	253 SF	
RETAIL LOBBY	0120	M	30	31	901 SF	TENANT IMPROVEMENT AREA
RETAIL ATRIUM	0121	M	30	68	2034 SF	TENANT IMPROVEMENT AREA
GROUND (63.1 MBD)						
				205		
LEVEL 2						
MECHANICAL	0201	F-2	300	2	589 SF	
MECHANICAL	0202	F-2	300	6	1630 SF	
MECHANICAL	0203	F-2	300	4	1079 SF	
SWITCHGEAR ROOM	0204	F-2	300	3	889 SF	
MEZZANINE	0205	M	50	5	205 SF	LANDMARK - ASSIGNED TO GROUND LEVEL OCCUPANT LOAD
LEVEL 2						
				20		
LEVEL 3						
RETAIL	0300	M	60	31	1816 SF	TENANT IMPROVEMENT AREA
RETAIL	0301	M	60	7	360 SF	TENANT IMPROVEMENT AREA
RETAIL	0303	M	60	6	370 SF	TENANT IMPROVEMENT AREA
RETAIL	0307	M	60	67	4004 SF	TENANT IMPROVEMENT AREA
RETAIL	0308	M	60	49	2924 SF	TENANT IMPROVEMENT AREA
RETAIL	0309	M	60	29	1707 SF	
RETAIL	0310	M	60	9	531 SF	TENANT IMPROVEMENT AREA
RETAIL	0311	M	60	8	461 SF	TENANT IMPROVEMENT AREA
RETAIL	0312	M	60	16	909 SF	TENANT IMPROVEMENT AREA
LEVEL 3						
				222		
LEVEL 4						
RETAIL	0400	M	60	51	3004 SF	TENANT IMPROVEMENT AREA
TERRACE	0400.T	M	60	7	367 SF	
RETAIL	0401	M	60	27	1597 SF	TENANT IMPROVEMENT AREA
RETAIL	0402	M	60	9	504 SF	TENANT IMPROVEMENT AREA
STORM WATER DETENTION	0403	F-2	300	2	429 SF	TENANT IMPROVEMENT AREA
RETAIL	0404	M	60	16	931 SF	TENANT IMPROVEMENT AREA
LEVEL 4						
				112		
LEVEL 5						
MUSIC PRACTICE	0501	B	20	78	1567 SF	
BAR	0503	B	100	2	185 SF	
GREEN ROOM	0505	B	100	4	336 SF	
LOUNGE	0505.B	B	15	7	98 SF	
BUILDING MGMT	0506.B	B	100	2	148 SF	
BLDG MGMT	0508	B	100	14	197 SF	
MECHANICAL	0509	F-2	300	5	1132 SF	
MECHANICAL	0509A	F-2	300	2	325 SF	
STORAGE	0532	B	300	1	237 SF	
LEVEL 5						
				115		
LEVEL 6						
MECHANICAL	0601	F-2	300	6	1714 SF	
MECHANICAL	0602	F-2	300	22	6368 SF	
MECHANICAL	0604.B	F-2	300	8	2301 SF	
LEVEL 6						
				36		
LEVEL 7						
RESIDENTIAL LOUNGE	0700	R-2	50	13	610 SF	ACCESSORY RESIDENTIAL AMENITY USE
RESIDENTIAL TERRACE	0700.T	R-2	50	37	1809 SF	ACCESSORY RESIDENTIAL AMENITY USE
RESIDENTIAL LOUNGE	0701	R-2	50	13	626 SF	ACCESSORY RESIDENTIAL AMENITY USE
RESIDENTIAL LOUNGE	0701.N	R-2	50	5	206 SF	
RESIDENTIAL LOUNGE	0702	R-2	50	5	224 SF	ACCESSORY RESIDENTIAL AMENITY USE
CORRIDOR	0703	R-2	200	3	448 SF	ACCESSORY RESIDENTIAL AMENITY USE
RES LOUNGE BAR	0704	R-2	200	1	164 SF	ACCESSORY RESIDENTIAL AMENITY USE
RES LOUNGE KITCHEN	0705	R-2	200	2	246 SF	ACCESSORY RESIDENTIAL AMENITY USE
RESIDENTIAL LOUNGE	0708	R-2	50	7	311 SF	ACCESSORY RESIDENTIAL AMENITY USE
WOMEN'S DRESSING RM	0713	R-2	100	7	648 SF	ACCESSORY RESIDENTIAL AMENITY USE
TREATMENT RM	0716.B	R-2	100	2	132 SF	ACCESSORY RESIDENTIAL AMENITY USE
SALINA	0717	R-2	50	2	87 SF	ACCESSORY RESIDENTIAL AMENITY USE
POOL DECK	0718	R-2	50	39	1935 SF	ACCESSORY RESIDENTIAL AMENITY USE
RESIDENTIAL AMENITY POOL	0718.A	R-2	50	21	1043 SF	
SALINA	0720.B	R-2	100	1	57 SF	ACCESSORY RESIDENTIAL AMENITY USE
MEN'S DRESSING RM	0721	R-2	50	11	535 SF	ACCESSORY RESIDENTIAL AMENITY USE
TREATMENT RM	0722.B	R-2	100	2	155 SF	
RESIDENTIAL FITNESS STUDIO	0726	R-2	50	30	1474 SF	ACCESSORY RESIDENTIAL AMENITY USE
LEVEL 7						
				201		
LEVEL 8						
RESIDENTIAL FITNESS BALCONY	0830	R-2	50	16	899 SF	
RESIDENTIAL FITNESS MEZZANINE	0850	R-2	50	9	435 SF	
LEVEL 8						
				27		
Grand total						
				1227		

LIFE SAFETY - OCCUPANCY BY AREA						
NAME	NUMBER	OCCUPANCY CLASS	OCCUPANCY FACTOR	OCCUPANT LOAD	AREA	NOTES
LEVEL 9						
RESIDENTIAL UNIT	0901	R-2	200	18	3599 SF	
RESIDENTIAL UNIT	0902	R-2	200	5	814 SF	
RESIDENTIAL UNIT	0903	R-2	200	3	564 SF	
RESIDENTIAL UNIT	0904	R-2	200	6	1083 SF	
RESIDENTIAL UNIT	0905	R-2	200	6	1076 SF	
LEVEL 9						
				38		
LEVEL 10						
RESIDENTIAL UNIT	1001	R-2	200	18	3599 SF	
RESIDENTIAL UNIT	1002	R-2	200	18	3546 SF	
LEVEL 10						
				36		
LEVEL 11						
RESIDENTIAL UNIT	1101	R-2	200	18	3599 SF	
RESIDENTIAL UNIT	1102	R-2	200	18	3546 SF	
LEVEL 11						
				36		
LEVEL 12						
RESIDENTIAL MEZZANINE	1101.M	R-2	200	2	318 SF	
RESIDENTIAL MEZZANINE	1102.M	R-2	200	1	171 SF	
LEVEL 12						
				3		
LEVEL 13						
TERRACE	1300.A	R-2	50	11	500 SF	
RESIDENTIAL UNIT	1301	R-2	200	14	2791 SF	
RESIDENTIAL UNIT	1302	R-2	200	13	2594 SF	
LEVEL 13						
				38		
LEVEL 14						
RESIDENTIAL UNIT	1401	R-2	200	15	2884 SF	
RESIDENTIAL UNIT	1402	R-2	200	13	2544 SF	
LEVEL 14						
				28		
LEVEL 15						
MECHANICAL ROOM	1501	F-2	300	24	7194 SF	
LEVEL 15						
				24		
LEVEL 16.0						
RESIDENTIAL UNIT	1601	R-2	200	20	3904 SF	LEVEL 17 RESIDENTIAL UNIT (+6 OCC) THROUGH THIS UNIT
MECHANICAL ROOM	1602	F-2	300	14	4047 SF	
MECHANICAL ROOM	1602.A	F-2	300	10	2892 SF	
LEVEL 16.0						
				44		
LEVEL 17.0						
PRIVATE TERRACE	1700	R-2	200	12	2283 SF	
RESIDENTIAL UNIT	1701	R-2	200	6	1193 SF	EGRESS VIA LEVEL 16
LEVEL 17.0						
				18		
LEVEL 18						
MECHANICAL ROOM	1750	F-2	300	12	3337 SF	
ELEVATOR MACHINE	1801	F-2	300	5	1213 SF	
LEVEL 18						
				17		
LEVEL 19						
RESIDENTIAL UNIT (T1 A B & C)	1901-3301, 3601-4401	R-2	200	1		



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



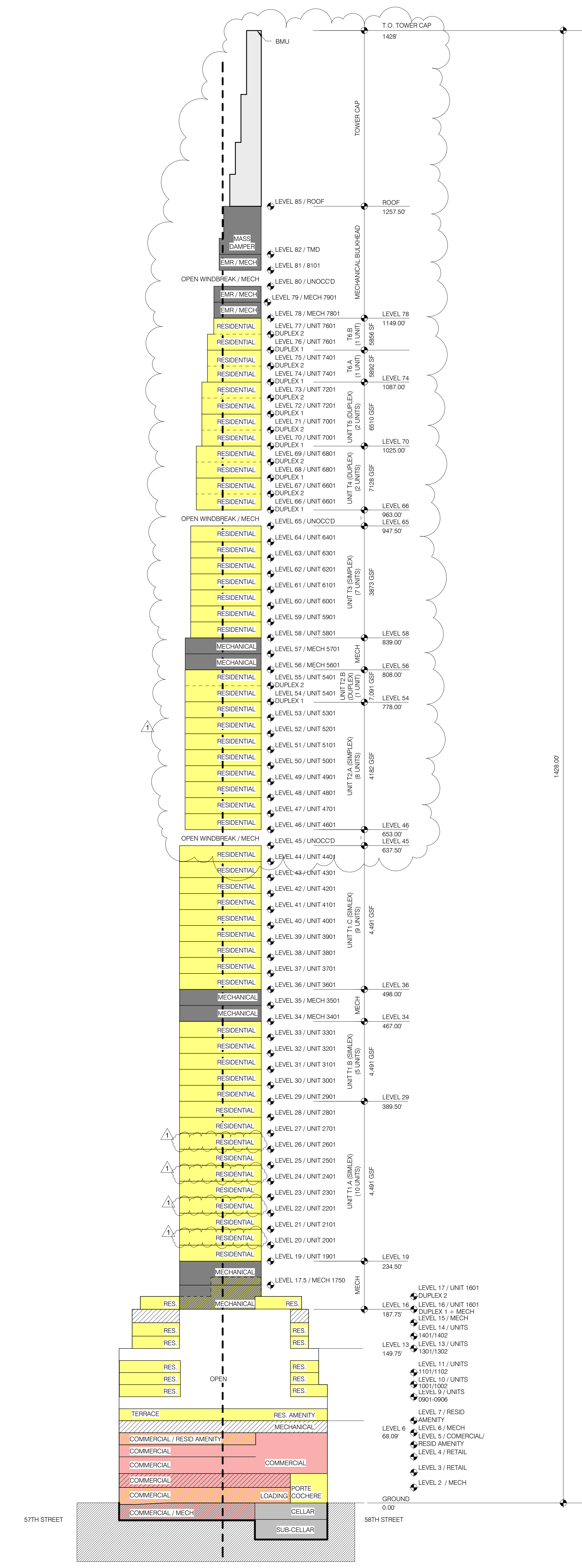
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

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DRAWING TITLE

**FLOOR ARRANGEMENT**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SHIP	
CHECKED BY	SHIP	
DOB NO.	121332096	
DRAWING NUMBER		





**LEVEL 02**

TOTAL OCCUPANT LOAD: 15  
 EXIT CAPACITY PROVIDED: 292  
 MAXIMUM TRAVEL DISTANCE: 115'-5"  
 FLOOR DIAGONAL: 135'-5"

OCCUPANT LOAD - LEVEL 02						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
MECHANICAL	0201	F-2	300	2	589 SF	
MECHANICAL	0202	F-2	300	6	1630 SF	
MECHANICAL	0203	F-2	300	4	1079 SF	
SWITCHGEAR ROOM	0204	F-2	300	3	889 SF	
LEVEL 2				15		

STAIR LOAD - LEVEL 02		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16

**LEVEL 01**

TOTAL OCCUPANT LOAD: 210  
 EXIT CAPACITY PROVIDED: 1052  
 MAXIMUM TRAVEL DISTANCE: 116'-5"  
 (W/ MEZZANINE)  
 FLOOR DIAGONAL: 210'-11"

OCCUPANT LOAD - LEVEL 01						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
GROUND (63.1' MBD)						
RETAIL GUARD	0101	M	30	60	1795 SF	
RETAIL GUARD	0102 A	M	100	1	89 SF	
BOH	0103 C	R-2	300	1	257 SF	
LOBBY LOUNGE	0104	R-2	50	6	266 SF	
LOBBY	0105	R-2	50	18	853 SF	
CONCIERGE	0107	R-2	100	2	144 SF	
MAIL	0109 B	M	300	1	96 SF	
PORTE-COCHERE	0112	S-2	200	12	2351 SF	

OCCUPANT LOAD - LEVEL 01						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
COMMERCIAL LOADING	0113	S-1	300	4	1195 SF	
LOADING AREA	0114	S-1	300	1	253 SF	
RETAIL LOBBY	0120	M	30	31	901 SF	
RETAIL ATRIUM	0121	M	30	68	2034 SF	
GROUND (63.1' MBD)				205		
LEVEL 2						
MEZZANINE	0205	M	50	5	205 SF	
LEVEL 2				5		
Grand total				210		

DOOR LOAD				
NAME	CAPACITY	USED L. 01	USED L. 02 & CELLAR	
0112.E	210	21	142	
0160.A	170	87	134	
0122.A	400	82	N/A	
0100.A	225	21	127	
		211	403	

**LIFE SAFETY & PARTITION RATING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- EGRESS PATH SECONDARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION
- ROOM OCCUPANCY TAG
- ROOM DESCRIPTION
- AREA
- AREA NUMBER
- AREA DESCRIPTION
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- AREA OCCUPANCY TAG
- AREA
- AREA NUMBER
- AREA DESCRIPTION
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- DOOR OCCUPANCY TAG
- DOOR NUMBER
- DOOR DESCRIPTION
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)
- STAIR OCCUPANCY TAG
- STAIR NUMBER
- STAIR DESCRIPTION
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)

**JDS DEVELOPMENT GROUP**

111 WEST 57TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 646 832 3600

**sh p**

ARCHITECT: SHP ARCHITECTS, P.C.  
 235 BROADWAY, 11TH FLOOR  
 NEW YORK, NY 10007  
 TEL: 212 869 9336

STRUCTURAL ENGINEER: BURROUGHS WELLS  
 228 EAST 4TH STREET  
 NEW YORK, NY 10002  
 TEL: 212 697 2886

MEP ENGINEER: JAVROS, BAKM & BOLLER  
 40 WINE STREET, 10TH FLOOR  
 NEW YORK, NY 10002  
 TEL: 212 693 8333

CIVIL ENGINEER: LONGMAN LINDSEY  
 40 WEST 57TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 917 288 4900

INTERIORS: STUDIO SCENEFIELD  
 300 W 42ND STREET  
 NEW YORK, NY 10018  
 TEL: 212 475 3300

GEOTECH: ACUSTICUS  
 40 WEST 57TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 917 288 4900

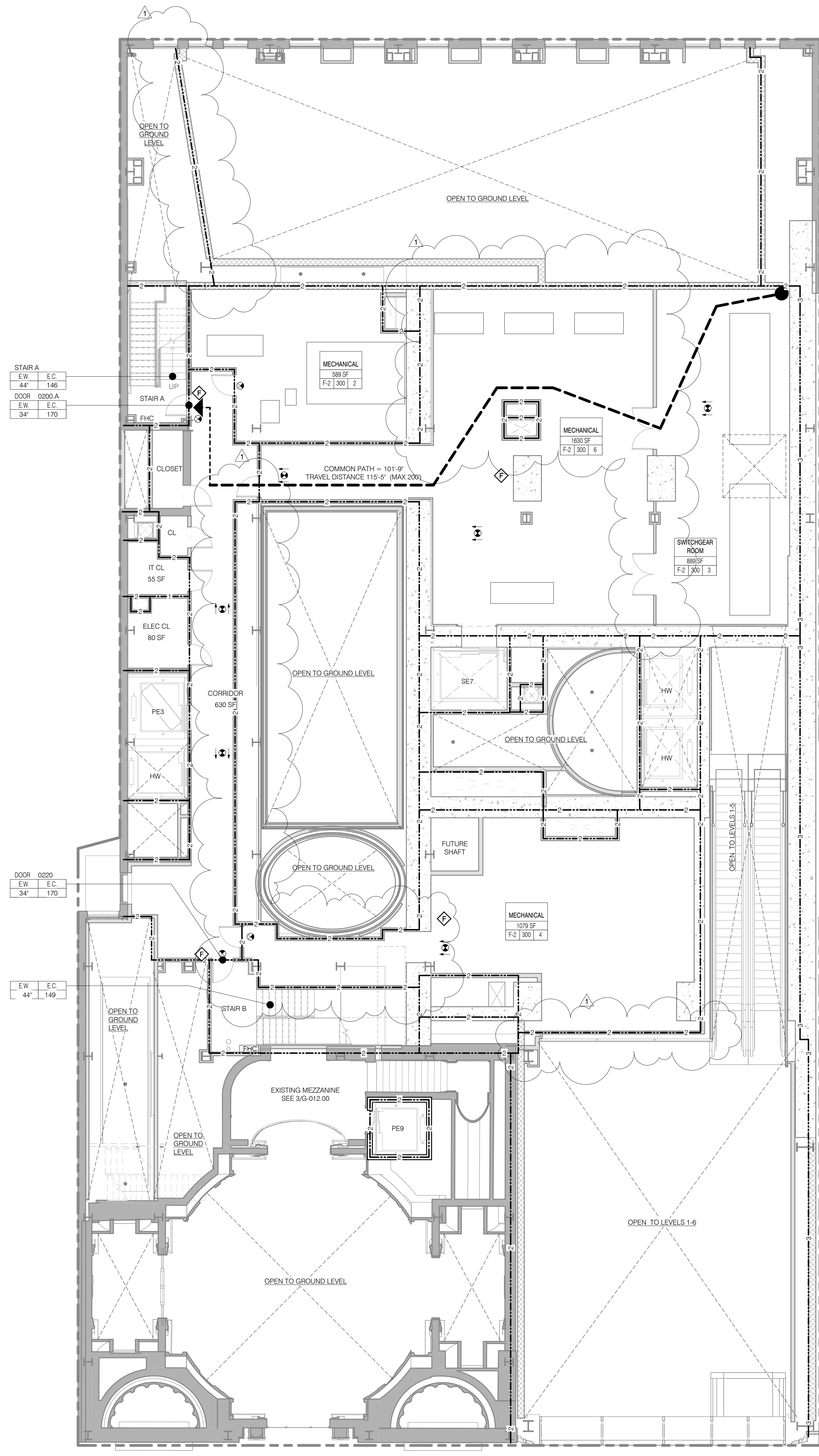
RESTORATION: JAN HRO POKORNY ASSOCIATES  
 30 WEST 57TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 212 284 6482

LIGHTING: COOPERATIVE INTERNATIONAL  
 105 WALKER STREET, 7TH FLOOR EAST  
 NEW YORK, NY 10002  
 TEL: 212 252 4463

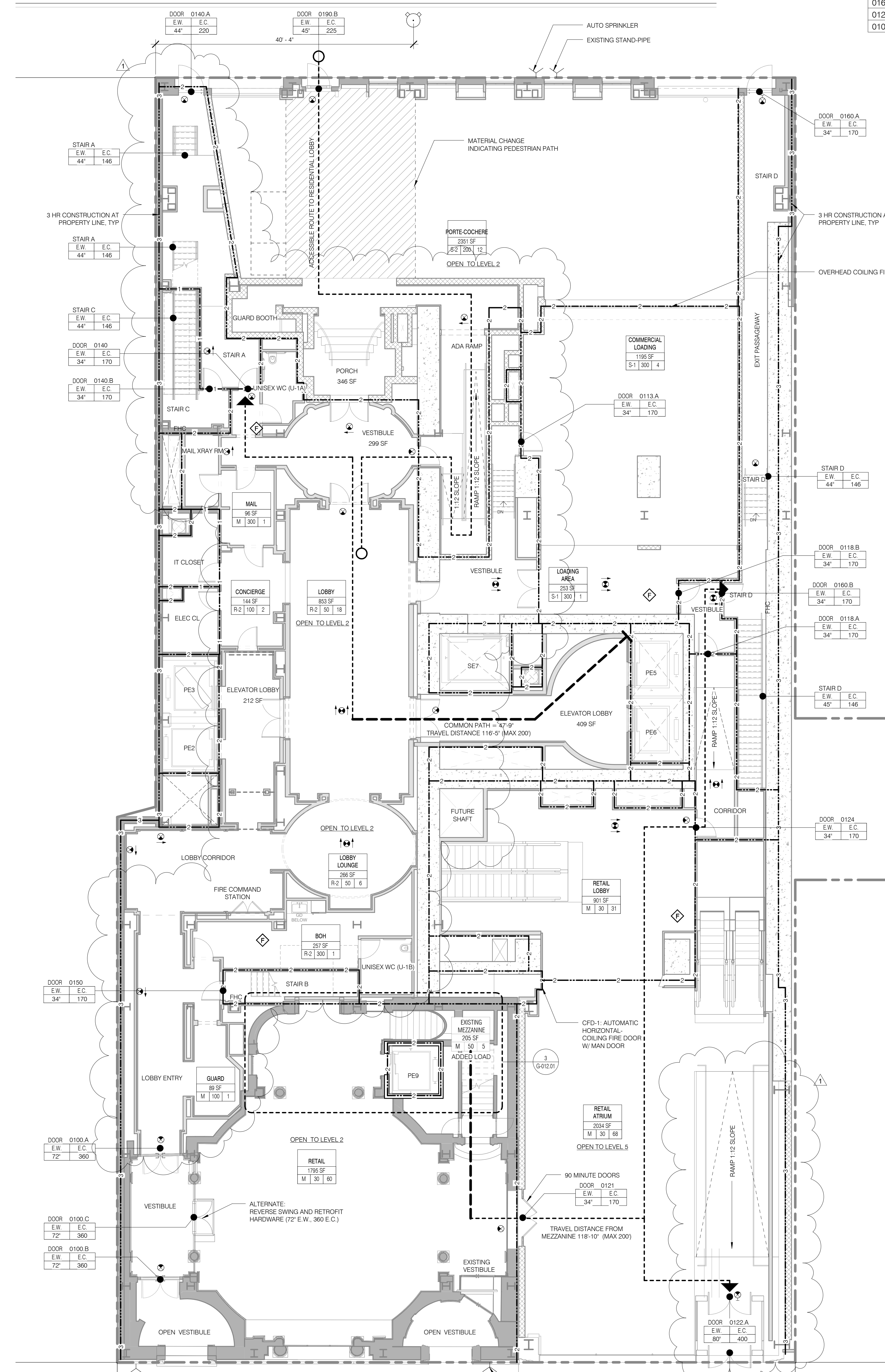
PROPERTY MARKETS GROUP  
 30 EAST 17TH STREET, 2ND FLOOR  
 NEW YORK, NY 10003  
 TEL: 212 693 9336

**DOB PAA**

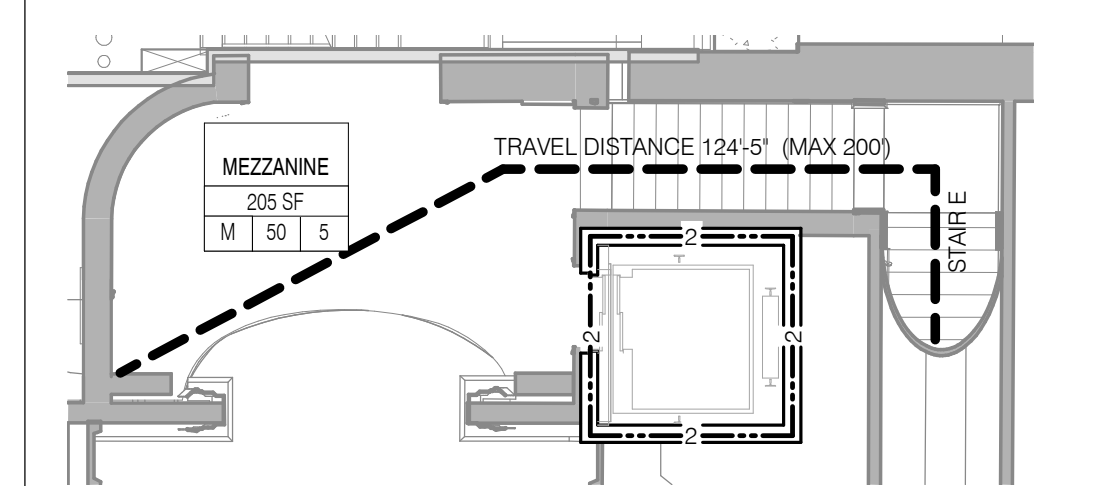
Shauqat Shaikh  
 Building Inspector  
 APPROVED Under Directive 2 of 1975  
 DATE: 08/28/2018  
 NYC Development Hub



NOTE: PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATINGS FOR ELEMENT INDICATED



NOTE: PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATINGS FOR ELEMENT INDICATED

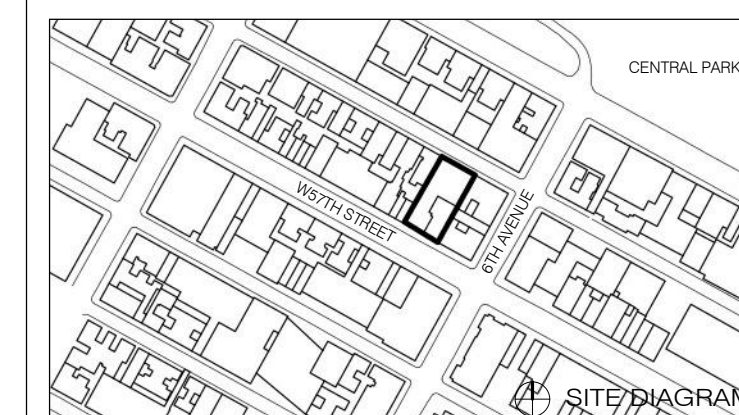


LEVEL 2 1/8" = 1'-0" 2

LEVEL 1 (63.1' MBD) 1/8" = 1'-0" 1

EXISTING LEVEL 1 MEZZANINE 1/8" = 1'-0" 3

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

**LIFE SAFETY PLANS LEVELS 1 + 2**

SEAL & SIGNATURE: [Signature] DATE: 3.27.15  
 PROJECT NO: 130607  
 DRAWN BY: SHP  
 CHECKED BY: SHP  
 DOOR NO: 121330268  
 DRAWING NUMBER: G-012.01

**LEVEL 04**  
 TOTAL OCCUPANT LOAD: 112  
 EXIT CAPACITY PROVIDED: 292  
 MAXIMUM TRAVEL DISTANCE: 74'-9"  
 FLOOR DIAGONAL: 153'-11"

OCCUPANT LOAD - LEVEL 04						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
LEVEL 4						
RETAIL	0400	M	60	51	3004 SF	
TERRACE	0400.T	M	60	7	367 SF	
RETAIL	0401	M	60	27	1597 SF	
RETAIL	0402	M	60	9	504 SF	
STORM WATER DETENTION	0403	F-2	300	2	429 SF	
RETAIL	0404	M	60	16	931 SF	
LEVEL 4				112		

STAIR LOAD - LEVEL 04		
NAME	CAPACITY	USED
STAIR A	146	56
STAIR B	146	56
		112

**LEVEL 03**  
 TOTAL OCCUPANT LOAD: 222  
 EXIT CAPACITY PROVIDED: 292  
 MAXIMUM TRAVEL DISTANCE: 106'-6"  
 LEVEL 3 NORTH FLOOR DIAGONAL: 176'-9"  
 LEVEL 3 SOUTH FLOOR DIAGONAL: 78'-0"

OCCUPANT LOAD - LEVEL 03						
NAME	NUMBER	OCCUPANCY CLASS	LOAD FACTOR	OCCUPANT LOAD	AREA	
LEVEL 3						
RETAIL	0300	M	60	31	1816 SF	
RETAIL	0301	M	60	7	360 SF	
RETAIL	0303	M	60	6	370 SF	
RETAIL	0307	M	60	67	4004 SF	
RETAIL	0308	M	60	49	2924 SF	
RETAIL	0309	M	60	29	1707 SF	
RETAIL	0310	M	60	9	531 SF	
RETAIL	0311	M	60	8	461 SF	
RETAIL	0312	M	60	16	909 SF	
LEVEL 3				222		

STAIR LOAD - LEVEL 03		
NAME	CAPACITY	USED
STAIR A	146	111
STAIR B	146	111
		222

**LIFE SAFETY & PARTITION RATING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE
- DIRECTION

**ROOM OCCUPANCY TAG**

ROOM / AREA

LOAD FACTOR

OCCUPANT CLASSIFICATION

**AREA OCCUPANCY TAG**

AREA

AREA NUMBER

AREA DESCRIPTION

OCCUPANT LOAD

LOAD FACTOR

OCCUPANT CLASSIFICATION

**DOOR OCCUPANCY TAG**

DOOR NUMBER

EGRESS CAPACITY (# OF OCCUPANTS)

EGRESS WIDTH (MIN. WIDTH INCHES)

**STAIR OCCUPANCY TAG**

STAIR NUMBER

EGRESS CAPACITY (# OF OCCUPANTS)

EGRESS WIDTH (MIN. WIDTH INCHES)

**JDS DEVELOPMENT GROUP**

JDS DEVELOPMENT GROUP  
 104 WEST 47TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 646.833.3636

**sh p**

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 230 BROADWAY, 11TH FLOOR  
 NEW YORK, NY 10006  
 TEL: 212.869.9336

STRUCTURAL ENGINEER: JORDIS, BAIAM & BOLLER  
 40 WING STREET, 10TH FLOOR  
 NEW YORK, NY 10003  
 TEL: 212.869.9336

MEP ENGINEER: JORDIS, BAIAM & BOLLER  
 40 WING STREET, 10TH FLOOR  
 NEW YORK, NY 10003  
 TEL: 212.869.9336

CIVIL ENGINEER: ARIF ENGINEERING, P.C.  
 40 WING STREET, 10TH FLOOR  
 NEW YORK, NY 10003  
 TEL: 212.869.9336

ACOUSTIC: LONGMAN LINSEY  
 40 WEST 47TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 917.288.4900

INTERIORS: STUDIO SCHEFFEL  
 300 WASHINGTON STREET  
 NEW YORK, NY 10014  
 TEL: 212.475.3000

FAÇADE: BURROUGHS WELLS  
 100 SPENCER ST.  
 NEW YORK, NY 10002  
 TEL: 212.254.2025

VERTICAL TRANSPORTATION: VAN DEUSEN & ASSOCIATES  
 100 W. 30TH STREET, 5TH FLOOR  
 NEW YORK, NY 10001  
 TEL: 212.869.9336

RESTORATION: JAN HED FORKORNY ASSOCIATES  
 30 WEST 47TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 212.288.4900

GEOTECH: MICE  
 305 WEST 47TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 917.288.4900

LIGHTING: COGNITIVE INTERNATIONAL  
 100 WALKER STREET, 7TH FLOOR EAST  
 NEW YORK, NY 10002  
 TEL: 212.254.4443

**PMG**

PROPERTY MARKETS GROUP  
 111 WEST 57TH STREET, 2ND FLOOR  
 NEW YORK, NY 10019  
 TEL: 212.869.9336

CURRENT ISSUE: DOB PAA

**Shauqat Shaikh**  
 Building a Better World

APPROVED  
 Under Directive 2 of 1975  
 DATE: 08/28/2024  
 NYC Development Hub

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET

DRAWING TITLE: LIFE SAFETY PLANS LEVELS 3 + 4

SEAL & SIGNATURE: [Signature]

DATE: 3.27.15

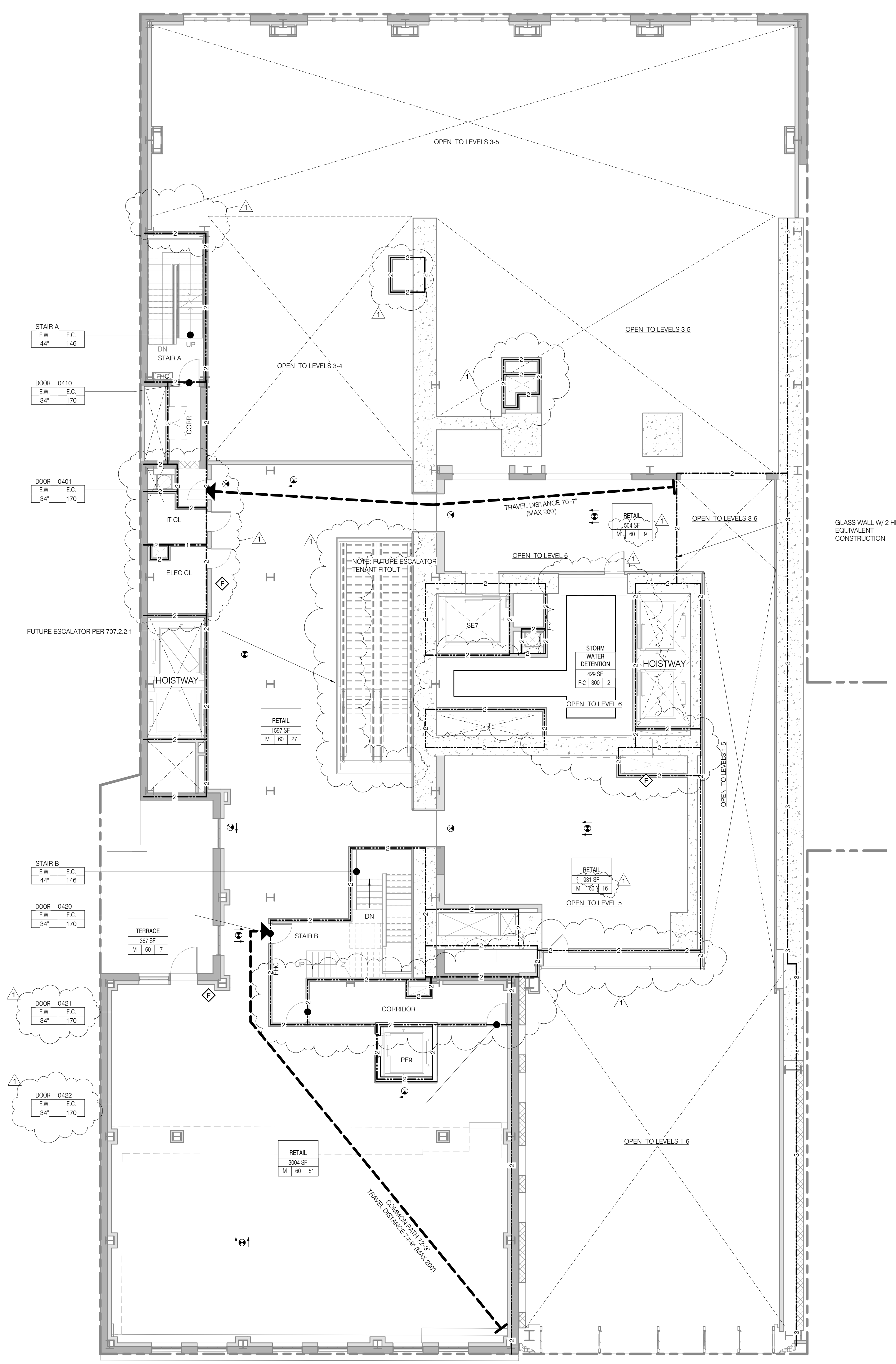
PROJECT NO: 130907

DRAWN BY: SHP

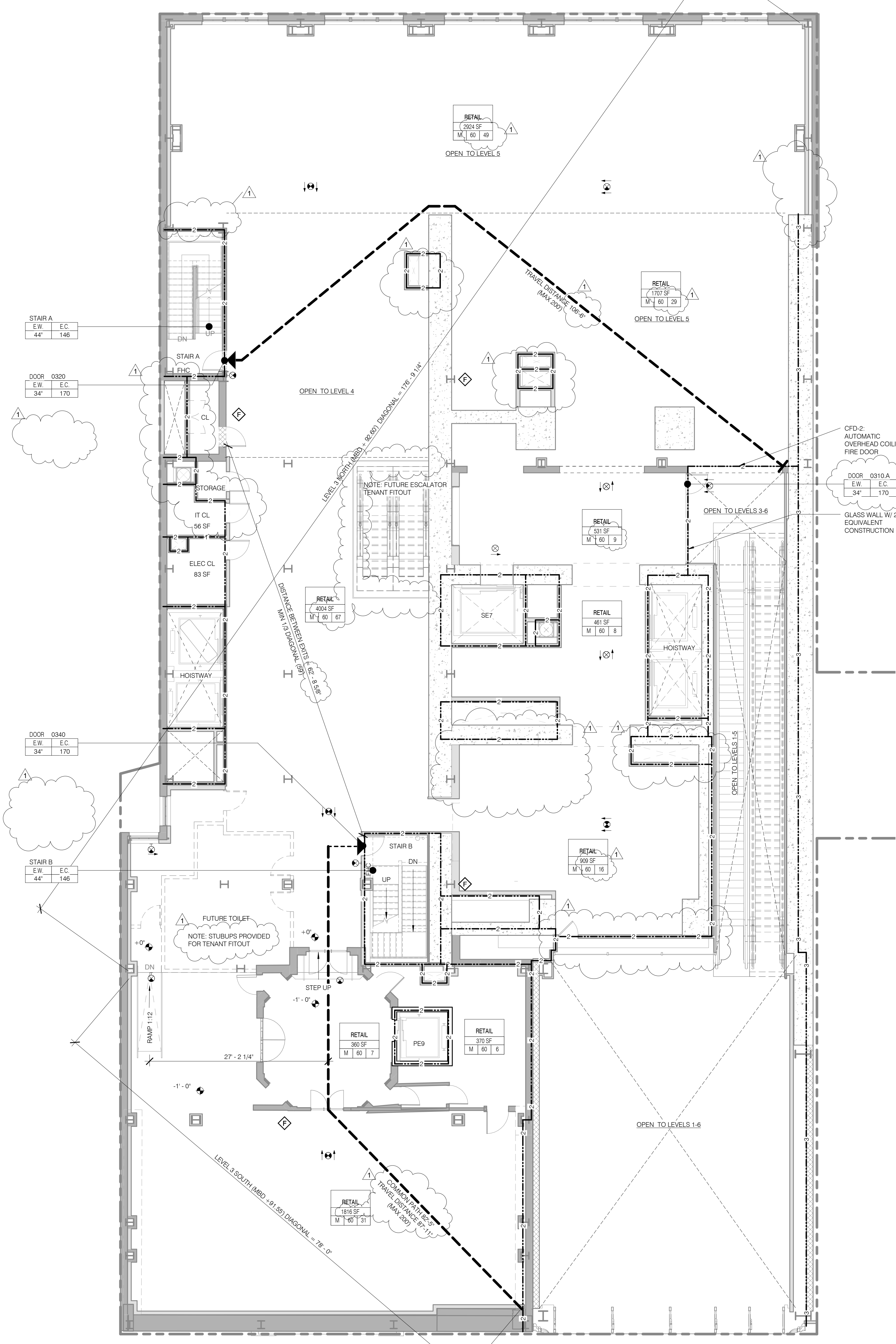
CHECKED BY: SHP

DOB NO: 121330296

DRAWING NUMBER: G-013.01



**NOTE:**  
 ALL RETAIL INTERIOR FITOUT BY TENANT.  
 PROPERTY WALLS 3 HR CONSTRUCTION,  
 MIN RATING FOR ELEMENT INDICATED.



**NOTE:**  
 ALL RETAIL INTERIOR FITOUT BY TENANT.  
 PROPERTY WALLS 3 HR CONSTRUCTION,  
 MIN RATING FOR ELEMENT INDICATED.







**LEVEL 10**

TOTAL OCCUPANT LOAD: 36  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 139'-9"  
FLOOR DIAGONAL: 216'-4"

OCCUPANT LOAD - LEVEL 10						
NAME	NUMBER	OCCUPANCY CLASS	OCCUPANCY FACTOR	OCCUPANCY LOAD	AREA	
RESIDENTIAL UNIT	1001	R-2	200	18	3599 SF	
RESIDENTIAL UNIT	1002	R-2	200	18	3546 SF	
LEVEL 10						36

STAIR LOAD - LEVEL 10		
NAME	CAPACITY	USED
STAIR A	146	18
STAIR B	146	18
		36

**LEVEL 09**

TOTAL OCCUPANT LOAD: 38  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 126'-0"  
FLOOR DIAGONAL: 222'-3"

OCCUPANT LOAD - LEVEL 09						
NAME	NUMBER	OCCUPANCY CLASS	OCCUPANCY FACTOR	OCCUPANCY LOAD	AREA	
RESIDENTIAL UNIT	0901	R-2	200	18	3599 SF	
RESIDENTIAL UNIT	0902	R-2	200	5	814 SF	
RESIDENTIAL UNIT	0903	R-2	200	3	564 SF	
RESIDENTIAL UNIT	0904	R-2	200	6	1083 SF	
RESIDENTIAL UNIT	0905	R-2	200	6	1076 SF	
LEVEL 09						38

STAIR LOAD - LEVEL 09		
NAME	CAPACITY	USED
STAIR A	146	19
STAIR B	146	19
		38

**LIFE SAFETY & PARTITION RATING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED

**EGRESS PATH PRIMARY**

- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE
- DIRECTION

**ROOM OCCUPANCY TAG**

ROOM DESCRIPTION  
AREA  
OCCUPANT LOAD  
LOAD FACTOR  
OCCUPANT CLASSIFICATION

**AREA OCCUPANCY TAG**

AREA  
XXXX  
XXX  
XX  
AREA NUMBER  
AREA DESCRIPTION  
OCCUPANT LOAD  
LOAD FACTOR  
OCCUPANT CLASSIFICATION

**DOOR OCCUPANCY TAG**

DOOR NUMBER  
E.W. E.C.  
XX  
XXX  
EGRESS CAPACITY (# OF OCCUPANTS)  
EGRESS WIDTH (MIN. WIDTH INCHES)

**STAIR OCCUPANCY TAG**

STAIR NUMBER  
E.W. E.C.  
XX  
XXX  
EGRESS CAPACITY (# OF OCCUPANTS)  
EGRESS WIDTH (MIN. WIDTH INCHES)

**JDS DEVELOPMENT GROUP**

JDS DEVELOPMENT GROUP  
100 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 646 632 3600

**sh p**

ARCHITECT  
SHP ARCHITECTS, P.C.  
230 BROADWAY, 11TH FLOOR  
NEW YORK, NY 10007  
TEL: 212 869 9336

STRUCTURAL ENGINEER  
YUSEF GANTOR BEKRAK  
230 EAST 43RD STREET  
NEW YORK, NY 10017  
TEL: 212 897 5886

MEP ENGINEER  
JORDIS, SALAM & BOLLER  
80 WINE STREET, 10TH FLOOR  
NEW YORK, NY 10038  
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CIVIL ENGINEER  
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80 WINE STREET, 7TH FLOOR  
NEW YORK, NY 10038  
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NEW YORK, NY 10003  
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VERTICAL TRANSPORTATION  
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8 WINDY STREET, SUITE 204  
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JAN HROCKORYNY ASSOCIATES  
80 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212 288 8828

GEOTECH  
MICE  
305 WEST 40TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 917 288 4900

LIGHTING  
CONSERVATIVE INTERNATIONAL  
100 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10003  
TEL: 212 254 4453



PROPERTY MARKETS GROUP  
111 WEST 57TH STREET, 2ND FLOOR  
NEW YORK, NY 10019  
TEL: 212 869 9336

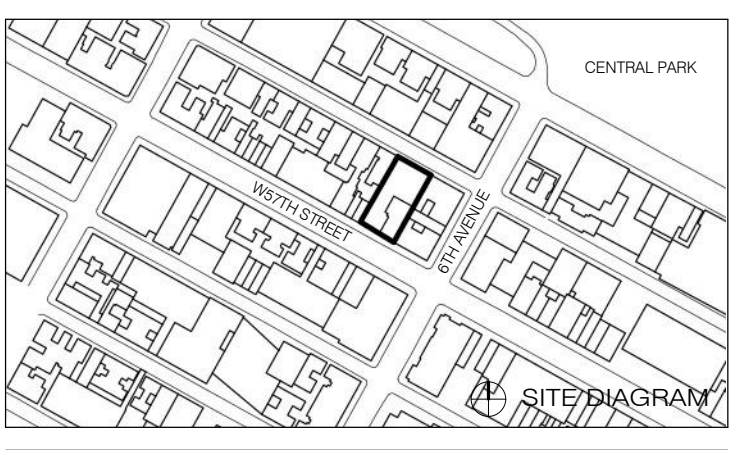
CURRENT ISSUE

**DOB PAA**

**Shauqat Shaikh**  
Buildings & Water

**APPROVED**  
Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

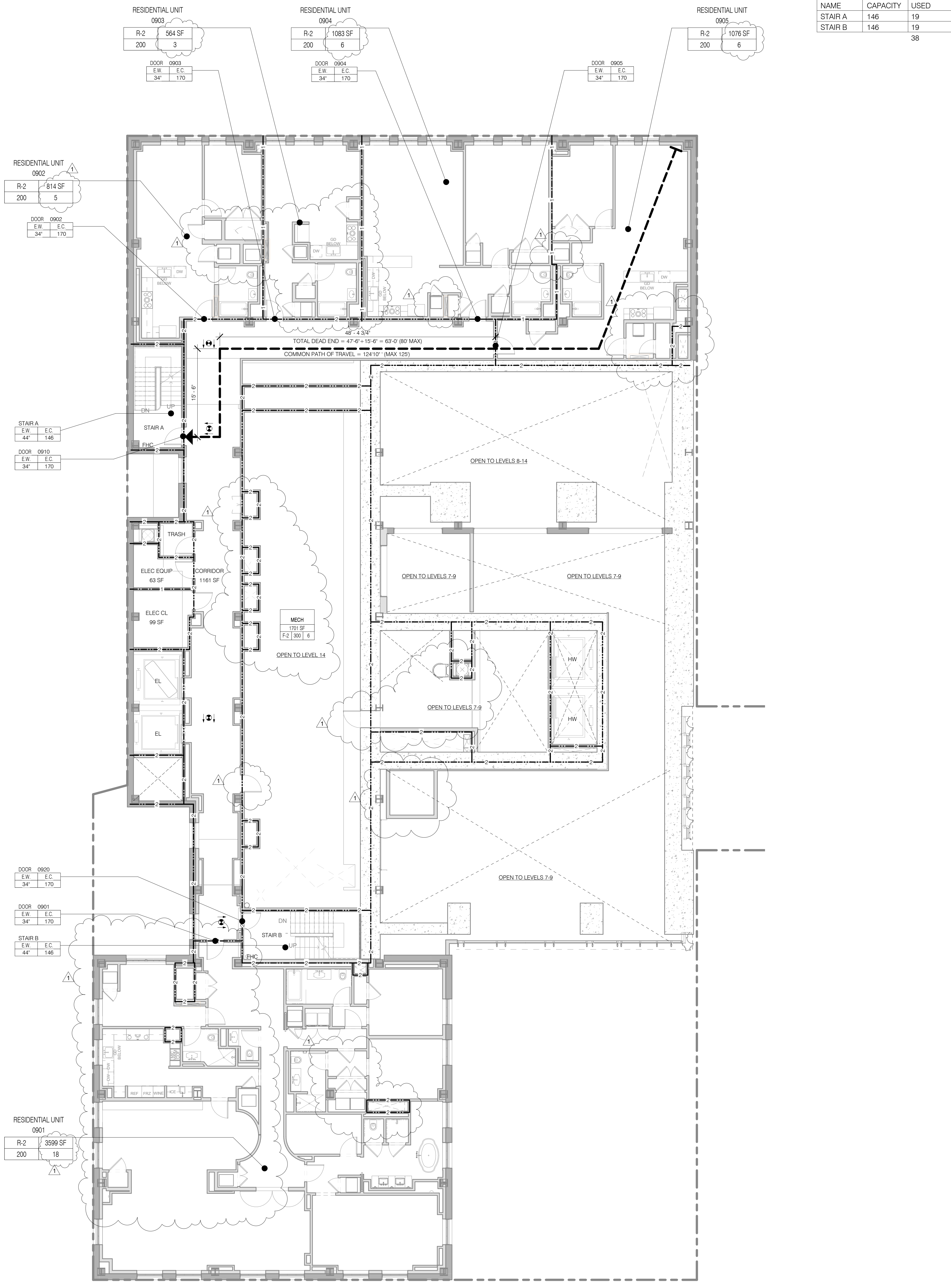
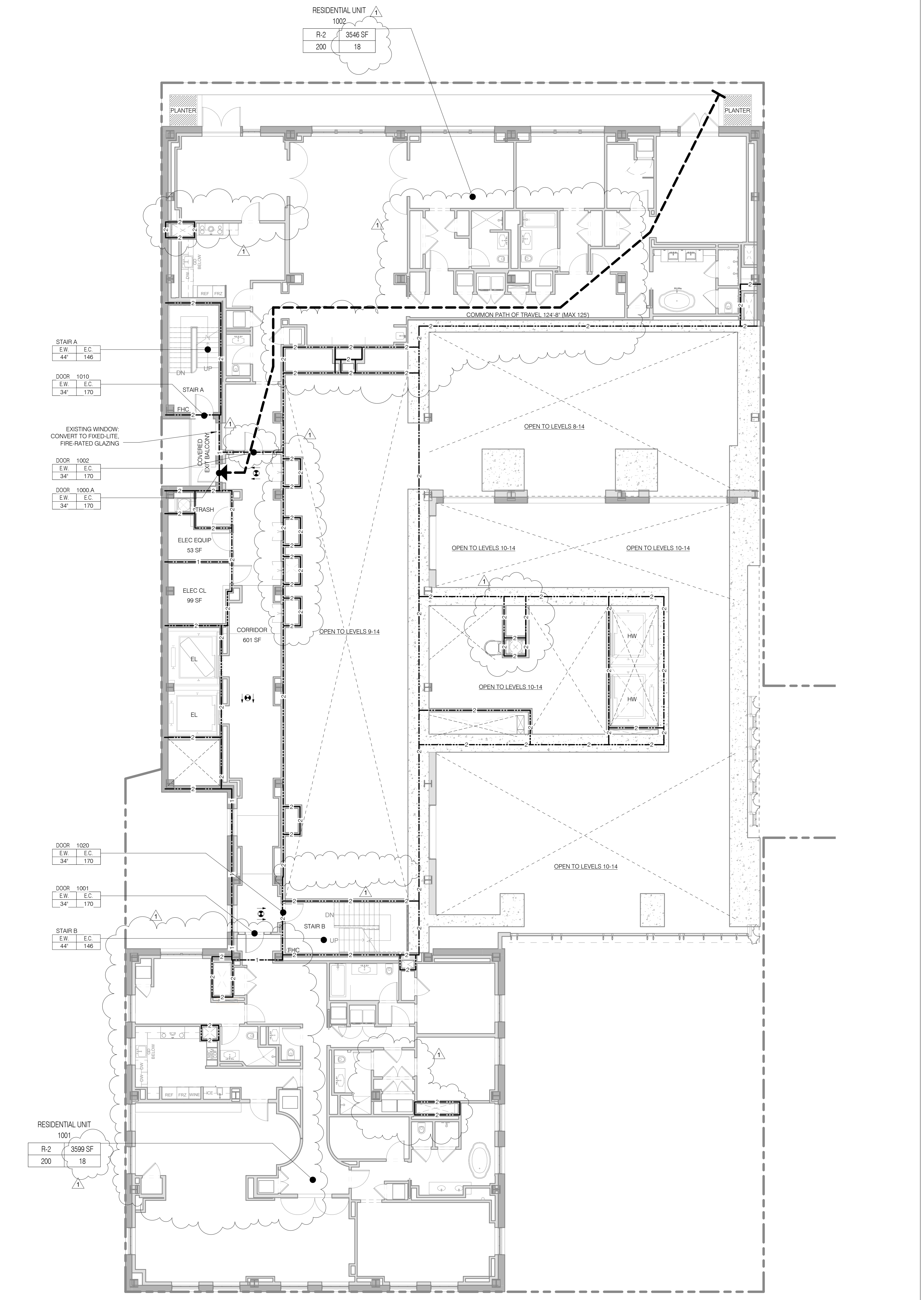
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111 WEST 57TH STREET  
NEW YORK, NY 10019



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DRAWING TITLE  
**LIFE SAFETY PLANS LEVELS 9 + 10**

SEAL & SIGNATURE  
DATE: 3.27.15  
PROJECT NO: 130607  
DRAWN BY: SHP  
CHECKED BY: SHP  
DOB NO: 121332068  
DRAWING NUMBER: G-016.01



**NOTE:**  
CORRIDOR ON THIS LEVEL 2 HR RATED WITH 90-MINUTE SELF-CLOSING OPENING PROTECTIVES  
PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATING FOR ELEMENT INDICATED

**NOTE:**  
PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATING FOR ELEMENT INDICATED

**LEVEL 12**  
 TOTAL OCCUPANT LOAD: 0  
 EXIT CAPACITY PROVIDED: 292  
 MAXIMUM TRAVEL DISTANCE: 0  
 FLOOR DIAGONAL: 0  
 \*\*NO OCCUPIABLE FLOOR THIS LEVEL\*\*

OCCUPANT LOAD - LEVEL 12					
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
STAIR A	146			0	
STAIR B	146			0	
STAIR LOAD - LEVEL 12					
NAME	CAPACITY	USED			
STAIR A	146	0			
STAIR B	146	0			
0					

**LEVEL 11**  
 TOTAL OCCUPANT LOAD: 36  
 EXIT CAPACITY PROVIDED: 292  
 MAXIMUM TRAVEL DISTANCE: 120'-1"  
 FLOOR DIAGONAL: 216'-4"

OCCUPANT LOAD - LEVEL 11					
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 11					
RESIDENTIAL UNIT	1101	R-2	200	18	3599 SF
RESIDENTIAL UNIT	1102	R-2	200	18	3546 SF
LEVEL 11				36	
LEVEL 12					
RESIDENTIAL MEZZANINE	1101.M	R-2	200	2	318 SF
RESIDENTIAL MEZZANINE	1102.M	R-2	200	1	171 SF
LEVEL 12				3	
STAIR LOAD - LEVEL 11					
NAME	CAPACITY	USED			
STAIR A	146	18			
STAIR B	146	18			
36					

**LIFE SAFETY & PARTITION RATING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED

**ROOM OCCUPANCY TAG**

**AREA OCCUPANCY TAG**

**DOOR OCCUPANCY TAG**

**STAIR OCCUPANCY TAG**

**JDS DEVELOPMENT GROUP**  
 104 WEST 47TH STREET, 8TH FLOOR  
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 TEL: 486-833-3600

**sh p**

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 SHP ARCHITECTS, P.C.  
 233 BROOKLYN 11TH FLOOR  
 NEW YORK, NY 10002  
 TEL: 212-869-9336

**STRUCTURAL ENGINEER**  
 BURDETT GORDON  
 228 EAST 47TH STREET  
 NEW YORK, NY 10017  
 TEL: 212-867-2886

**MEP ENGINEER**  
 JACOBS, BALK & BOLLER  
 89 WEST STREET, 10TH FLOOR  
 NEW YORK, NY 10005  
 TEL: 212-869-8333

**CIVIL ENGINEER**  
 AFRIF ENGINEERING, P.C.  
 80 WEST 46TH STREET, 7TH FLOOR  
 NEW YORK, NY 10018  
 TEL: 800-288-8928

**ACOUSTICIAN**  
 LONGMAN LINSEY  
 40 WEST 58TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 917-288-8300

**INTERIORS**  
 STUDIO SCHEFFEL  
 300 WASHINGTON STREET  
 NEW YORK, NY 10013  
 TEL: 212-475-3300

**FAÇADE**  
 BURDETT GORDON  
 105 PROSPECT  
 NEW YORK, NY 10022  
 TEL: 212-241-2025

**VERTICAL TRANSPORTATION**  
 VAN DEUSEN & ASSOCIATES  
 110 WEST STREET, SUITE 2014  
 NEW YORK, NY 10005  
 TEL: 212-869-8333

**RESTORATION**  
 JAN HED FORKORNY ASSOCIATES  
 80 WEST 47TH STREET, 11TH FLOOR  
 NEW YORK, NY 10018  
 TEL: 212-288-8800

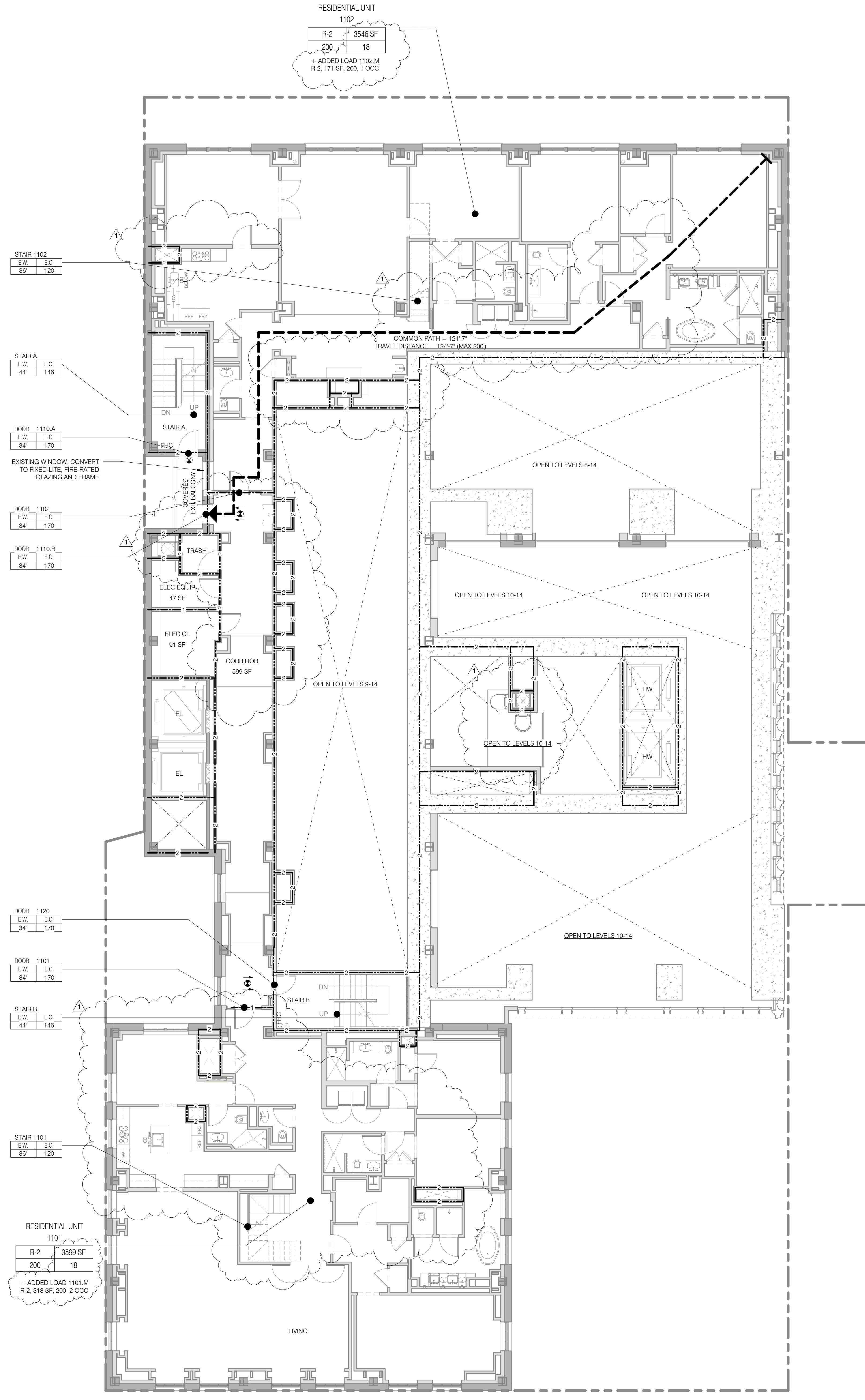
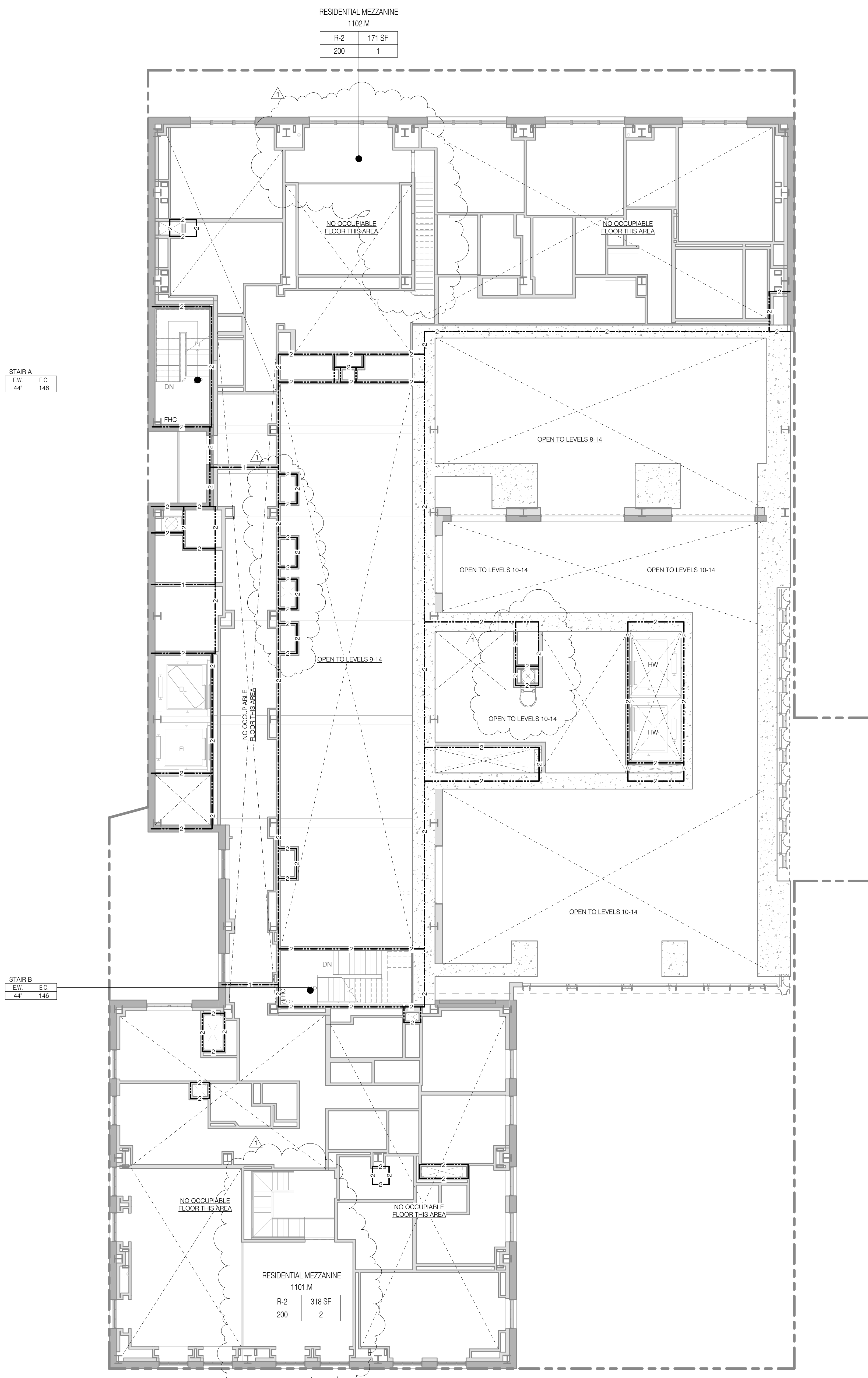
**GEOTECH**  
 MICE  
 305 WEST 40TH STREET, 4TH FLOOR  
 NEW YORK, NY 10018  
 TEL: 917-288-8300

**LIGHTING**  
 OBSERVATIONS INTERNATIONAL  
 105 WALKER STREET, 7TH FLOOR EAST  
 NEW YORK, NY 10002  
 TEL: 212-251-3300

**PROPERTY MARKETS GROUP**  
 30 EAST 17TH STREET, 2ND FLOOR  
 NEW YORK, NY 10003  
 TEL: 212-869-9336

**CURRENT ISSUE**

**DOB PAA**



NOTE: PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATING FOR ELEMENT INDICATED

NOTE: PROPERTY WALLS 3 HR CONSTRUCTION, MIN RATING FOR ELEMENT INDICATED

**Shauqat Shaikh**  
 Building Approved  
 Under Directive 2 of 1975  
 DATED 08/28/2015  
 NYC Development Hub

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019

**SITE DIAGRAM**

NO.	DATE	REVISION
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

**LIFE SAFETY PLANS LEVELS 11 + 12**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SH/p	
CHECKED BY	SH/p	
DOB NO.	121330268	
DRAWING NUMBER		

**G-017.01**

**LEVEL 14**

TOTAL OCCUPANT LOAD: 27  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 123'-6"  
FLOOR DIAGONAL: 199'-5"

OCCUPANT LOAD - LEVEL 14						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 14						
RESIDENTIAL UNIT	1401	R-2	200	15	2884 SF	
RESIDENTIAL UNIT	1402	R-2	200	13	2544 SF	
LEVEL 14				28		

STAIR LOAD - LEVEL 14		
NAME	CAPACITY	USED
STAIR A	146	14
STAIR B	146	14
		28

**LEVEL 13**

TOTAL OCCUPANT LOAD: 37  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 122'-6"  
FLOOR DIAGONAL: 199'-5"

OCCUPANT LOAD - LEVEL 13						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 13						
TERRACE	1300.A	R-2	50	11	500 SF	
RESIDENTIAL UNIT	1301	R-2	200	14	2791 SF	
RESIDENTIAL UNIT	1302	R-2	200	13	2594 SF	
LEVEL 13				38		

STAIR LOAD - LEVEL 13		
NAME	CAPACITY	USED
STAIR A	146	19
STAIR B	146	19
		38

**LIFE SAFETY & PARTITION MARKING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE
- DIRECTION

**ROOM OCCUPANCY TAG**

ROOM: XXXX SF  
AREA: XXXX SF  
OCCUPANT LOAD: XXX  
LOAD FACTOR: XX  
OCCUPANT CLASSIFICATION: XX

**AREA OCCUPANCY TAG**

AREA: XXXX SF  
AREA DESCRIPTION: XXX  
OCCUPANT LOAD: XXX  
LOAD FACTOR: XX  
OCCUPANT CLASSIFICATION: XX

**DOOR OCCUPANCY TAG**

DOOR NUMBER: XX  
EGRESS CAPACITY (# OF OCCUPANTS): XX  
EGRESS WIDTH (MIN. WIDTH INCHES): XX

**STAIR OCCUPANCY TAG**

STAIR NUMBER: XX  
EGRESS CAPACITY (# OF OCCUPANTS): XX  
EGRESS WIDTH (MIN. WIDTH INCHES): XX

**JDS DEVELOPMENT GROUP**

111 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 646.833.3600

**sh p**

ARCHITECT: SHP ARCHITECTS, P.C.  
233 BROADWAY, 11TH FLOOR  
NEW YORK, NY 10007  
TEL: 212.869.9336

STRUCTURAL ENGINEER: BURROUGHS WELLS  
238 EAST 43RD STREET  
NEW YORK, NY 10017  
TEL: 212.867.2886

MEP ENGINEER: JACOBS, BAIAM & BOLLER  
30 RINE STREET, 12TH FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.8333

CIVIL ENGINEER: AWR ENGINEERING, P.C.  
340 WEST 46TH STREET, 7TH FLOOR  
NEW YORK, NY 10018  
TEL: 646.288.8928

ACOUSTIC: LONGMAN LINDSEY  
41 WEST 58TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 917.288.8399

INTERIORS: TUDOR JOSEFIELD  
30 RINE STREET, 12TH FLOOR  
NEW YORK, NY 10003  
TEL: 212.475.3300

PAVING: VAN DEUSEN & ASSOCIATES  
8 RINE STREET, SUITE 204  
LARKSPER, NJ 07033  
TEL: 973.946.5775

RESTORATION: JAN HED FORKORNY ASSOCIATES  
30 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.288.6882

GEOTECH: MICE  
305 WEST 58TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 917.288.8399

LIGHTING: CONSERVATIVE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10002  
TEL: 212.255.4453

PROPERTY MARKETS GROUP  
3 EAST 11TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.9336

CURRENT ISSUE: DOB PAA

**Shauqat Shaikh**  
Buildings Department  
APPROVED Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

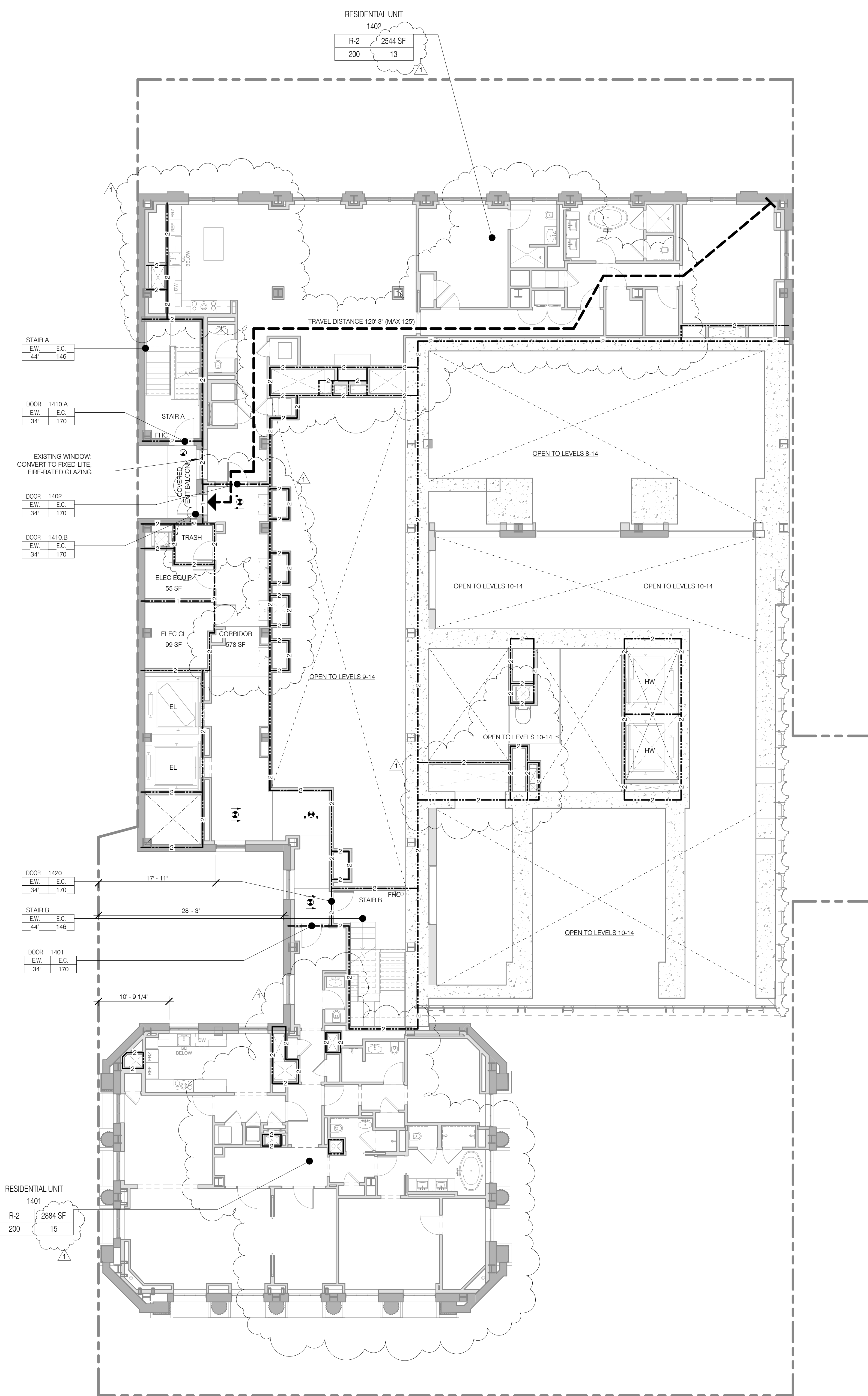
**LIFE SAFETY PLANS LEVELS 13 + 14**

1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET

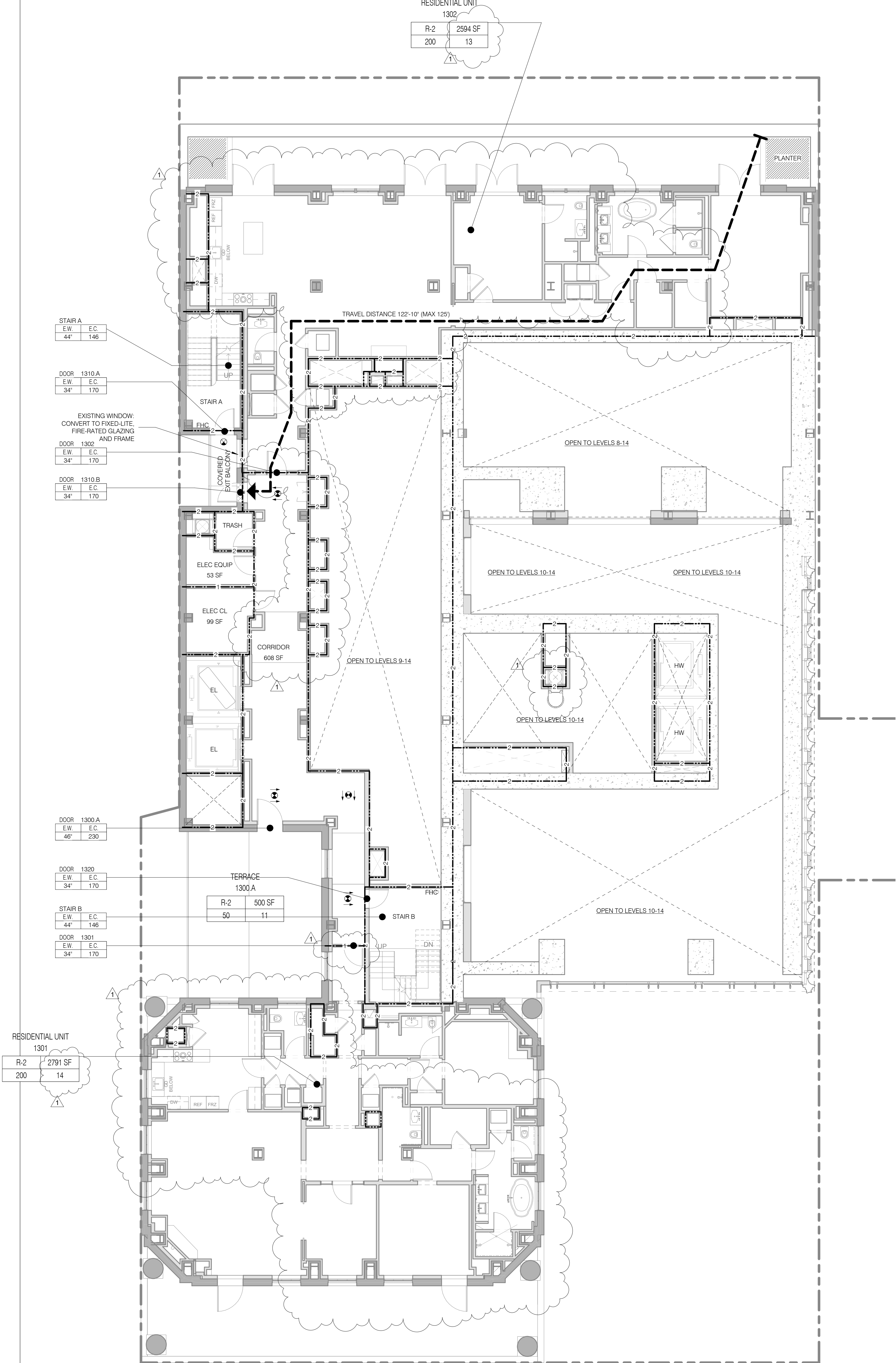
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DRAWING TITLE: LIFE SAFETY PLANS LEVELS 13 + 14

SEAL & SIGNATURE: DATE: 3.27.15  
PROJECT NO: 130007  
DRAWN BY: SHP  
CHECKED BY: SHP  
DOB NO: 121332006  
DRAWING NUMBER: G-018.01



NOTE:  
PROPERTY WALLS 3 HR CONSTRUCTION,  
MIN RATING FOR ELEMENT INDICATED



NOTE:  
PROPERTY WALLS 3 HR CONSTRUCTION,  
MIN RATING FOR ELEMENT INDICATED

**LEVEL 16**  
 TOTAL OCCUPANT LOAD: 48  
 EXIT CAPACITY PROVIDED: 282  
 FLOOR DIAGONAL: 158'-7"  
 \*\*LEVEL 17 EGRESS VIA LEVEL 16\*\*

OCCUPANT LOAD - LEVEL 16						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 16.0						
RESIDENTIAL UNIT	1601	R-2	200	20	3904 SF	
MECHANICAL ROOM	1602	F-2	300	14	4047 SF	
MECHANICAL ROOF	1602.A	F-2	300	10	2892 SF	
LEVEL 16.0				44		
LEVEL 17.0						
PRIVATE TERRACE	1700	R-2	200	12	2283 SF	
RESIDENTIAL UNIT	1701	R-2	200	6	1193 SF	
LEVEL 17.0				18		

STAIR LOAD - LEVEL 16		
NAME	CAPACITY	USED
STAIR A	146	31
STAIR B	146	31
		62

**LEVEL 15**  
 TOTAL OCCUPANT LOAD: 21  
 EXIT CAPACITY PROVIDED: 202  
 MAXIMUM TRAVEL DISTANCE: 155'-9"  
 FLOOR DIAGONAL: 145'-10"

OCCUPANT LOAD - LEVEL 15						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 15						
MECHANICAL ROOM	1501	F-2	300	24	7194 SF	
LEVEL 15				24		

STAIR LOAD - LEVEL 15		
NAME	CAPACITY	USED
STAIR A	146	12
STAIR B	146	12
		24

**LIFE SAFETY & PARTITION RATING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION

**ROOM OCCUPANCY TAG**

ROOM: XXXX SF  
 OCC: 1 OF 10  
 AREA DESCRIPTION  
 OCCUPANT LOAD  
 LOAD FACTOR  
 OCCUPANT CLASSIFICATION

**AREA OCCUPANCY TAG**

AREA: A  
 AREA: XXXX SF  
 AREA: XX  
 AREA NUMBER  
 AREA DESCRIPTION  
 OCCUPANT LOAD  
 LOAD FACTOR  
 OCCUPANT CLASSIFICATION

**DOOR OCCUPANCY TAG**

DOOR NUMBER: XX  
 E.W. | E.C. | XXX

**STAIR OCCUPANCY TAG**

STAIR NUMBER: XX  
 E.W. | E.C. | XXX

**JDS DEVELOPMENT GROUP**  
 100 WEST 57TH STREET, 8TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 646 832 3600

**sh p**

**ARCHITECT**  
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**MEP ENGINEER**  
 JORDIS, BAIAM & BOLLER  
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**CIVIL ENGINEER**  
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**RESTORATION**  
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 NEW YORK, NY 10019  
 TEL: 212 288 6482

**GEOTECH**  
 GEOTECH  
 305 WEST 57TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 917 238 4300

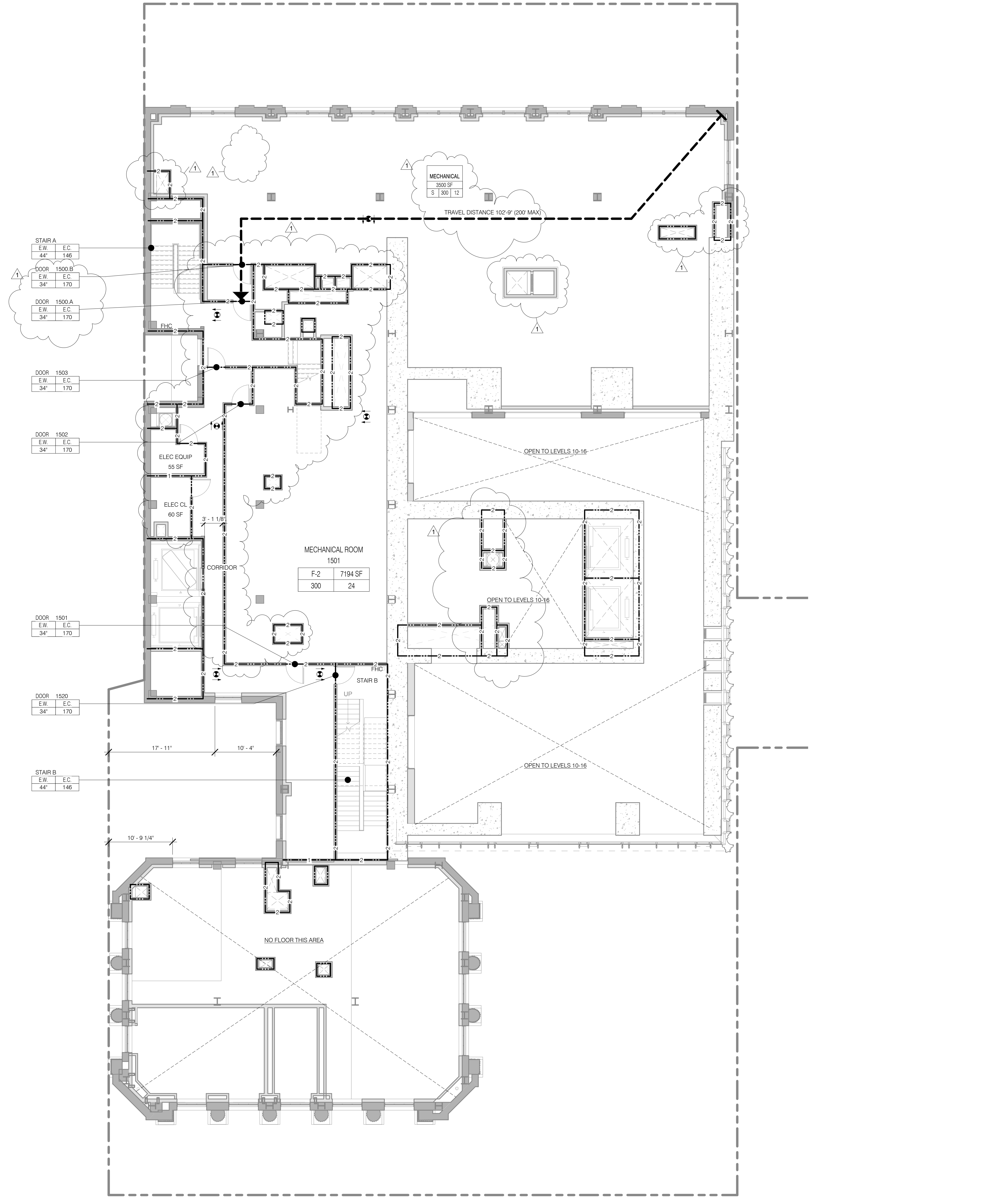
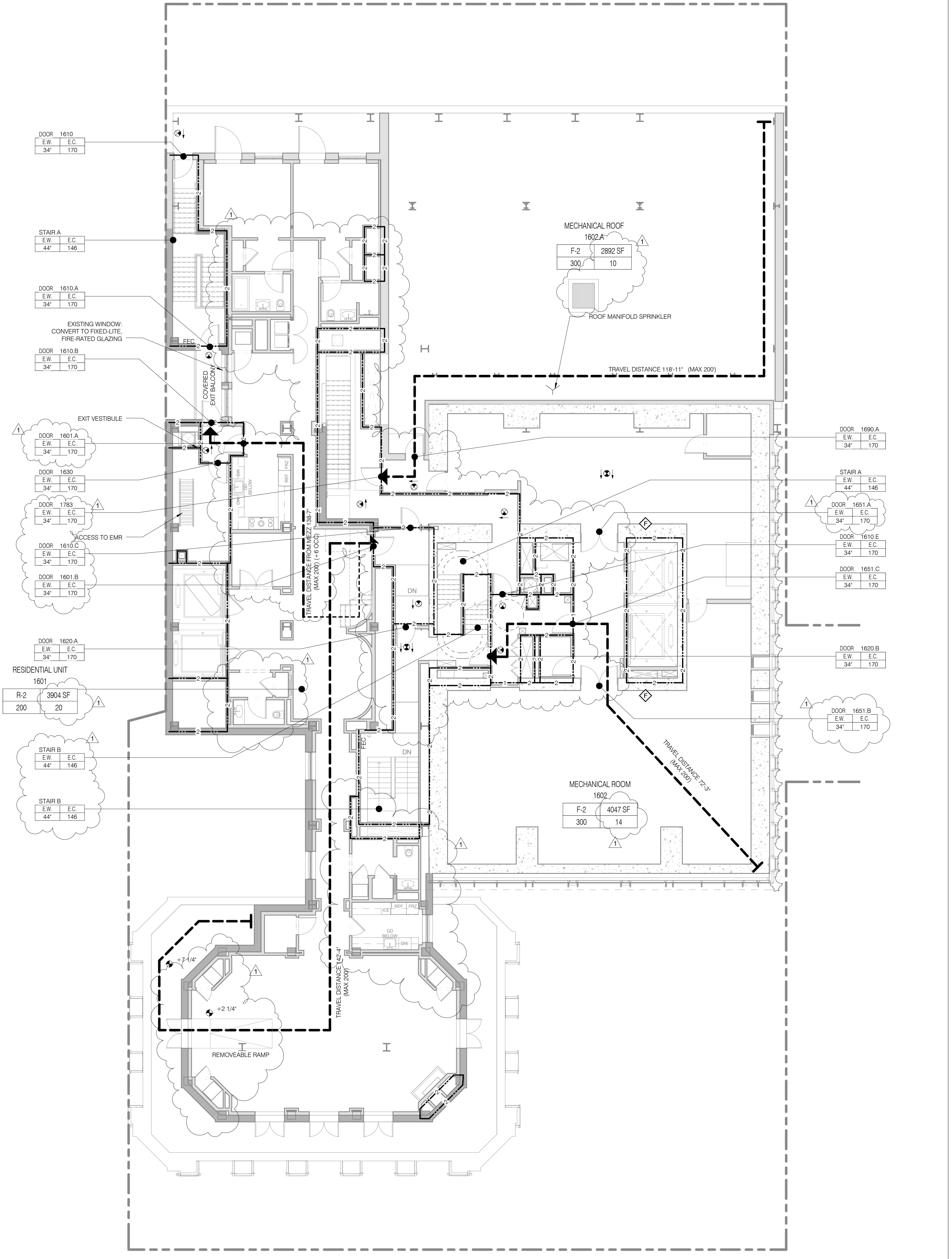
**LIGHTING**  
 COOPERATIVE INTERNATIONAL  
 105 WALKER STREET, 7TH FLOOR EAST  
 NEW YORK, NY 10002  
 TEL: 212 475 3300

**PROPERTY MARKETS GROUP**  
 300 WEST 57TH STREET, 2ND FLOOR  
 NEW YORK, NY 10019  
 TEL: 212 869 9336

**CURRENT ISSUE**

**DOB PAA**

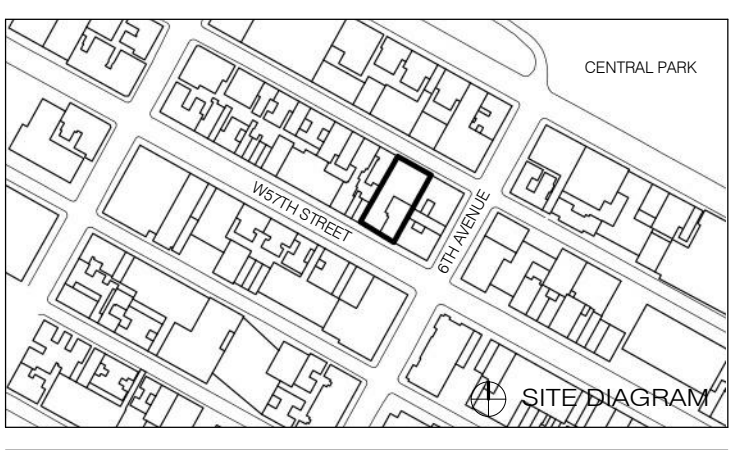
**Shauqat Shaikh**  
 Building Professional  
 APPROVED  
 Under Directive 2 of 1975  
 DATED 05/23/2014  
 DATE: 05/23/2014  
 NYC Development Hub



NOTE:  
 PROPERTY WALLS 3 HR CONSTRUCTION.  
 MIN RATINGS FOR ELEMENT INDICATED

NOTE:  
 PROPERTY WALLS 3 HR CONSTRUCTION.  
 MIN RATINGS FOR ELEMENT INDICATED

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

**LIFE SAFETY PLANS LEVELS 15 + 16**

SEAL & SIGNATURE DATE 3.27.15

PROJECT NO. 130007  
 DRAWN BY SH&P  
 CHECKED BY SH&P  
 DATE 12/13/2006  
 DRAWING NUMBER G-019.01

**LEVEL 18**

TOTAL OCCUPANT LOAD: 17  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 53'-6"  
FLOOR DIAGONAL: 99'-1"

OCCUPANT LOAD - LEVEL 18						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 18						
MECHANICAL ROOM	1750	F-2	300	12	3337 SF	
ELEVATOR MACHINE	1801	F-2	300	5	1213 SF	
LEVEL 18				17		

STAIR LOAD - LEVEL 18		
NAME	CAPACITY	USED
STAIR A	146	9
STAIR B	146	9
		18

**LEVEL 17**

\*\*INTERIOR EGRESS VIA LEVEL 16\*\*

OCCUPANT LOAD - LEVEL 17						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 17.0						
PRIVATE TERRACE	1700	R-2	200	12	2283 SF	
LEVEL 17.0				12		

STAIR LOAD - LEVEL 17		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		18

**LIFE SAFETY & PARTITION RATING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE
- DIRECTION

**ROOM OCCUPANCY TAG**

ROOM / AREA / OCCUPANT LOAD / LOAD FACTOR / OCCUPANT CLASSIFICATION

**AREA OCCUPANCY TAG**

AREA / AREA NUMBER / OCCUPANT LOAD / LOAD FACTOR / OCCUPANT CLASSIFICATION

**DOOR OCCUPANCY TAG**

DOOR NUMBER / EGRESS CAPACITY (# OF OCCUPANTS) / EGRESS WIDTH (MIN. WIDTH INCHES)

**STAIR OCCUPANCY TAG**

STAIR NUMBER / EGRESS CAPACITY (# OF OCCUPANTS) / EGRESS WIDTH (MIN. WIDTH INCHES)

**JDS DEVELOPMENT GROUP**

JDS DEVELOPMENT GROUP  
30 WEST 47TH STREET, 11TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.261.8000

**sh p**

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NEW YORK, NY 10017  
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**MEP ENGINEER**  
SINOR, SHAM & ROLLES  
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NEW YORK, NY 10013  
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**CIVIL ENGINEER**  
AKRF ENGINEERING, P.C.  
400 PARK AVE SOUTH, 7TH FLOOR  
NEW YORK, NY 10018  
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LONGMAN LINDBLEY  
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NEW YORK, NY 10019  
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STUDIO SPINFIELD  
100 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10002  
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**RESTORATION**  
VAN DEUSEN & ASSOCIATES  
110 WEST STREET, SUITE 614  
LONGMEADOW, NY 10804  
TEL: 212.261.8000

**VERTICAL TRANSPORTATION**  
JAN HRO POKORNY ASSOCIATES  
30 WEST 57TH STREET, 11TH FLOOR  
NEW YORK, NY 10019  
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**GEOTECH**  
MPC  
200 WEST 57TH STREET, 6TH FLOOR  
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TEL: 212.261.8000

**PROPERTY MARKETS GROUP**  
111 WEST 57TH STREET  
NEW YORK, NY 10019  
TEL: 212.261.8000

**CURRENT ISSUE**

**DOB PAA**

**Shauqat Shaikh**  
Building Consultant  
APPROVED  
Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

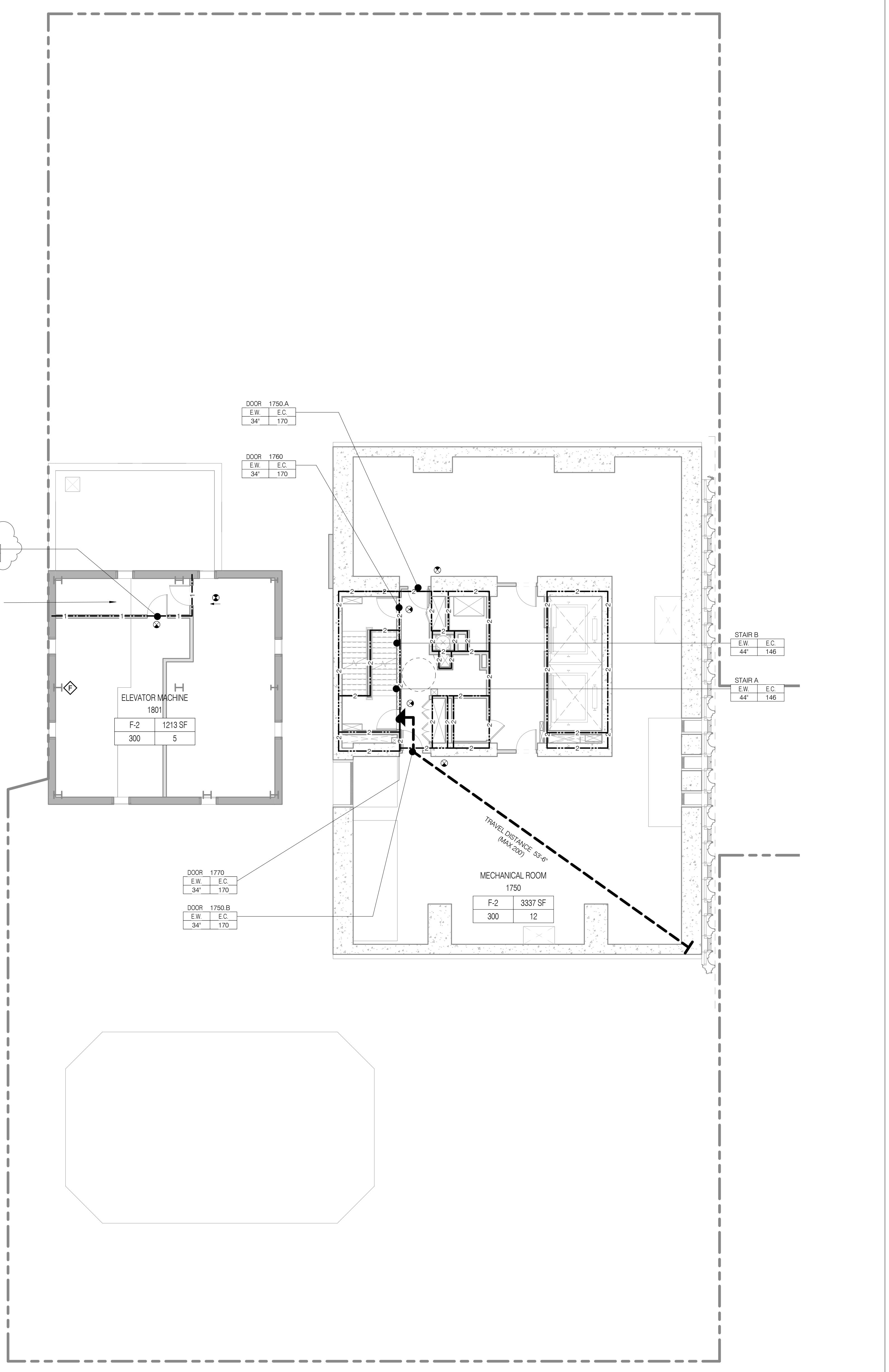
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3/27/15	DOB PAA
	5/1/14	DOB FILING SET
NO.	DATE	REVISION

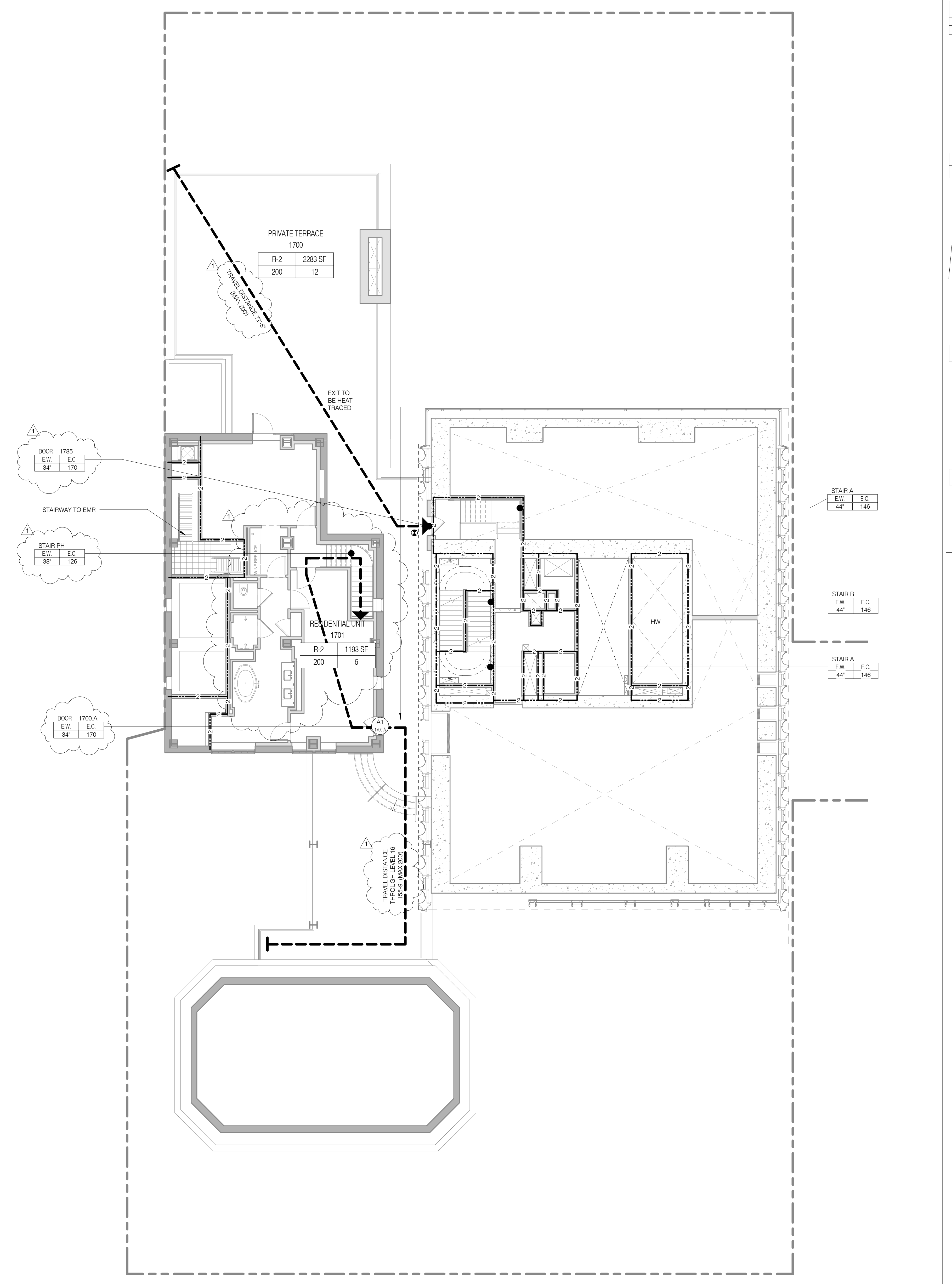
**DRAWING TITLE**  
LIFE SAFETY PLANS LEVELS 17 + 18

**SEAL & SIGNATURE**  
DATE: 3/27/15  
PROJECT NO.: 130607  
DRAWN BY: SHUP  
CHECKED BY: SHUP  
DATE: 3/27/15  
DCR NO.: 121333298  
DRAWING NUMBER: G-020.01



**NOTE:**  
PROPERTY WALLS 3 HR CONSTRUCTION.  
MIN RATING FOR ELEMENT INDICATED

**LEVEL 18**  
1/8" = 1'-0"  
2  
A-2101 5-0001



**NOTE:**  
PROPERTY WALLS 3 HR CONSTRUCTION.  
MIN RATING FOR ELEMENT INDICATED

**LEVEL 17.0**  
1/8" = 1'-0"  
1  
A-2101 5-0001





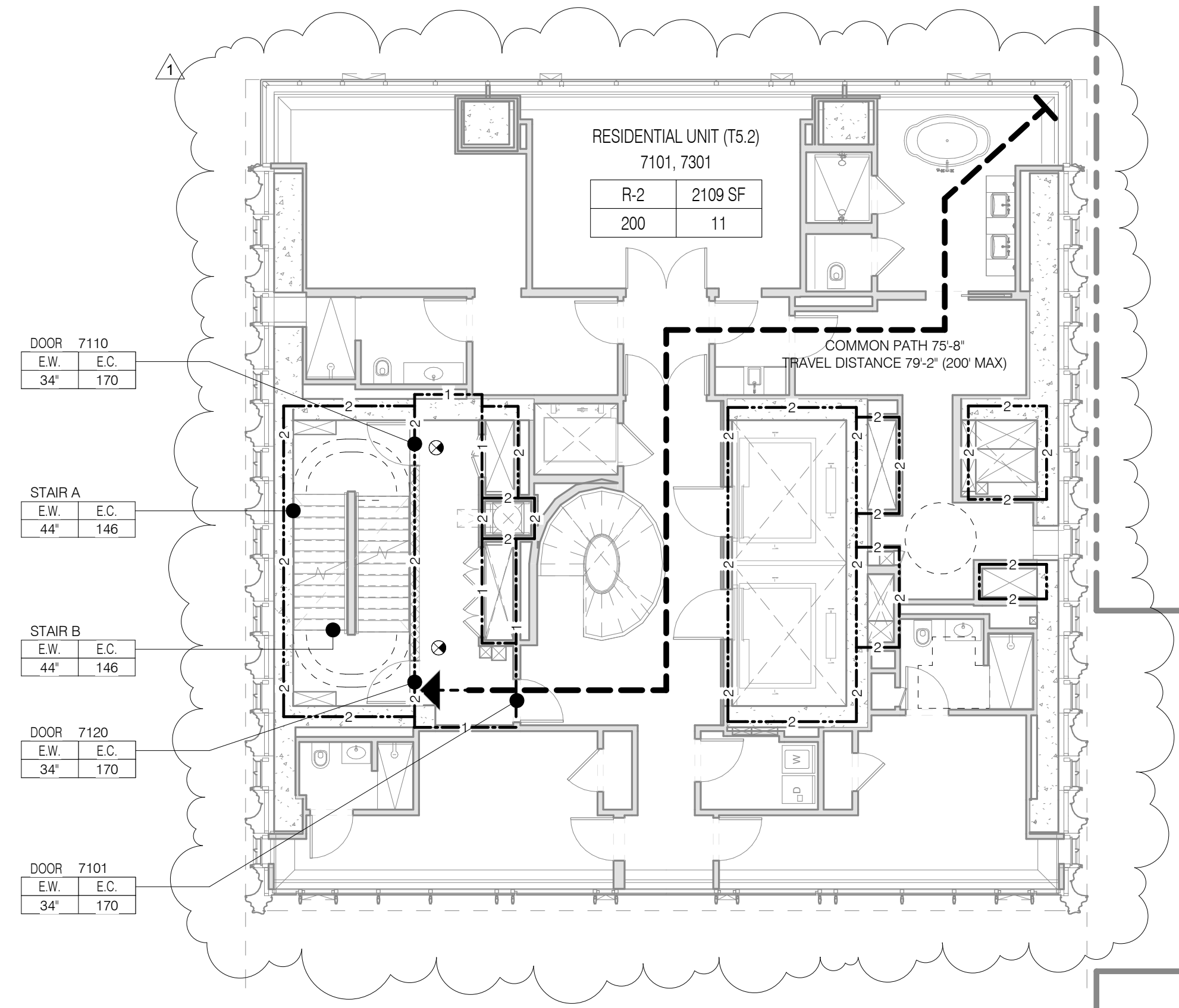
**LEVELS 71, 73**

TOTAL OCCUPANT LOAD: 11  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 79'-2"  
FLOOR DIAGONAL: 75'-3"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 71					
RESIDENTIAL UNIT (T5.2)	7101, 7301	R-2	200	11	2109 SF
LEVEL 73					
LEVEL 71					11

STAIR LOAD - LEVEL 71		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



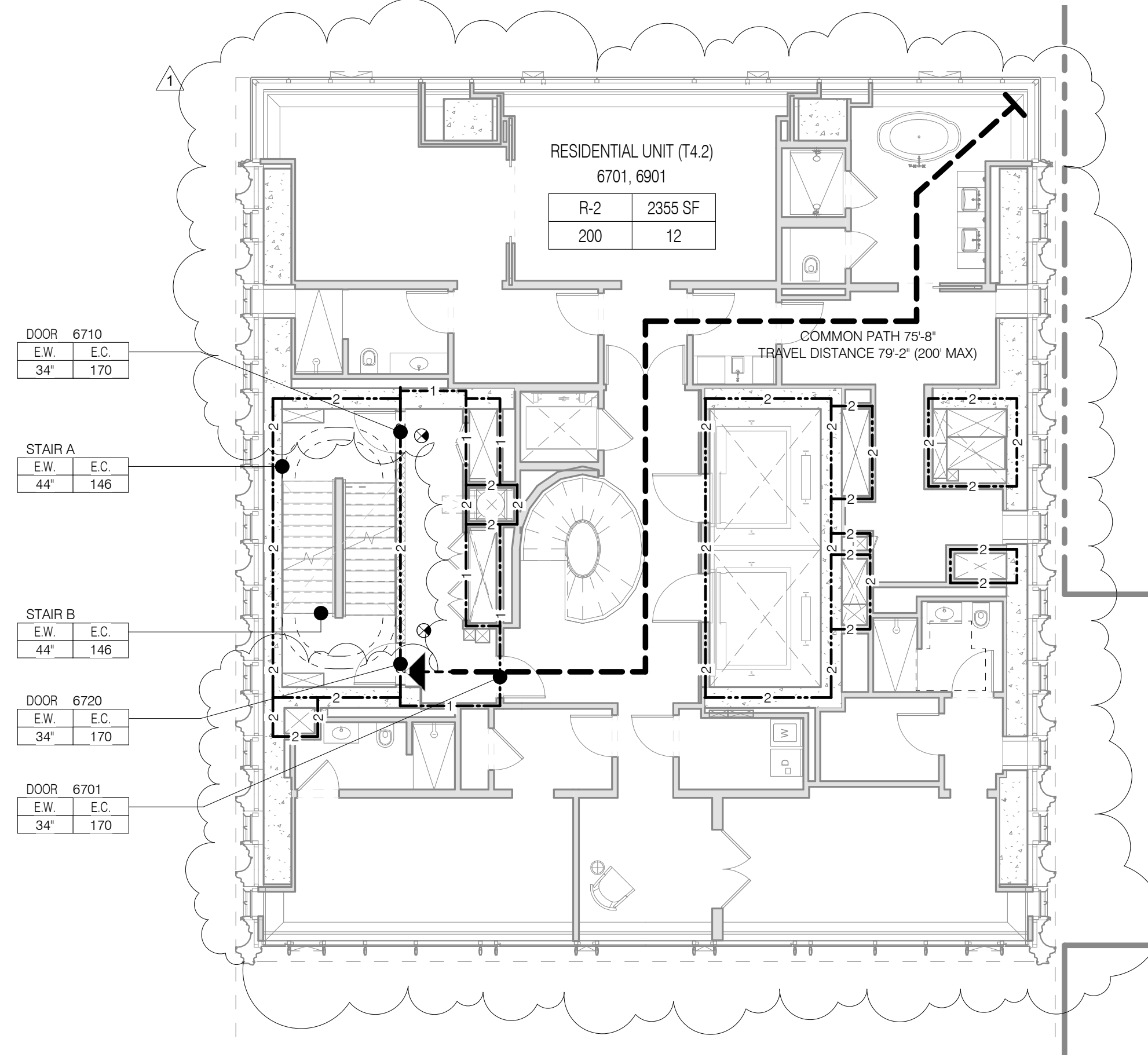
**LEVELS 67, 69**

TOTAL OCCUPANT LOAD: 12  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 79'-2"  
FLOOR DIAGONAL: 78'-6"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 67					
RESIDENTIAL UNIT (T4.2)	6701, 6901	R-2	200	12	2355 SF
LEVEL 69					
LEVEL 67					12

STAIR LOAD - LEVEL 67		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



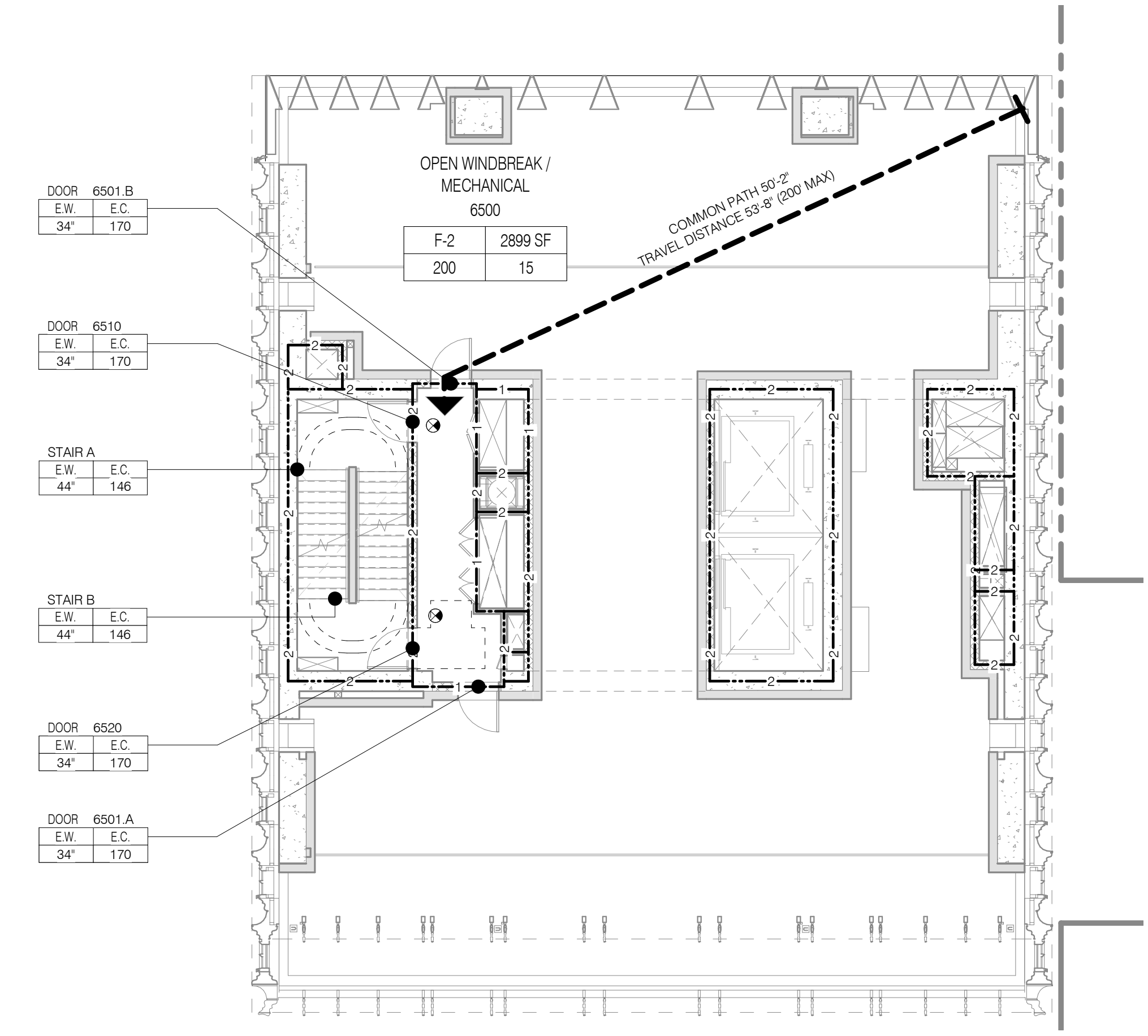
**LEVEL 65**

TOTAL OCCUPANT LOAD: 15  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 50'-3"  
FLOOR DIAGONAL: 79'-4"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 65					
OPEN WINDBREAK / MECHANICAL	6500	F-2	200	15	2899 SF
LEVEL 65					15

STAIR LOAD - LEVEL 65		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16



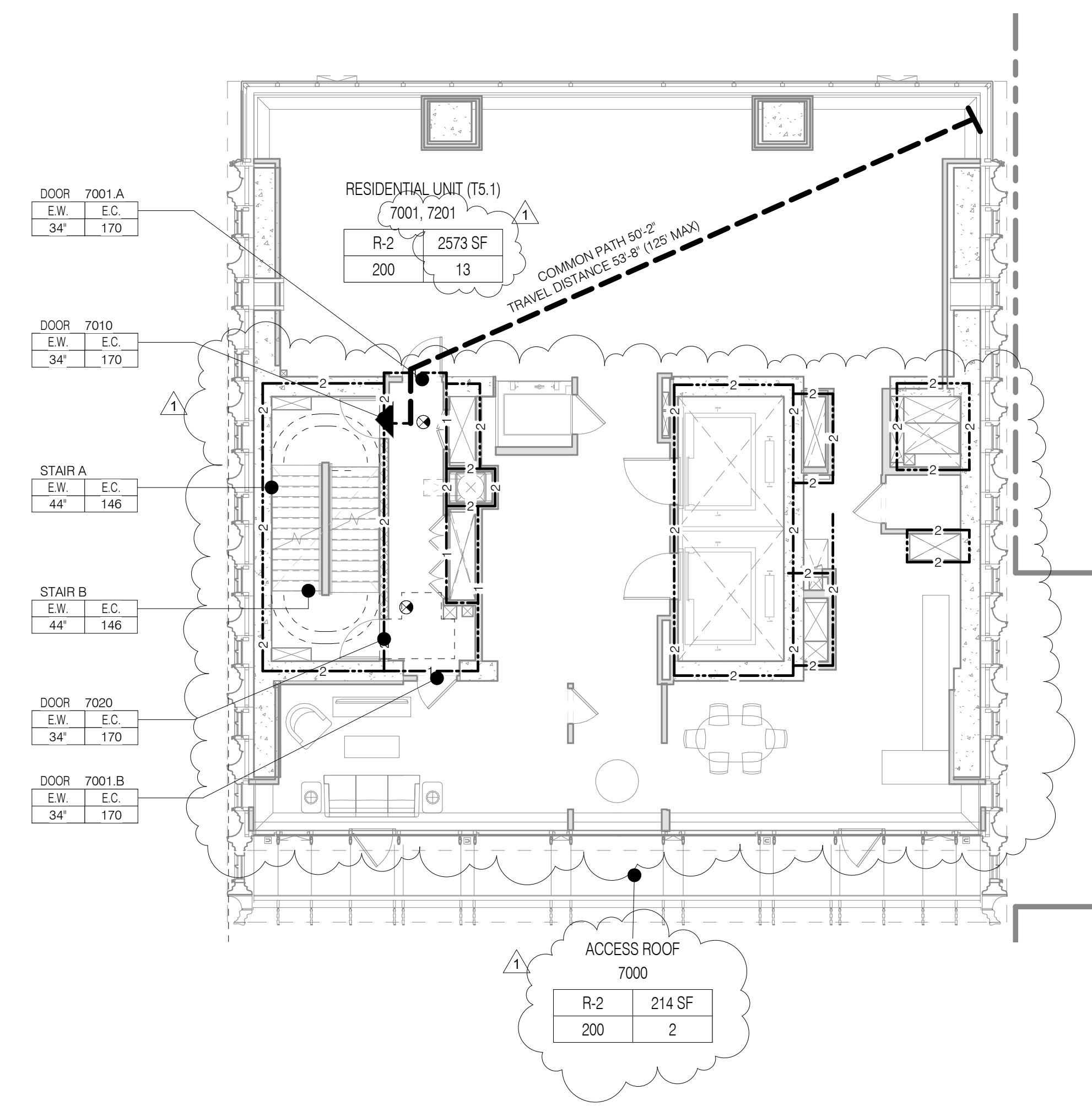
**LEVELS 70, 72**

TOTAL OCCUPANT LOAD: 13+2  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 50'-2"  
FLOOR DIAGONAL: 75'-11"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 70					
ACCESS ROOF	7000	R-2	200	2	214 SF
RESIDENTIAL UNIT (T5.1)	7001, 7201	R-2	200	13	2573 SF
LEVEL 70					15

STAIR LOAD - LEVEL 70		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16



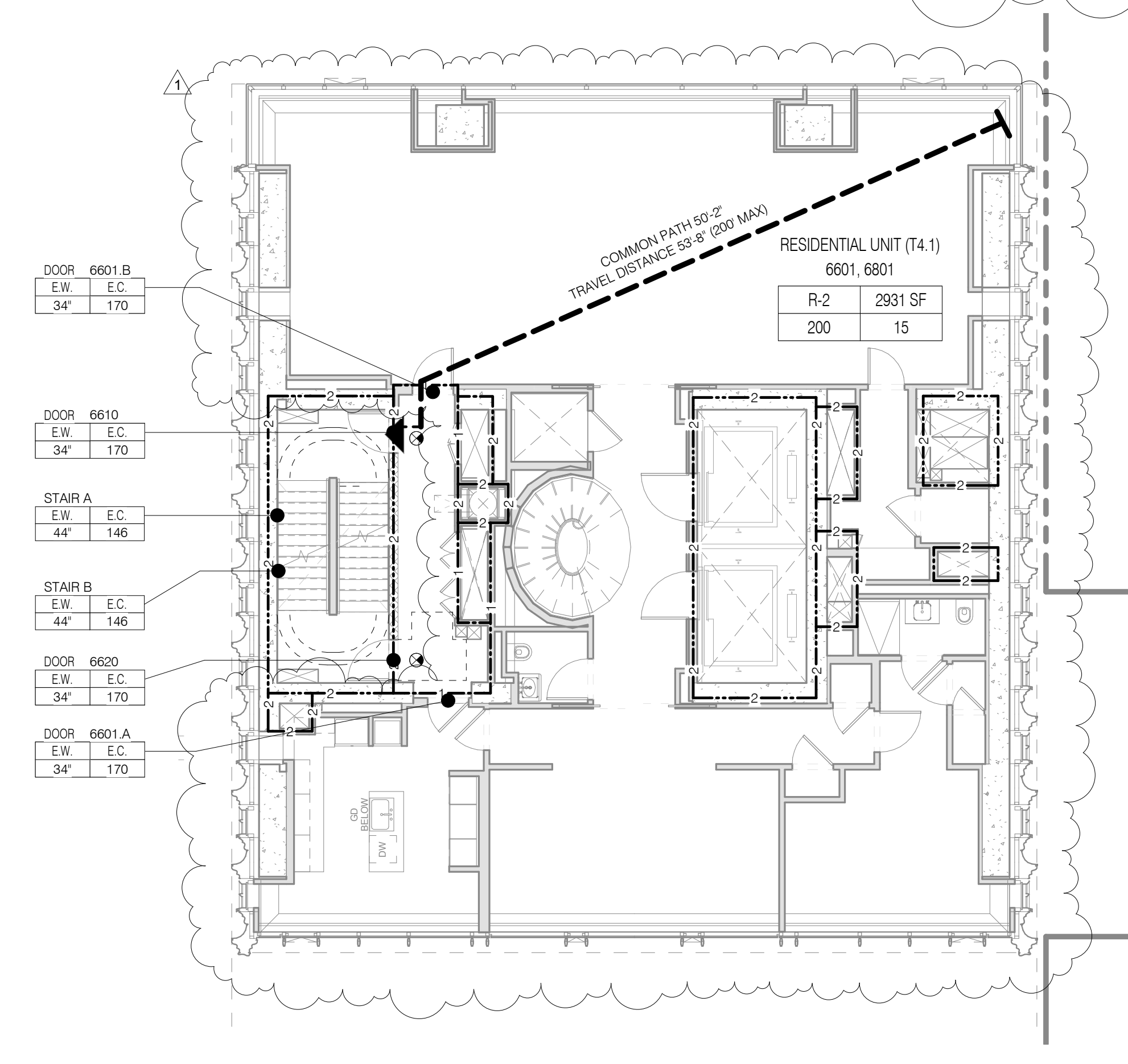
**LEVELS 66, 68**

TOTAL OCCUPANT LOAD: 15  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 50'-2"  
FLOOR DIAGONAL: 79'-4"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 66					
RESIDENTIAL UNIT (T4.1)	6601, 6801	R-2	200	15	2931 SF
LEVEL 66					15

STAIR LOAD - LEVEL 66		
NAME	CAPACITY	USED
STAIR A	146	8
STAIR B	146	8
		16



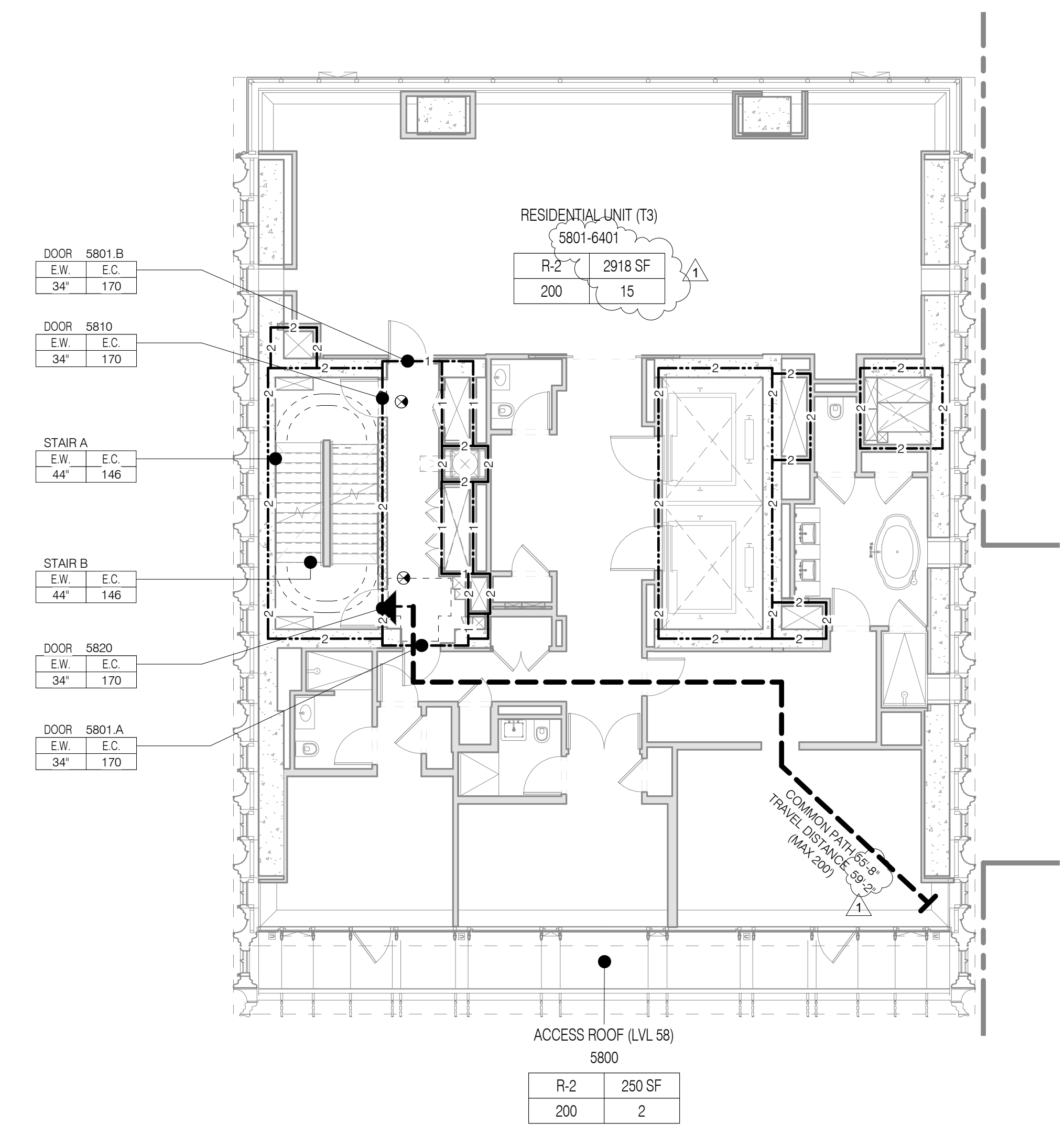
**LEVELS 58-64**

TOTAL OCCUPANT LOAD: 15+2  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 59'-2"  
FLOOR DIAGONAL: 83'-4"

NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA
LEVEL 58					
ACCESS ROOF (LVL 58)	5800	R-2	200	2	250 SF
RESIDENTIAL UNIT (T3)	5801-6401	R-2	200	15	2918 SF
LEVEL 58					17

STAIR LOAD - LEVEL 58		
NAME	CAPACITY	USED
STAIR A	146	9
STAIR B	146	9
		18



**LEVEL 70, 72**

1/8" = 1'-0"

**LEVEL 66, 68**

1/8" = 1'-0"

**LEVEL 58-64**

1/8" = 1'-0"

- LIFE SAFETY & PARTITION**
- 3 HR RATED
  - 2 HR RATED
  - 1 HR RATED
  - EGRESS PATH - PRIMARY
  - USE BOUNDARY
  - FIRE EXTINGUISHER
  - FIRE HYDRANT
  - STAND PIPE
  - EXIT SIGNAGE
  - ILLUMINATED SURFACE DIRECTION
  - ROOM OCCUPANCY TAG
  - ROOM DESCRIPTION
  - AREA
  - OCCUPANT LOAD
  - LOAD FACTOR
  - OCCUPANT CLASSIFICATION
  - AREA OCCUPANCY TAG
  - AREA
  - AREA NUMBER
  - AREA DESCRIPTION
  - OCCUPANT LOAD
  - LOAD FACTOR
  - OCCUPANT CLASSIFICATION
  - DOOR OCCUPANCY TAG
  - DOOR NUMBER
  - EGRESS CAPACITY (# OF OCCUPANTS)
  - EGRESS WIDTH (MIN. WIDTH INCHES)
  - STAIR OCCUPANCY TAG
  - STAIR NUMBER
  - EGRESS CAPACITY (# OF OCCUPANTS)
  - EGRESS WIDTH (MIN. WIDTH INCHES)

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111 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 646.832.3600

**sh p**

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235 BROADWAY, 11TH FLOOR  
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TEL: 212.869.9336

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235 EAST 47TH STREET  
NEW YORK, NY 10017  
TEL: 212.869.9336

MEP ENGINEER: JORDIS, BALM & BOLLES  
40 WINE STREET, 10TH FLOOR  
NEW YORK, NY 10003  
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CIVIL ENGINEER: ANIR ENGINEERING, P.C.  
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NEW YORK, NY 10003  
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CURRENT ISSUE

**DOB PAA**

**Shauqat Shaikh**

Building + Market

APPROVED  
Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

NO.	DATE	REVISION
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

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DRAWING TITLE: **LIFE SAFETY PLANS LEVELS 58-73**

DATE: 3.27.15

PROJECT NO: 130007

DRAWN BY: SHP/p

CHECKED BY: SHP/p

DATE: 08/28/2015

DOB NO: 121332006

DRAWING NUMBER: **G-022.01**

**LEVEL 79**

TOTAL OCCUPANT LOAD: 9  
EXIT CAPACITY PROVIDED: 292

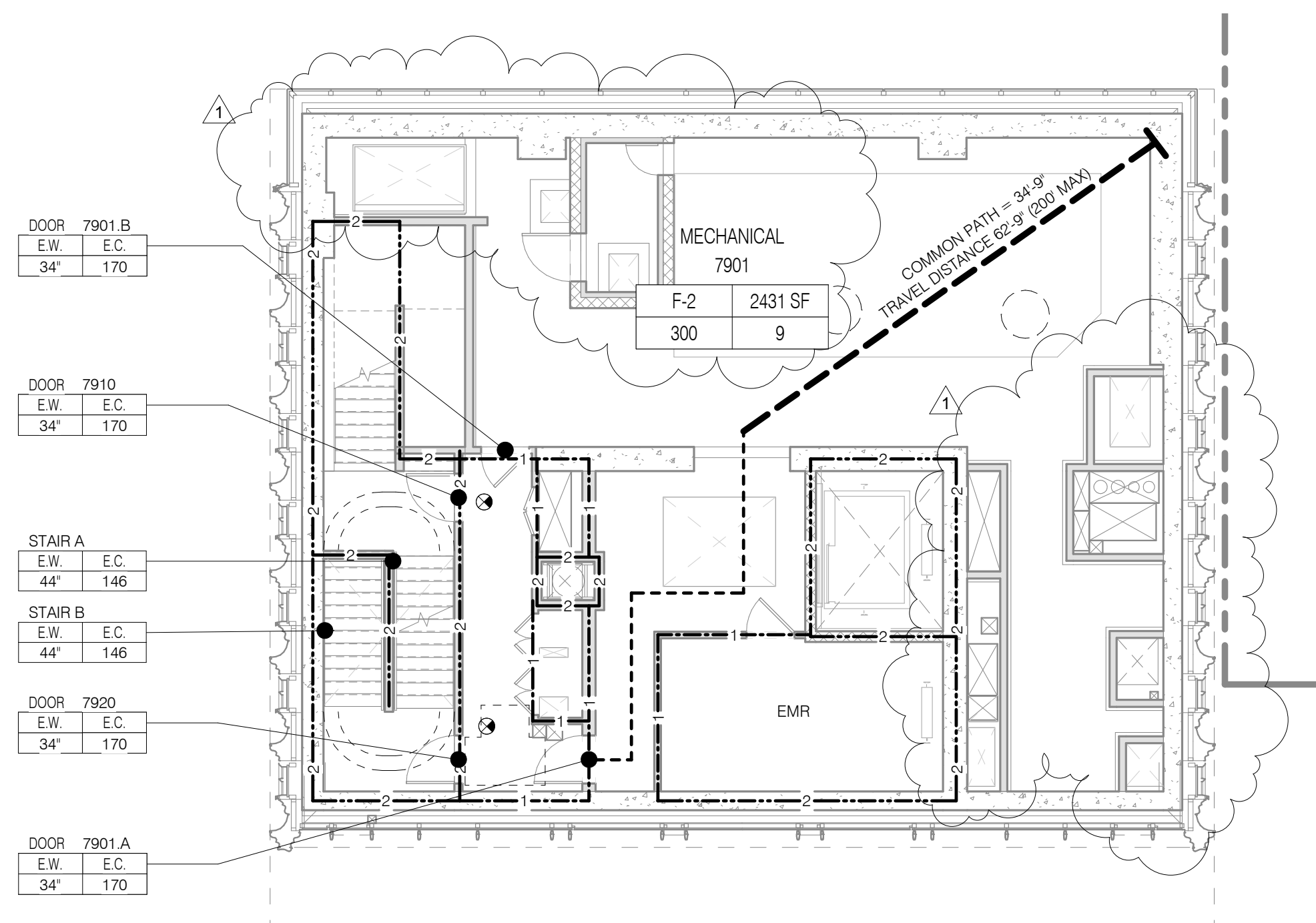
MAXIMUM TRAVEL DISTANCE: 62'-9"

FLOOR DIAGONAL: 63'-3"

OCCUPANT LOAD - LEVEL 79						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 79 MECHANICAL	7901	F-2	300	9	2431 SF	
LEVEL 79 MECHANICAL				9		

STAIR LOAD - LEVEL 79		
NAME	CAPACITY	USED
STAIR A	146	5
STAIR B	146	5
		10



**LEVEL 77**

TOTAL OCCUPANT LOAD: 12+2  
EXIT CAPACITY PROVIDED: 292

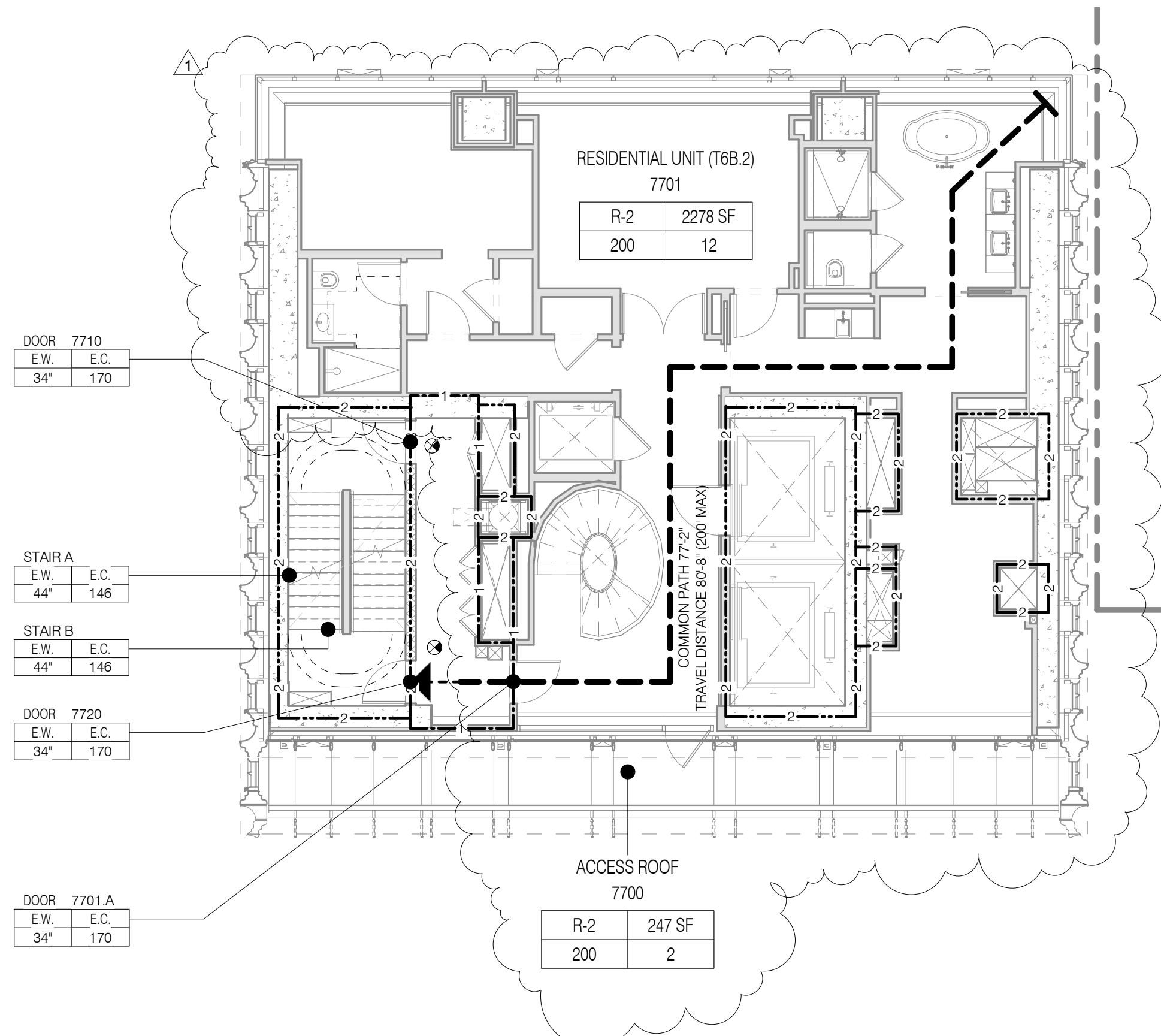
MAXIMUM TRAVEL DISTANCE: 93'-4"

FLOOR DIAGONAL: 67'-3"

OCCUPANT LOAD - LEVEL 77						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 77 ACCESS ROOF	7700	R-2	200	2	247 SF	
LEVEL 77 RESIDENTIAL UNIT (T6B.2)	7701	R-2	200	12	2278 SF	
LEVEL 77				14		

STAIR LOAD - LEVEL 77		
NAME	CAPACITY	USED
STAIR A	146	7
STAIR B	146	7
		14



**LEVEL 75**

TOTAL OCCUPANT LOAD: 12  
EXIT CAPACITY PROVIDED: 292

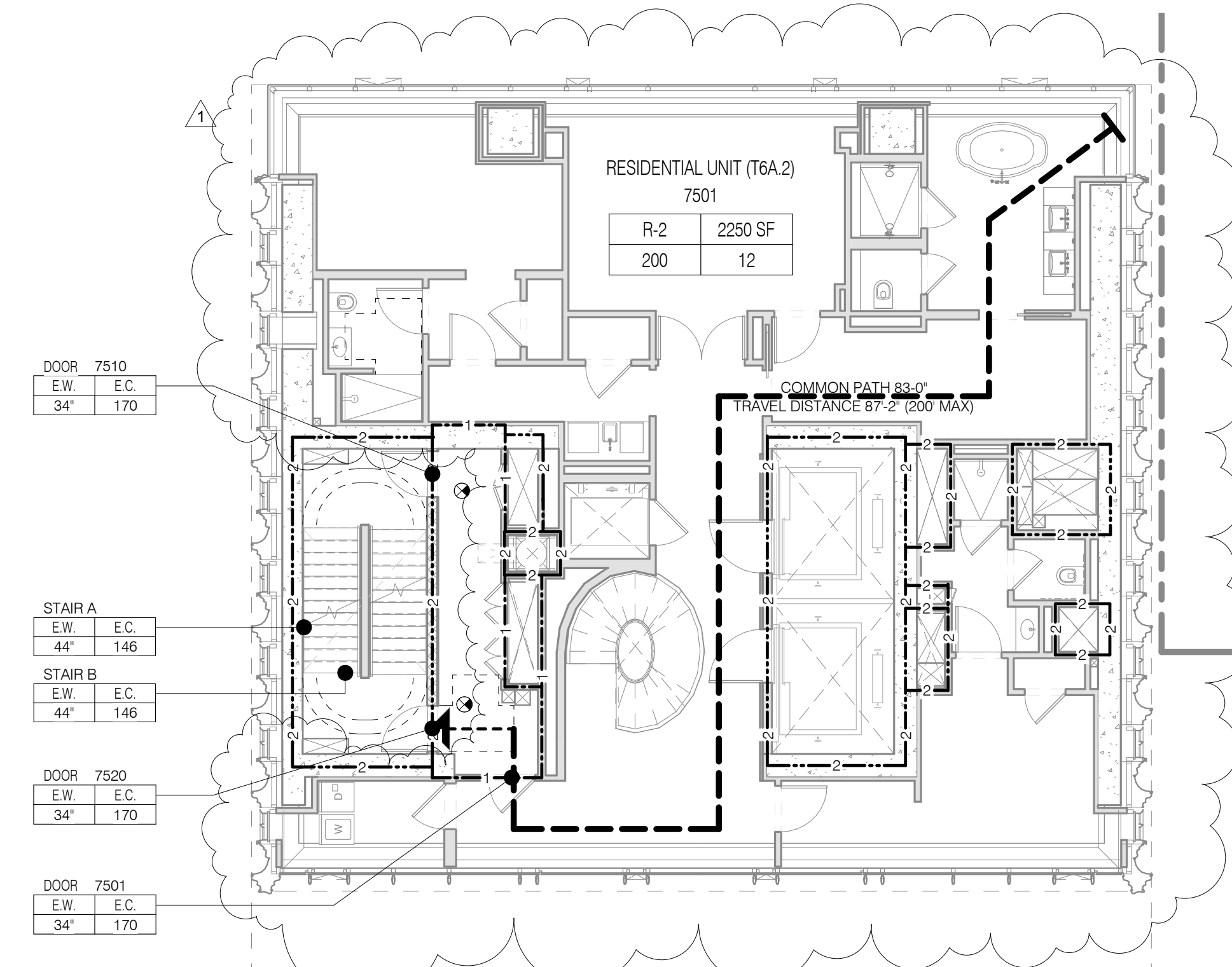
MAXIMUM TRAVEL DISTANCE: 80'-8"

FLOOR DIAGONAL: 71'-3"

OCCUPANT LOAD - LEVEL 75						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 75 RESIDENTIAL UNIT (T6A.2)	7501	R-2	200	12	2250 SF	
LEVEL 75				12		

STAIR LOAD - LEVEL 75		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



**LIFE SAFETY & PARTITION RATING LEGEND**

- 3 - 3 HR RATED
- 2 - 2 HR RATED
- 1 - 1 HR RATED
- EGRESS PATH (PRIMARY)
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION

**ROOM OCCUPANCY TAG**

ROOM DESCRIPTION  
AREA  
OCCUPANT LOAD  
LOAD FACTOR  
OCCUPANT CLASSIFICATION

**AREA OCCUPANCY TAG**

AREA  
AREA NUMBER  
AREA DESCRIPTION  
OCCUPANT LOAD  
LOAD FACTOR  
OCCUPANT CLASSIFICATION

**DOOR OCCUPANCY TAG**

DOOR NUMBER  
E.W. E.C.  
XX' XX"

EGRESS CAPACITY (# OF OCCUPANTS)  
EGRESS WIDTH (MIN. WIDTH INCHES)

**STAIR OCCUPANCY TAG**

STAIR NUMBER  
E.W. E.C.  
XX' XX"

EGRESS CAPACITY (# OF OCCUPANTS)  
EGRESS WIDTH (MIN. WIDTH INCHES)

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CURRENT ISSUE: **DOB PAA**

**LEVEL 78**

TOTAL OCCUPANT LOAD: 9  
EXIT CAPACITY PROVIDED: 292

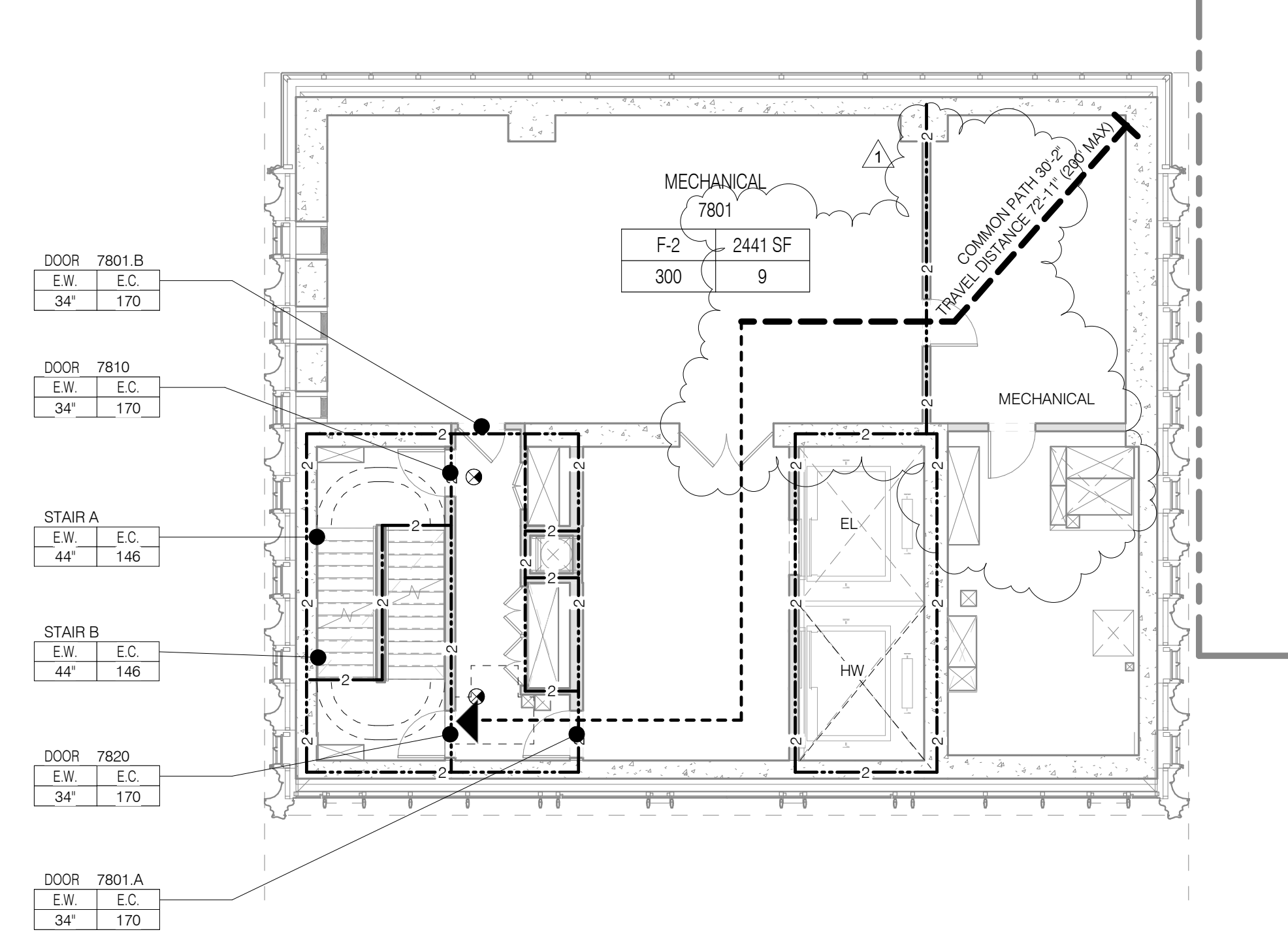
MAXIMUM TRAVEL DISTANCE: 71'-7"

FLOOR DIAGONAL: 65'-10"

OCCUPANT LOAD - LEVEL 78						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 78 MECHANICAL	7801	F-2	300	9	2441 SF	
LEVEL 78 MECHANICAL				9		

STAIR LOAD - LEVEL 78		
NAME	CAPACITY	USED
STAIR A	146	5
STAIR B	146	5
		10



**LEVEL 76**

TOTAL OCCUPANT LOAD: 12  
EXIT CAPACITY PROVIDED: 292

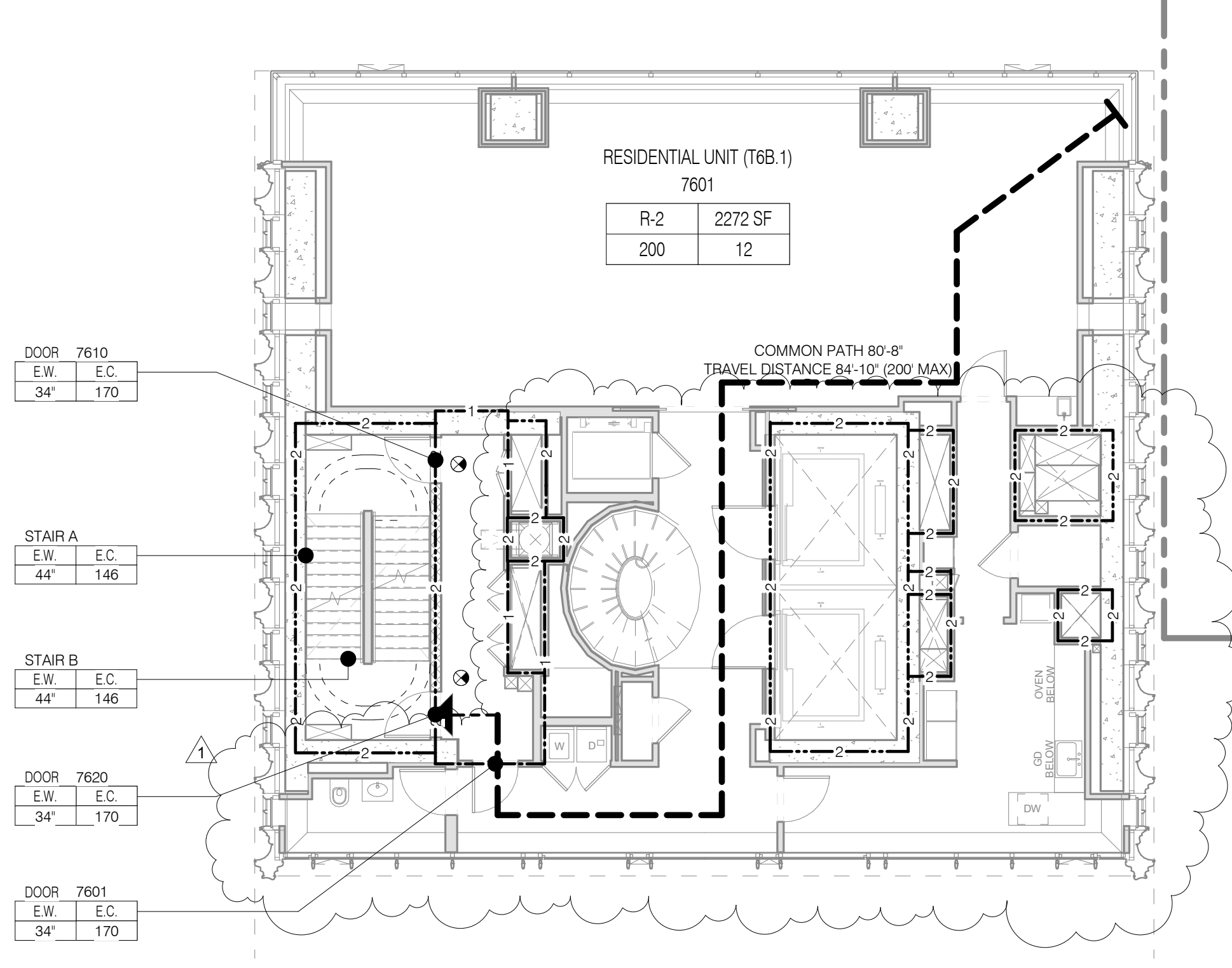
MAXIMUM TRAVEL DISTANCE: 59'-6"

FLOOR DIAGONAL: 71'-6"

OCCUPANT LOAD - LEVEL 76						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 76 RESIDENTIAL UNIT (T6B.1)	7601	R-2	200	12	2272 SF	
LEVEL 76				12		

STAIR LOAD - LEVEL 76		
NAME	CAPACITY	USED
STAIR A	146	6
STAIR B	146	6
		12



**LEVEL 74**

TOTAL OCCUPANT LOAD: 12+2  
EXIT CAPACITY PROVIDED: 292

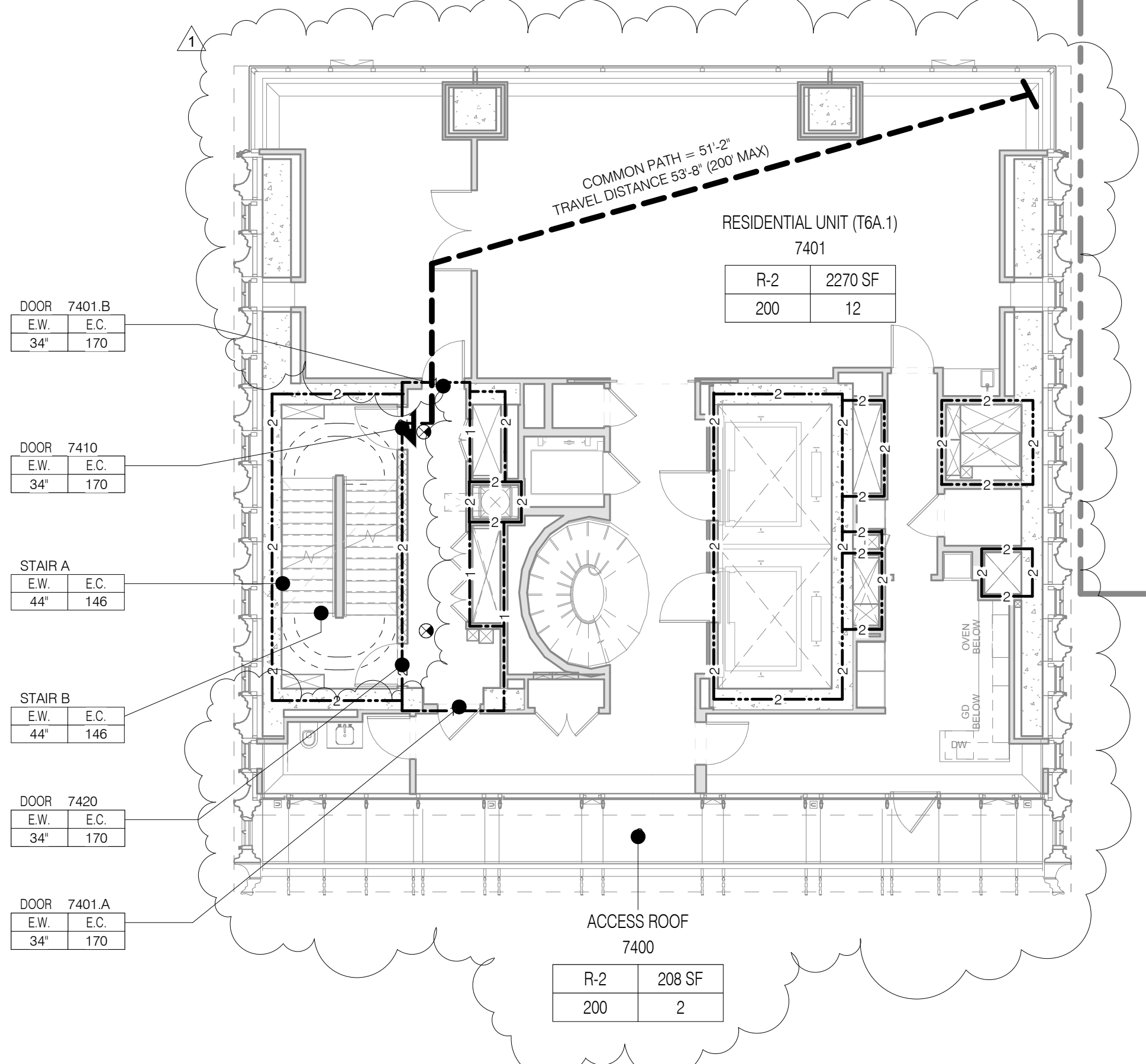
MAXIMUM TRAVEL DISTANCE: 53'-8"

FLOOR DIAGONAL: 71'-6"

OCCUPANT LOAD - LEVEL 74						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
LEVEL 74 ACCESS ROOF	7400	R-2	200	2	208 SF	
LEVEL 74 RESIDENTIAL UNIT (T6A.1)	7401	R-2	200	12	2270 SF	
LEVEL 74				14		

STAIR LOAD - LEVEL 74		
NAME	CAPACITY	USED
STAIR A	146	7
STAIR B	146	7
		14



**Shauqat Shaikh**

Building Consultant

APPROVED Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

CENTRAL PLAN  
SITE DIAGRAM

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

**LIFE SAFETY PLANS LEVELS 74-79**

SEAL & SIGNATURE: [Signature]

DATE: 3.27.15

PROJECT NO: 130007

DRAWN BY: SHP

CHECKED BY: SHP

DOB NO: 121332068

DRAWING NUMBER: G-023A.01

**LEVEL 78**

TOTAL OCCUPANT LOAD: 9  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 71'-7"

FLOOR DIAGONAL: 65'-10"

**LEVEL 76**

TOTAL OCCUPANT LOAD: 12  
EXIT CAPACITY PROVIDED: 292

MAXIMUM TRAVEL DISTANCE: 59'-6"

FLOOR DIAGONAL: 71'-6"

**LEVEL 74**

TOTAL OCCUPANT LOAD: 12+2  
EXIT CAPACITY PROVIDED: 292

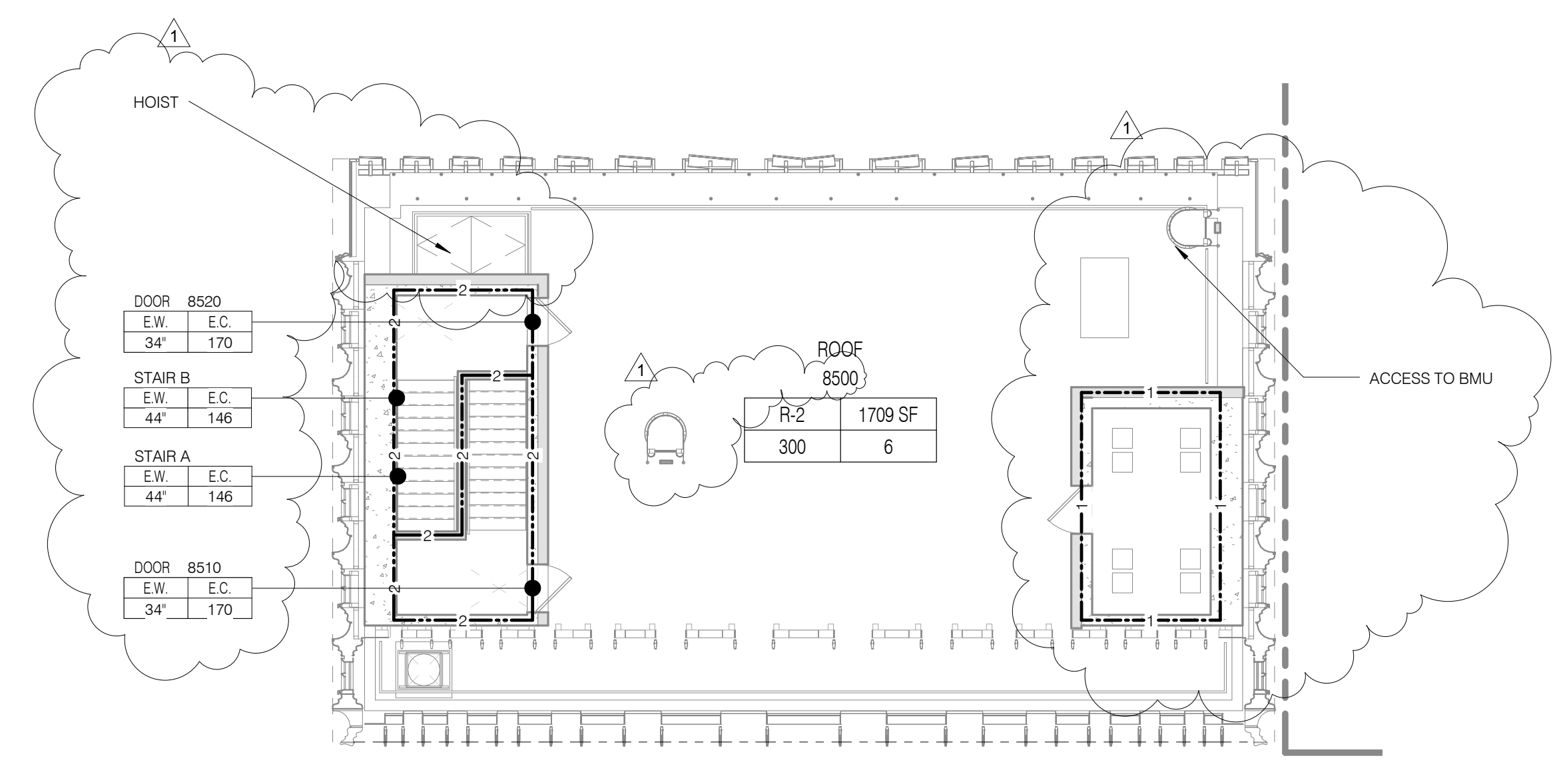
MAXIMUM TRAVEL DISTANCE: 53'-8"

FLOOR DIAGONAL: 71'-6"

**LEVEL 85/ROOF**  
 TOTAL OCCUPANT LOAD: 6  
 EXIT CAPACITY PROVIDED: 292  
 FLOOR DIAGONAL: 64'-2"

OCCUPANT LOAD - ROOF						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
MECHANICAL	8000	R-2	300	7	1700 SF	

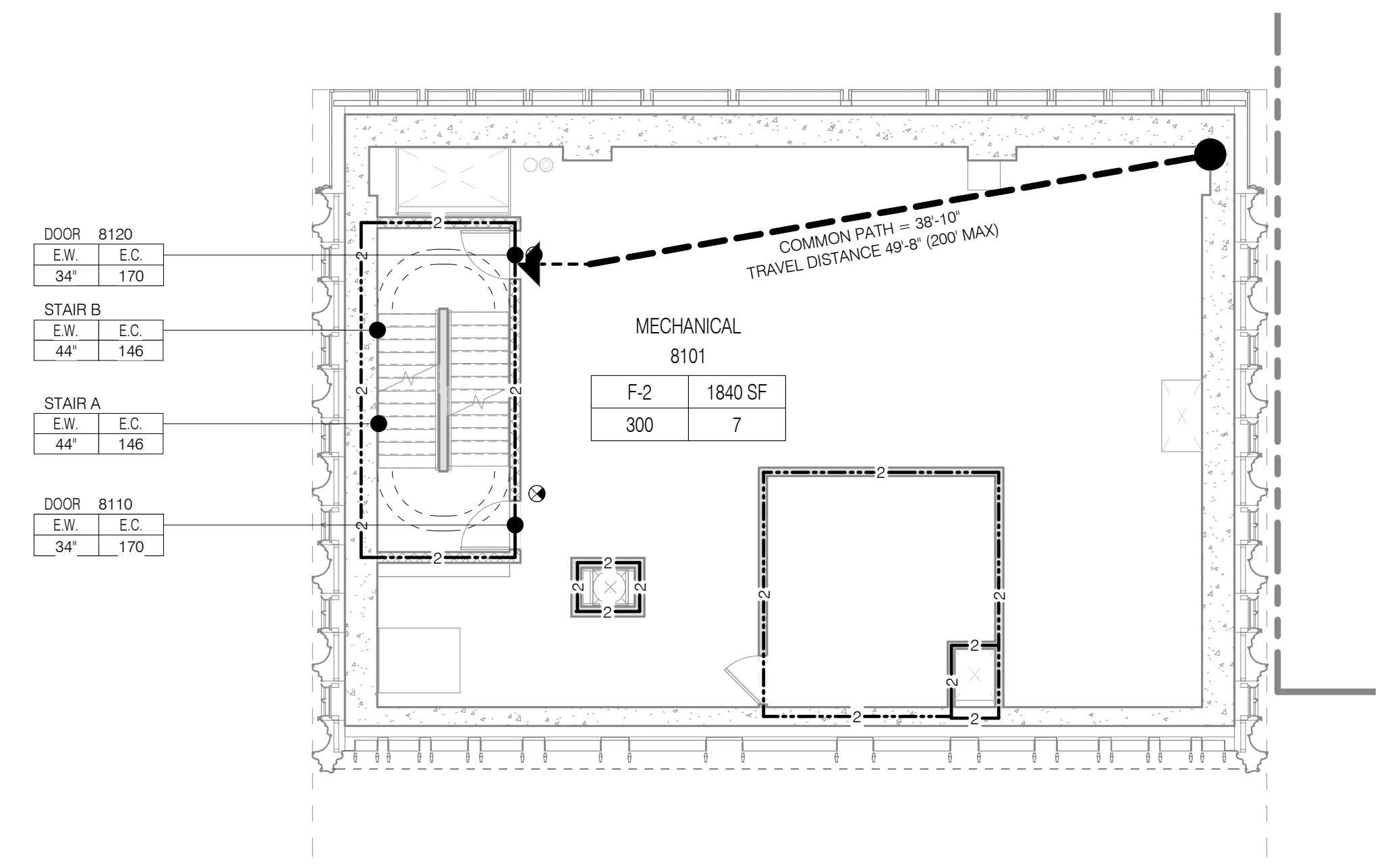
STAIR LOAD - LEVEL 85/ROOF		
NAME	CAPACITY	USED
STAIR A	146	3
STAIR B	146	3
		6



**LEVEL 81**  
 TOTAL OCCUPANT LOAD: 7  
 EXIT CAPACITY PROVIDED: 292  
 MAXIMUM TRAVEL DISTANCE: 49'-8"  
 FLOOR DIAGONAL: 63'-3"

OCCUPANT LOAD - LEVEL 81						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
MECHANICAL	8101	F-2	300	7	1840 SF	

STAIR LOAD - LEVEL 81		
NAME	CAPACITY	USED
STAIR A	146	4
STAIR B	146	4
		8



**LIFE SAFETY & PARTITION TAGGING LEGEND**

- 3 HR RATED
- 2 HR RATED
- 1 HR RATED
- EGRESS PATH PRIMARY
- EGRESS PATH SECONDARY
- USE BOUNDARY
- FIRE EXTINGUISHER
- FIRE HYDRANT
- STAND PIPE
- EXIT SIGNAGE
- ILLUMINATED SURFACE DIRECTION
- ROOM OCCUPANCY TAG
- ROOM DESCRIPTION
- ROOM AREA
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- AREA OCCUPANCY TAG
- AREA
- AREA DESCRIPTION
- OCCUPANT LOAD
- LOAD FACTOR
- OCCUPANT CLASSIFICATION
- DOOR OCCUPANCY TAG
- DOOR NUMBER
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)
- STAIR OCCUPANCY TAG
- STAIR NUMBER
- EGRESS CAPACITY (# OF OCCUPANTS)
- EGRESS WIDTH (MIN. WIDTH INCHES)

**JDS DEVELOPMENT GROUP**  
 100 WEST 57TH STREET, 8TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 646.832.3600

**sh p**

ARCHITECT  
 SHP ARCHITECTS, P.C.  
 230 BROADWAY, 11TH FLOOR  
 NEW YORK, NY 10007  
 TEL: 212.869.9336

STRUCTURAL ENGINEER  
 YUSEF GANTOR BEBOK  
 230 EAST 47TH STREET  
 NEW YORK, NY 10017  
 TEL: 212.867.5886

MEP ENGINEER  
 JAROSLAW BALM & BOLLER  
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PROPERTY MARKETS GROUP  
 300 WEST 57TH STREET, 2ND FLOOR  
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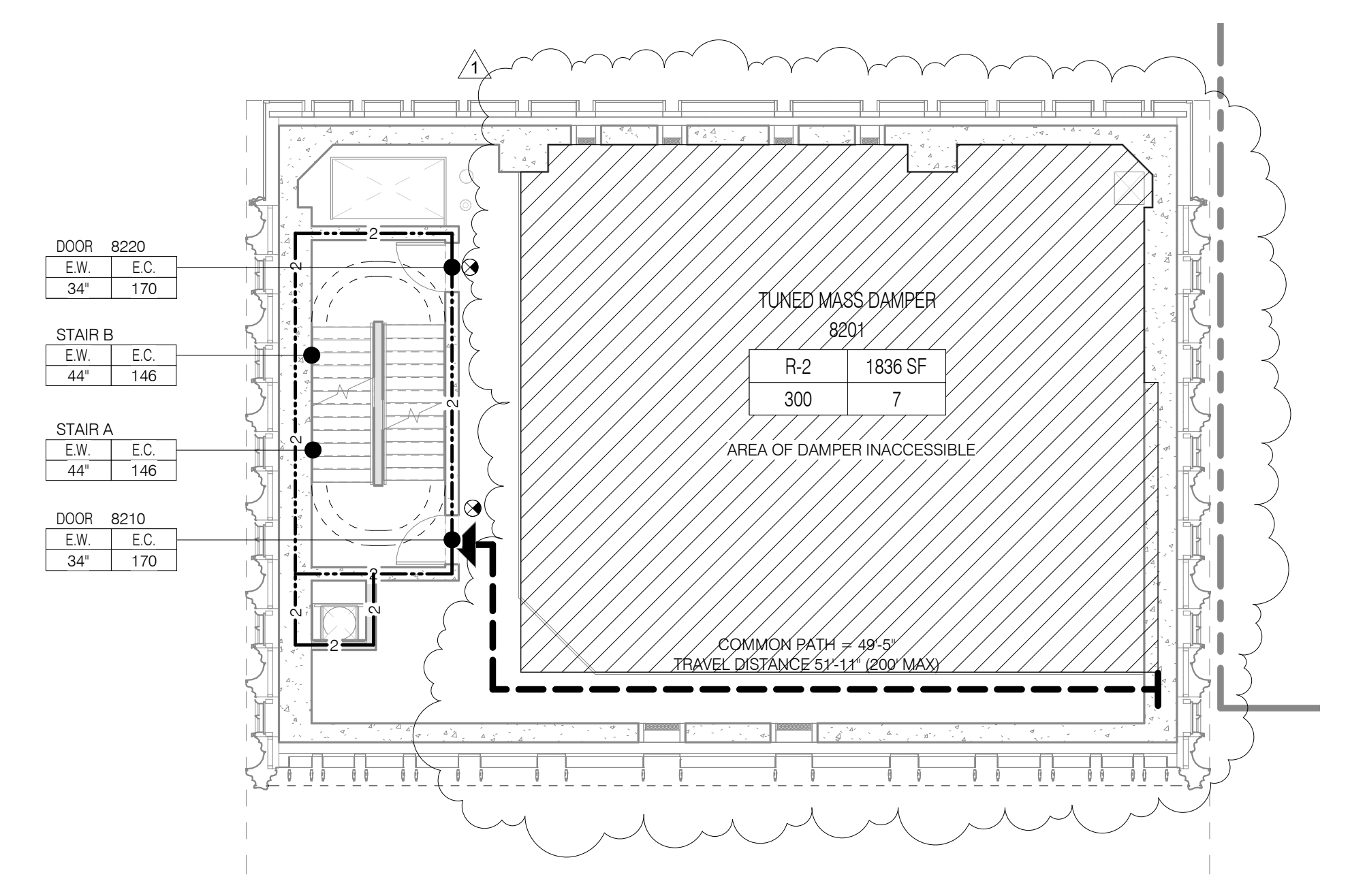
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**DOB PAA**

**LEVEL 82**  
 TOTAL OCCUPANT LOAD: 7  
 EXIT CAPACITY PROVIDED: 292  
 FLOOR DIAGONAL: 51'-11"

OCCUPANT LOAD - LEVEL 82						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
TUNED MASS DAMPER	8201	R-2	300	7	1836 SF	

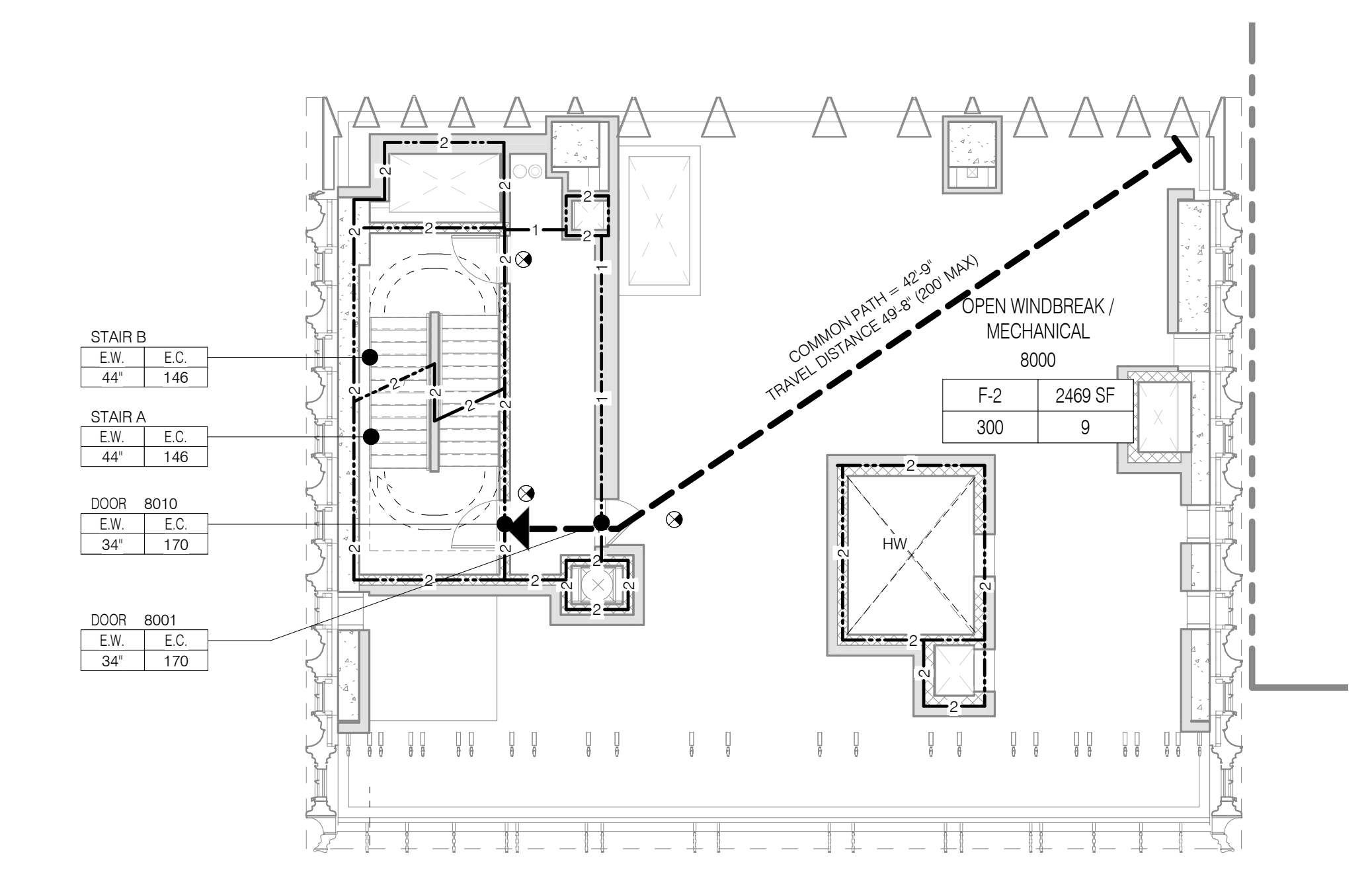
STAIR LOAD - LEVEL 82		
NAME	CAPACITY	USED
STAIR A	146	4
STAIR B	146	4
		8



**LEVEL 80**  
 TOTAL OCCUPANT LOAD: 8  
 EXIT CAPACITY PROVIDED: 292  
 MAXIMUM TRAVEL DISTANCE: 51'-4"  
 FLOOR DIAGONAL: 63'-3"

OCCUPANT LOAD - LEVEL 80						
NAME	NUMBER	OCC CLASS	OCC FACTOR	OCC LOAD	AREA	
OPEN WINDBREAK / MECHANICAL	8000	F-2	300	9	2469 SF	

STAIR LOAD - LEVEL 80		
NAME	CAPACITY	USED
STAIR A	146	4
STAIR B	146	4
		8



**Shauqat Shaikh**  
 Building + Water

**APPROVED**  
 Under Directive 2 of 1975  
 DATED 08/28/2015  
 NYC Development Hub

**111 WEST 57TH STREET**  
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 NEW YORK, NY 10019

SITE DIAGRAM

NO.	DATE	REVISION
1	3/27/15	DOB PAA

**LIFE SAFETY PLANS LEVELS 80-85 (ROOF)**

SEAL & SIGNATURE DATE 3/27/15

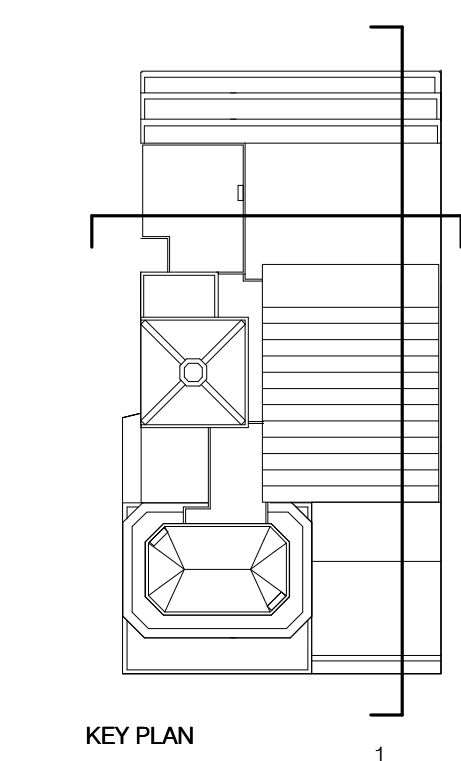
PROJECT NO. 130007  
 DRAWN BY SHP  
 CHECKED BY SHP  
 DOOR NO. 121332068  
 DRAWING NUMBER  
**G-023B.01**

LEVEL 82 1/8" = 1'-0" 3

LEVEL 80 1/8" = 1'-0" 1

**LIFE SAFETY & PARTITION RATING LEGEND**

---	3 HR RATED
- - -	2 HR RATED
- - - - -	1 HR RATED



**JDS DEVELOPMENT GROUP**

104 WEST 47TH STREET, 4TH FLOOR  
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**sh p**

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30 WALKER STREET, 7TH FLOOR EAST  
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105 BROADWAY  
NEW YORK, NY 10005  
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100 WEST STREET, SUITE 2014  
LARKSPUR, NJ 07033  
TEL: 973 984 5775

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30 WEST 40TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 212 238 4482

**GEO TECH**  
MICE  
305 WEST 40TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
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CONSERVATORIE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
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TEL: 212 254 4462



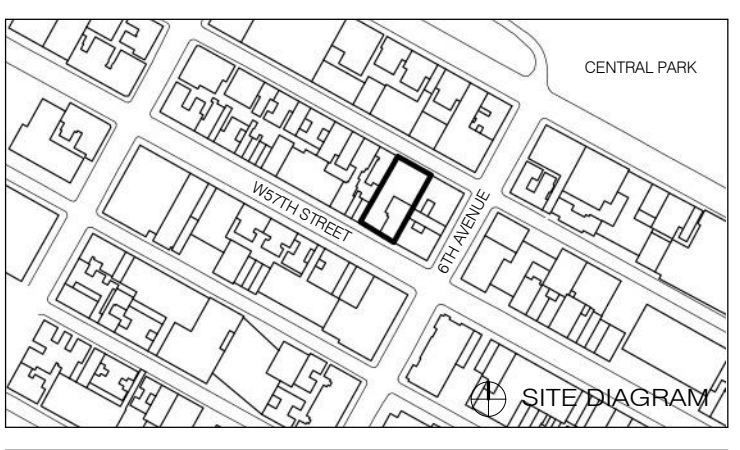
**PROPERTY MARKETS GROUP**  
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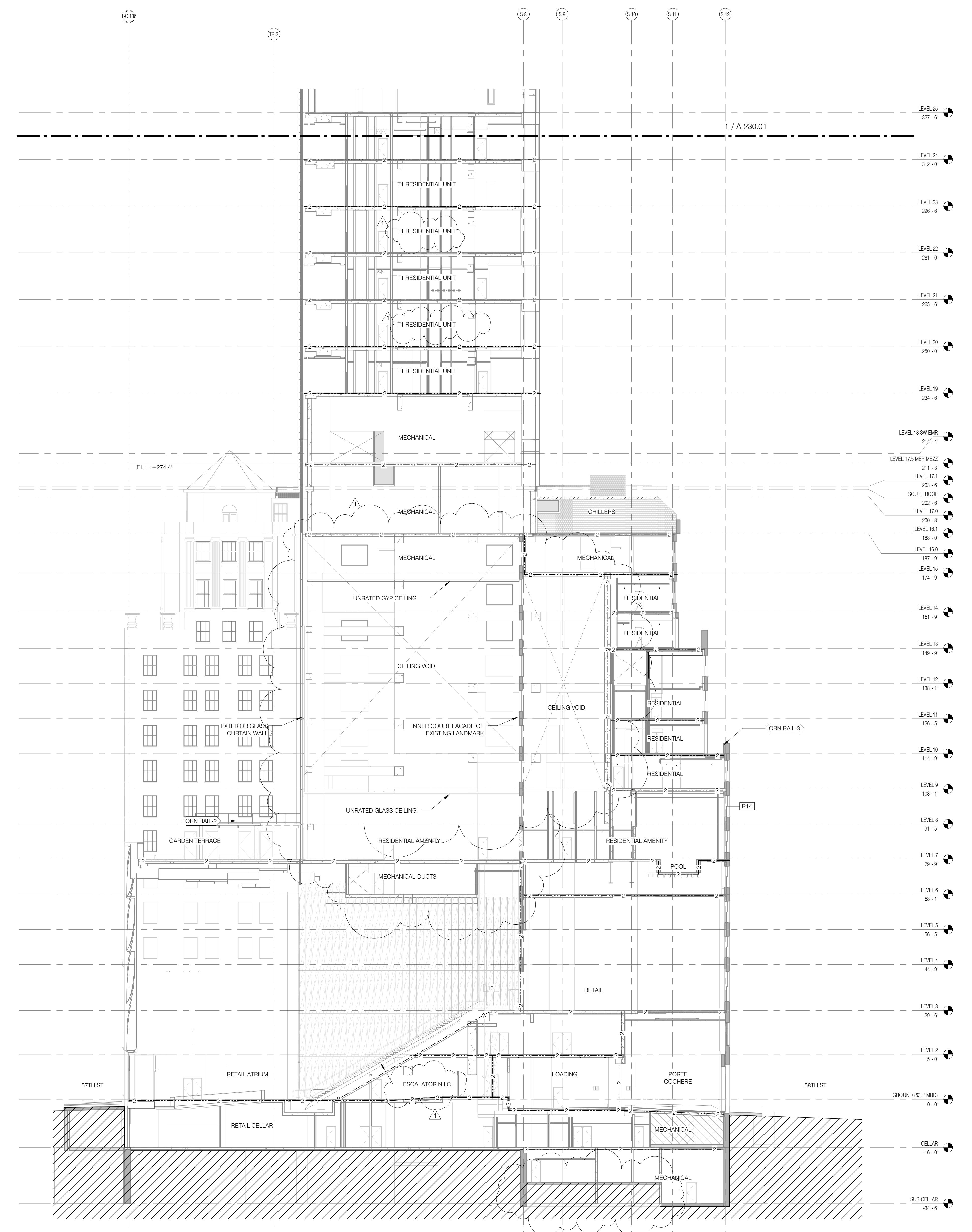
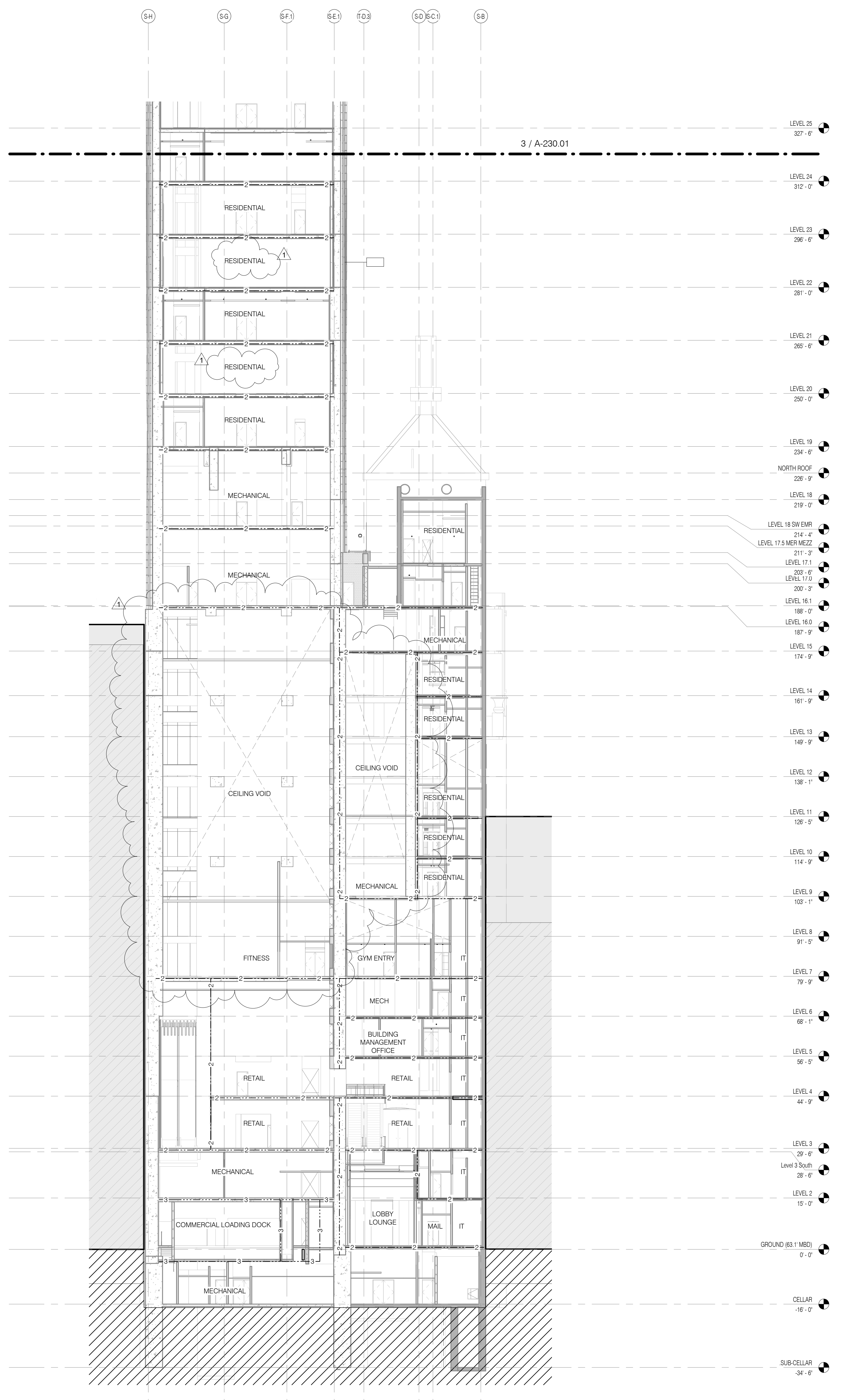
1	3.27.15	DOB PAA
	5.1.14	DOB PLUMB SET
NO.	DATE	REVISION

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**DRAWING TITLE**  
LIFE SAFETY DIAGRAMS

**SEAL & SIGNATURE** DATE 3.27.15

PROJECT NO. 130907  
DRAWN BY SH&P  
CHECKED BY SH&P  
DOB NO. 121332006  
DRAWING NUMBER G-024.01



**LIFE SAFETY & PARTITION RATING**  
**LEGEND**  
 --- 3 HR RATED  
 --- 2 HR RATED  
 --- 1 HR RATED

KEY PLAN 1

**JDS DEVELOPMENT GROUP**

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 NEW YORK, NY 10001  
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DOB PAA

Shauqat Shaikh  
 Building  
 APPROVED  
 Under Directive 2 of 2015  
 DATED 05/23/2016  
 DATE: 05/23/2016  
 NYC Development Hub

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019



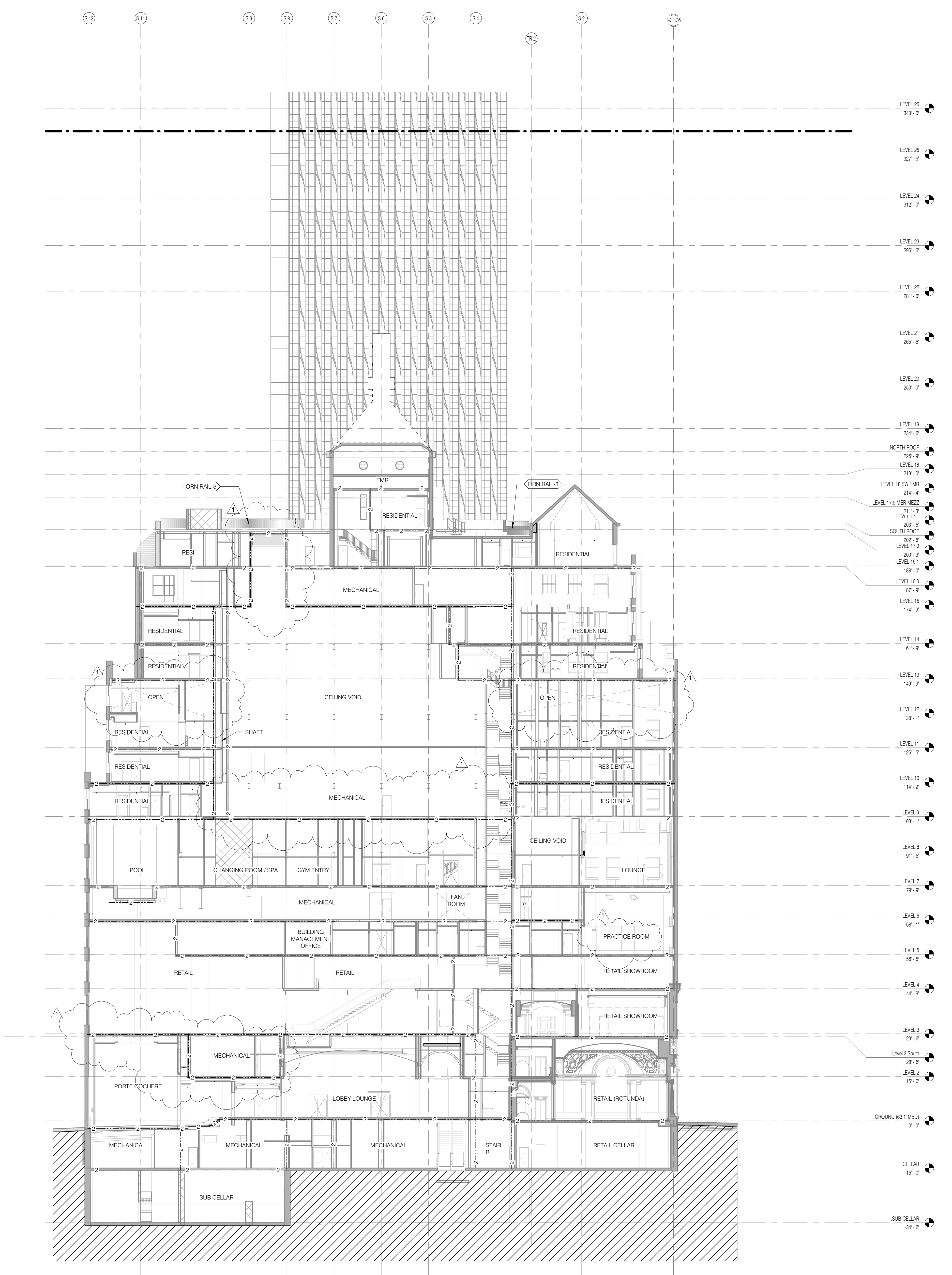
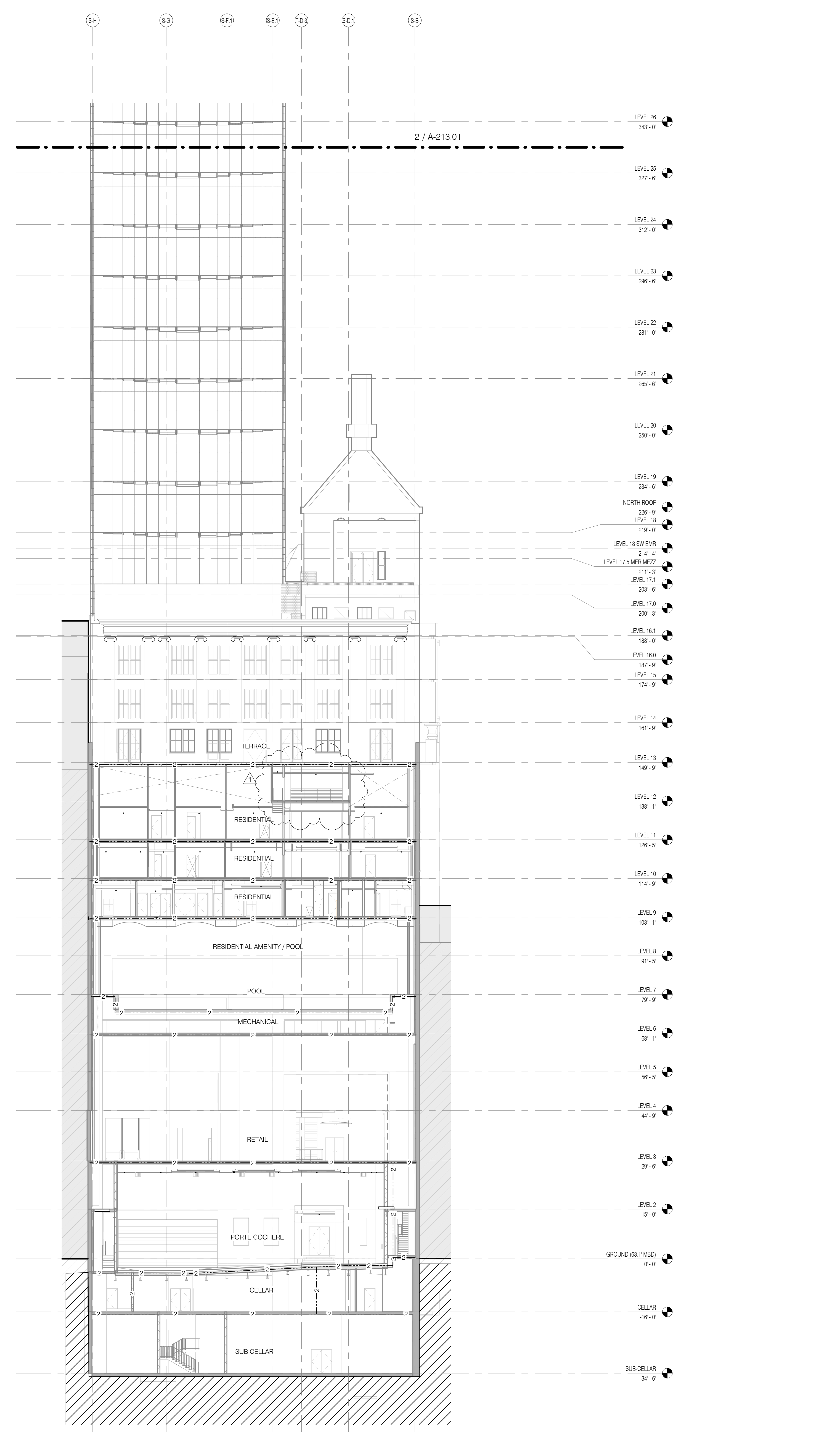
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**LIFE SAFETY DIAGRAMS**

SEAL & SIGNATURE  

 DATE: 3.27.15  
 PROJECT NO: 130907  
 DRAWN BY: SH&P  
 CHECKED BY: SH&P  
 DOB NO: 121330296  
 DRAWING NUMBER: G-025.01



DEPT OF BUILDINGS 21332968 Job Number  
E021148849 Job Code

**LIFE SAFETY & PARTITION RATING LEGEND**

— 3 HR RATED  
- - - 2 HR RATED  
- · - · 1 HR RATED

KEY PLAN

**JDS DEVELOPMENT GROUP**

JDS DEVELOPMENT GROUP  
104 FIFTH AVENUE, 8TH FLOOR  
NEW YORK, NY 10011  
NY 646 833 3600

**sh p**

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ARUP ENGINEERING, P.C.  
40 FIFTH AVE, 26TH FLOOR  
NEW YORK, NY 10018  
NY 800 388 8828

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LONGMAN LINDSEY  
40 WEST 58TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
NY 917 338 3300

INTERIORS  
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300 LAURETT STREET  
NEW YORK, NY 10014  
NY 212 475 1300

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BURROUGHS WELFORD  
105 BROADWAY  
NEW YORK, NY 10005  
NY 212 234 2025

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1 WASHINGTON STREET, SUITE 204  
LARKSPRING, NJ 07033  
NY 973 984 8775

RESTORATION  
JAN HEDRICK ASSOCIATES  
30 WEST 37TH STREET, 4TH FLR  
NEW YORK, NY 10018  
NY 212 238 4482

GEOTECH  
MICE  
305 WEST 40TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
NY 917 338 4300

LIGHTING  
CONSERVATORIE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10013  
NY 212 255 4463



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30 EAST 77TH STREET, 2ND FLOOR  
NEW YORK, NY 10021  
NY 212 834 8300

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DOB PAA

Shauqat Shaikh  
Building + Water

APPROVED  
Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

**111 WEST 57TH STREET**  
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NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

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DRAWING TITLE  
**LIFE SAFETY DIAGRAMS**

SEAL & SIGNATURE  
REGISTERED ARCHITECT  
STATE OF NEW YORK

DATE  
3.27.15

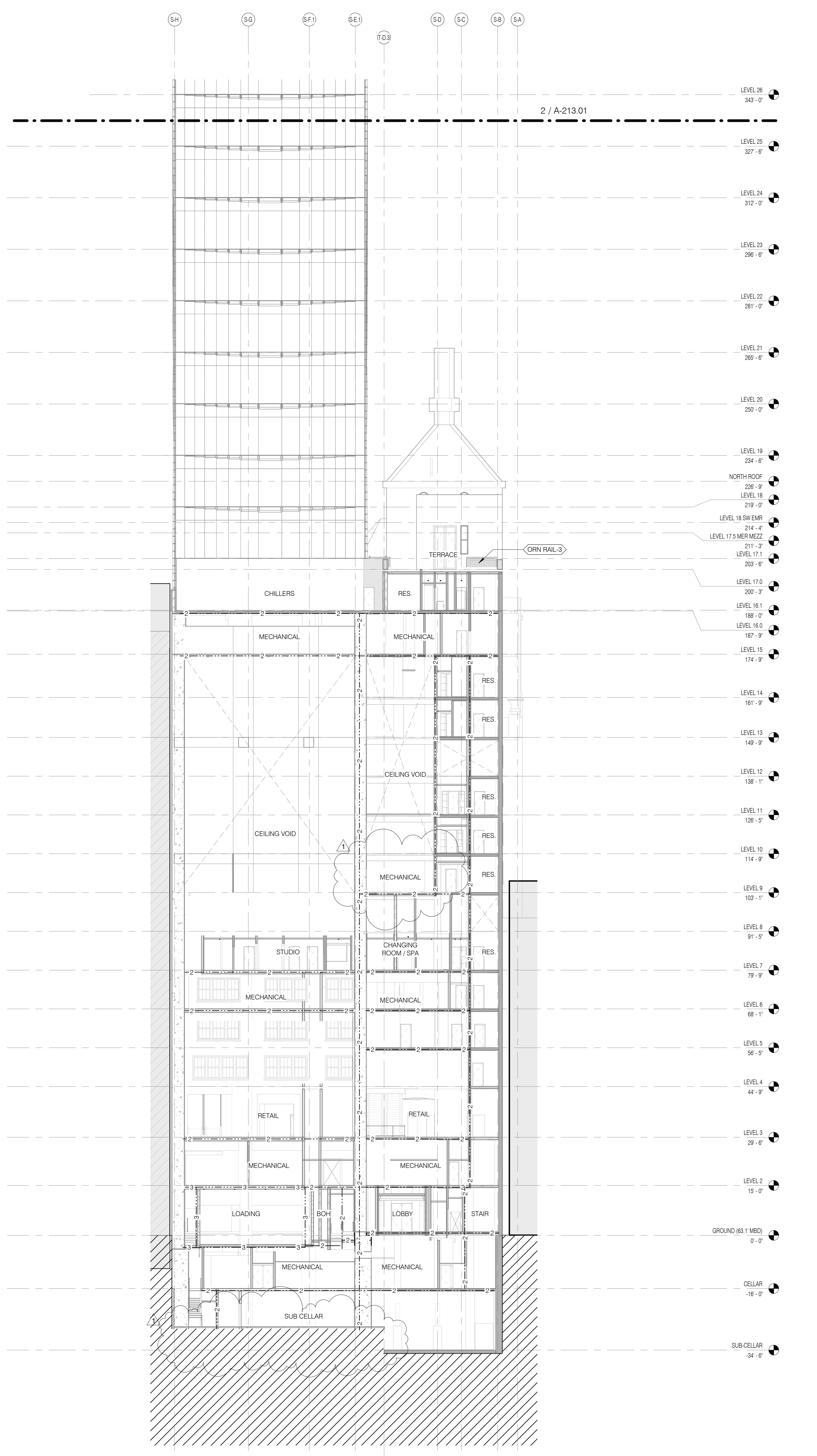
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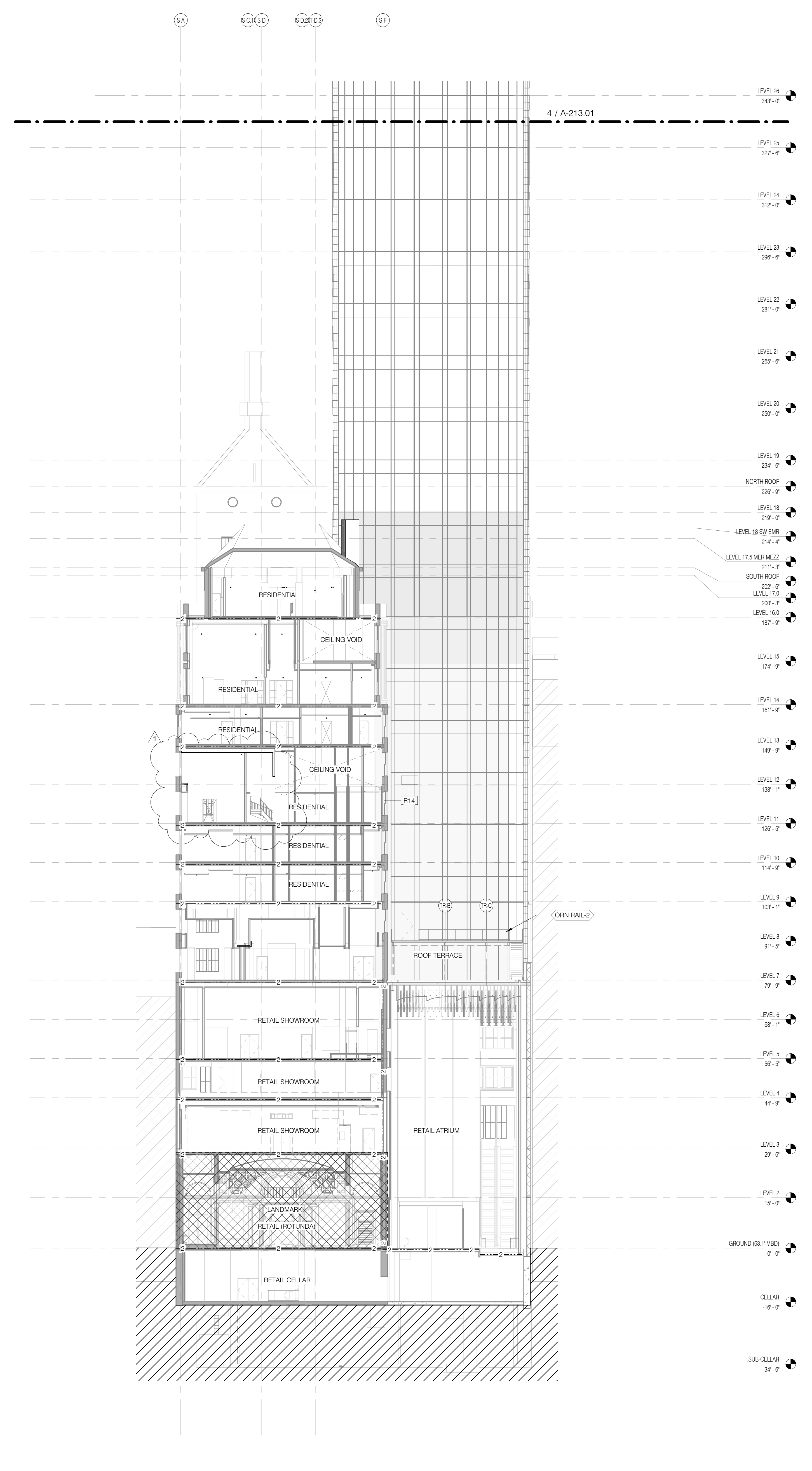
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DOB NO.  
121332096

DRAWING NUMBER  
**G-026.01**



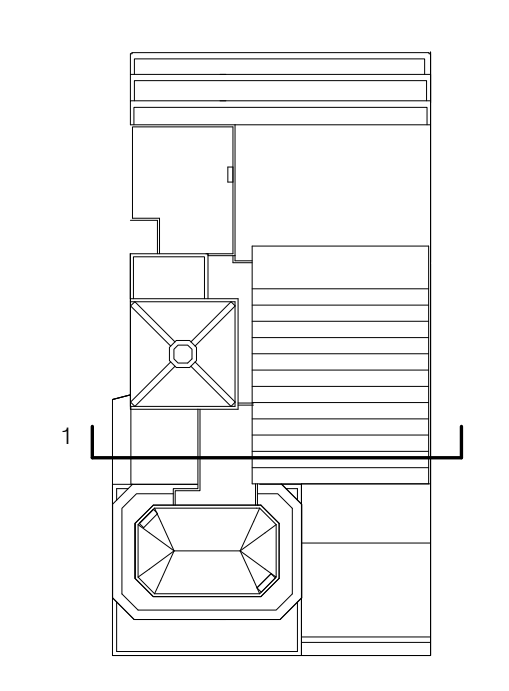
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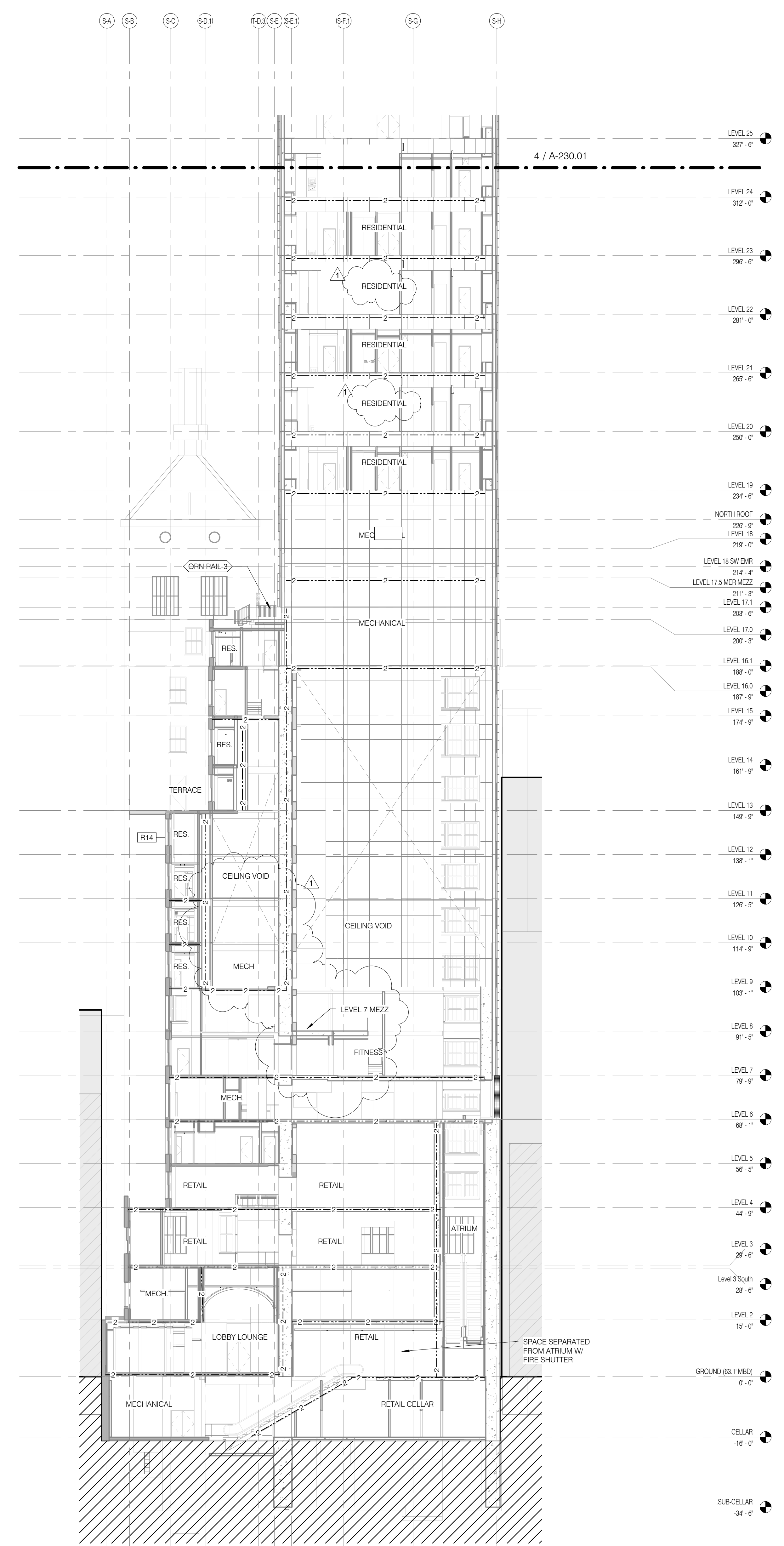
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**LIFE SAFETY & PARTITION RATING LEGEND**

---	3 HR RATED
---	2 HR RATED
---	1 HR RATED



KEY PLAN



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SH&P ARCHITECTS, P.C.  
230 BROADWAY, 11TH FLOOR  
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NY 212 689 9300

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228 EAST 43RD STREET  
NEW YORK, NY 10017  
NY 212 697 5866

**MEP ENGINEER**  
JANUS BALK & BOLLER  
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NEW YORK, NY 10003  
NY 212 689 8300

**CIVIL ENGINEER**  
AARIF ENGINEERING, P.C.  
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NEW YORK, NY 10013  
NY 646 288 8828

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NY 212 475 3300

**FAÇADE**  
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1 BROADWAY, SUITE 2014  
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NY 973 984 8770

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205 WEST 45TH STREET, 4TH FLOOR  
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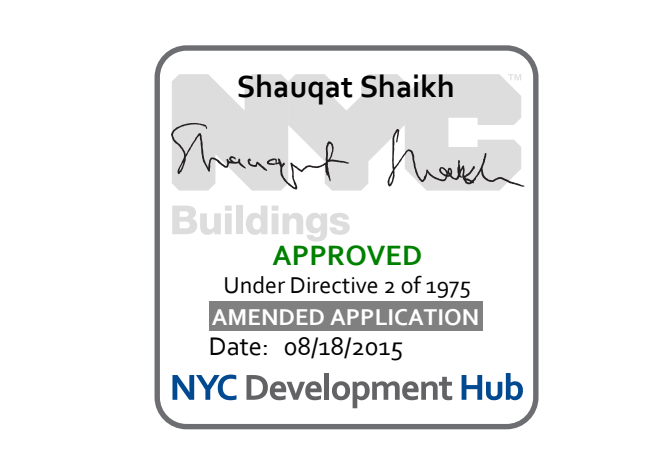
**LIGHTING**  
CONSERVATORIE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
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NY 212 252 4453



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1	3.27.15	DOB PAA
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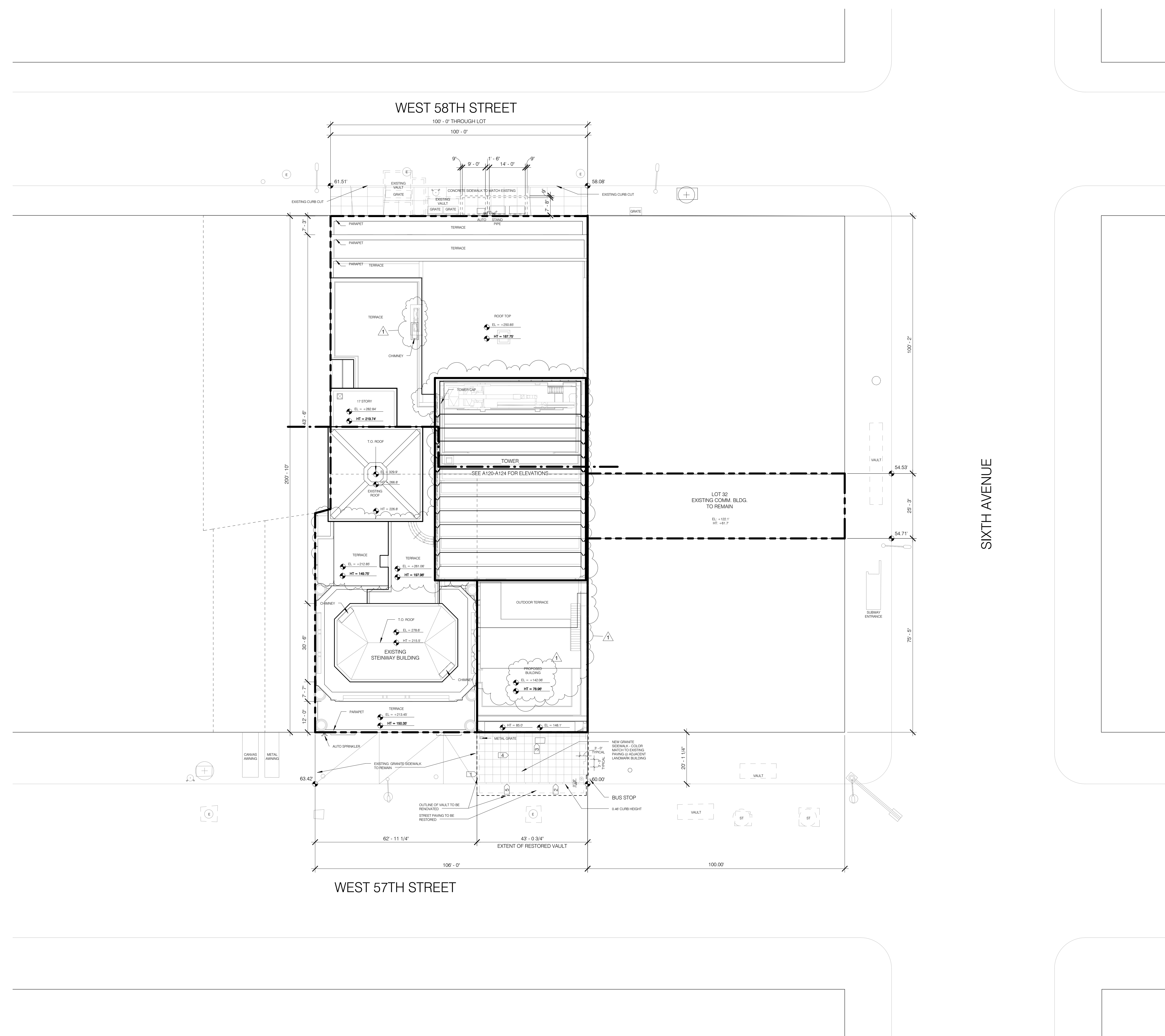
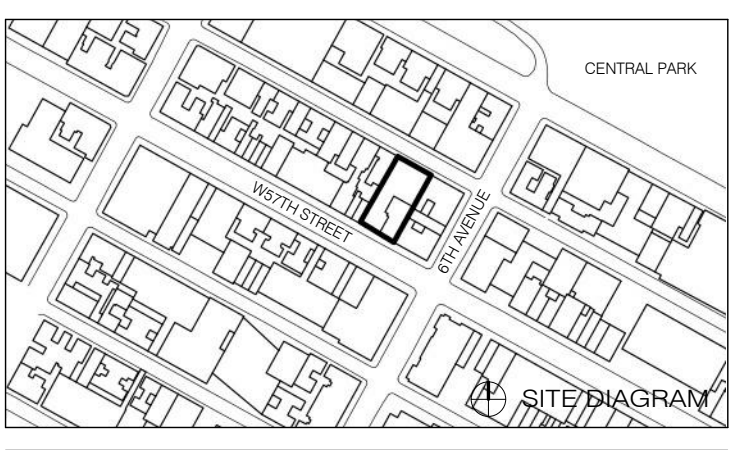
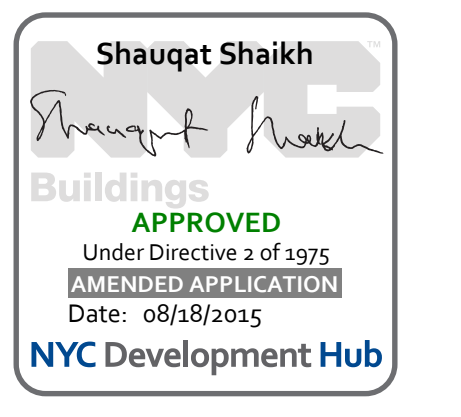
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DRAWING TITLE

LIFE SAFETY DIAGRAMS

SEAL & SIGNATURE	DATE	3.27.15
REGISTERED ARCHITECT	PROJECT NO.	130607
	DRAWN BY	SH&P
	CHECKED BY	SH&P
	DOB NO.	121332968
	DRAWING NUMBER	G-027.01



**GENERAL NOTES**

- PROJECT 0-0 = 63.1' MBD
- ELEVATION DATA FROM SURVEY (LANGAN 08.08.13)

**KEYNOTES**

- EXISTING GRANITE PAVING TO BE PROTECTED AND RETAINED
- CURB TO BE RESTORED
- METAL HATCH TO BE REMOVED
- EXISTING GRANITE PAVING TO BE PROTECTED AND RETAINED

1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET

NO.	DATE	REVISION

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DRAWING TITLE  
**ARCHITECTURAL SITE PLAN**

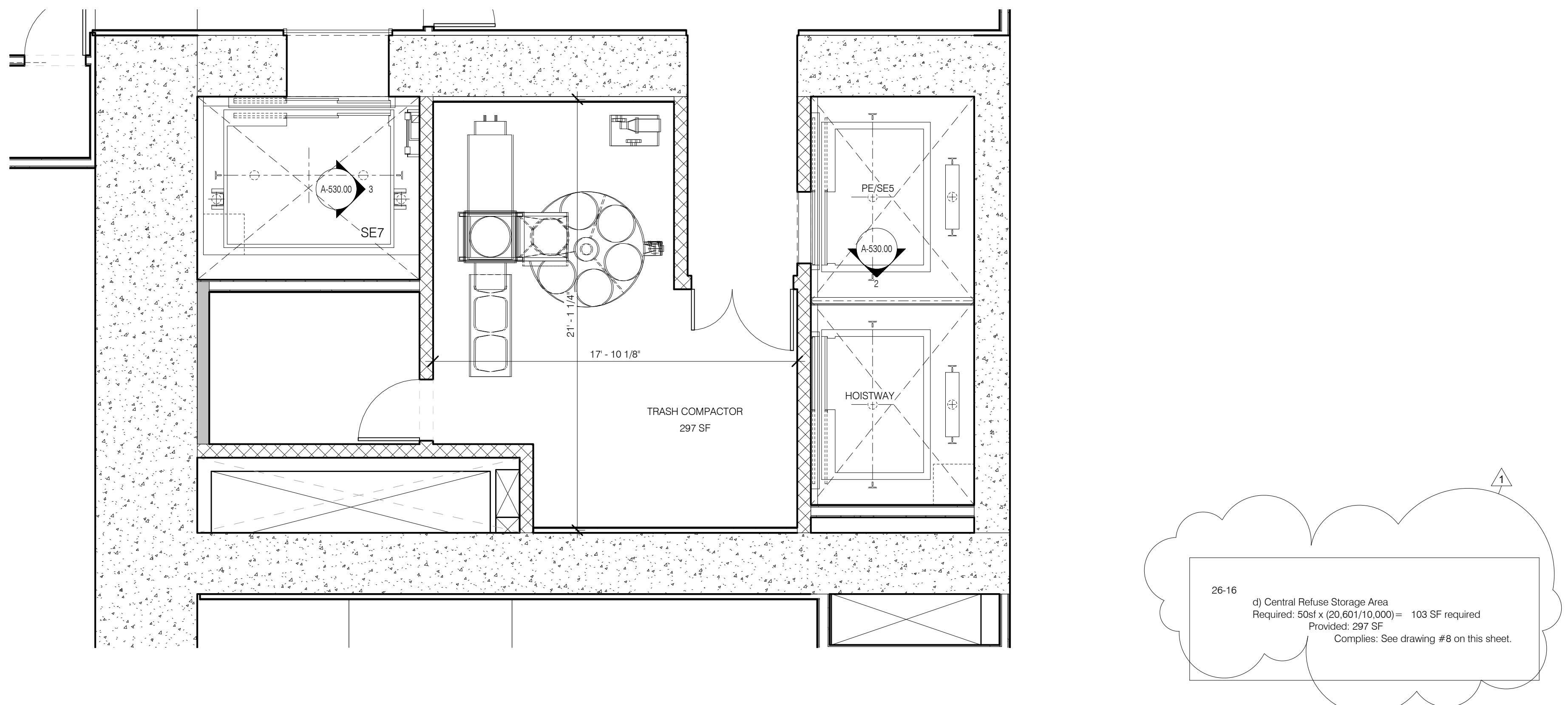
SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	190607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121332968	
DRAWING NUMBER		

**G-030.01**



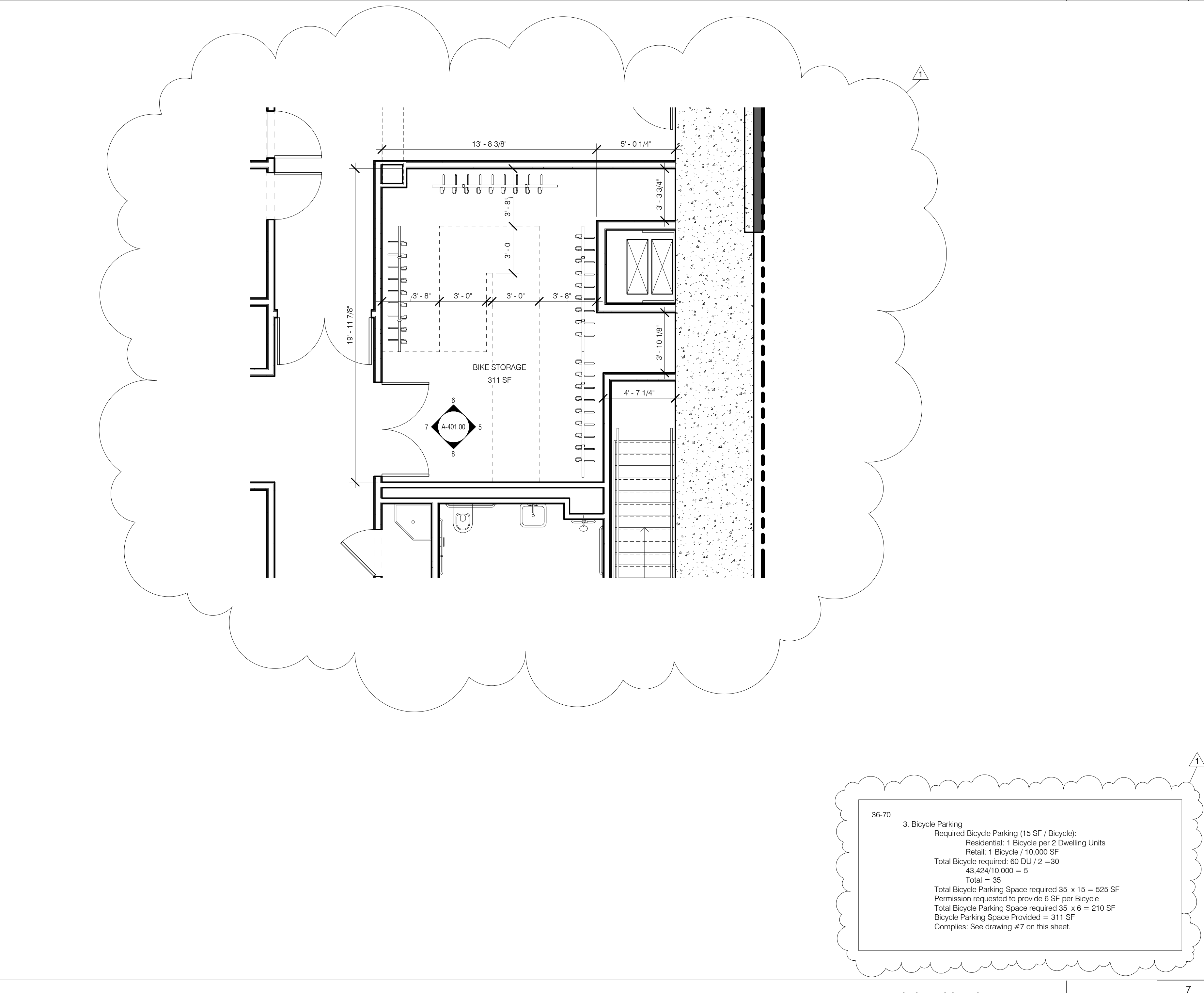






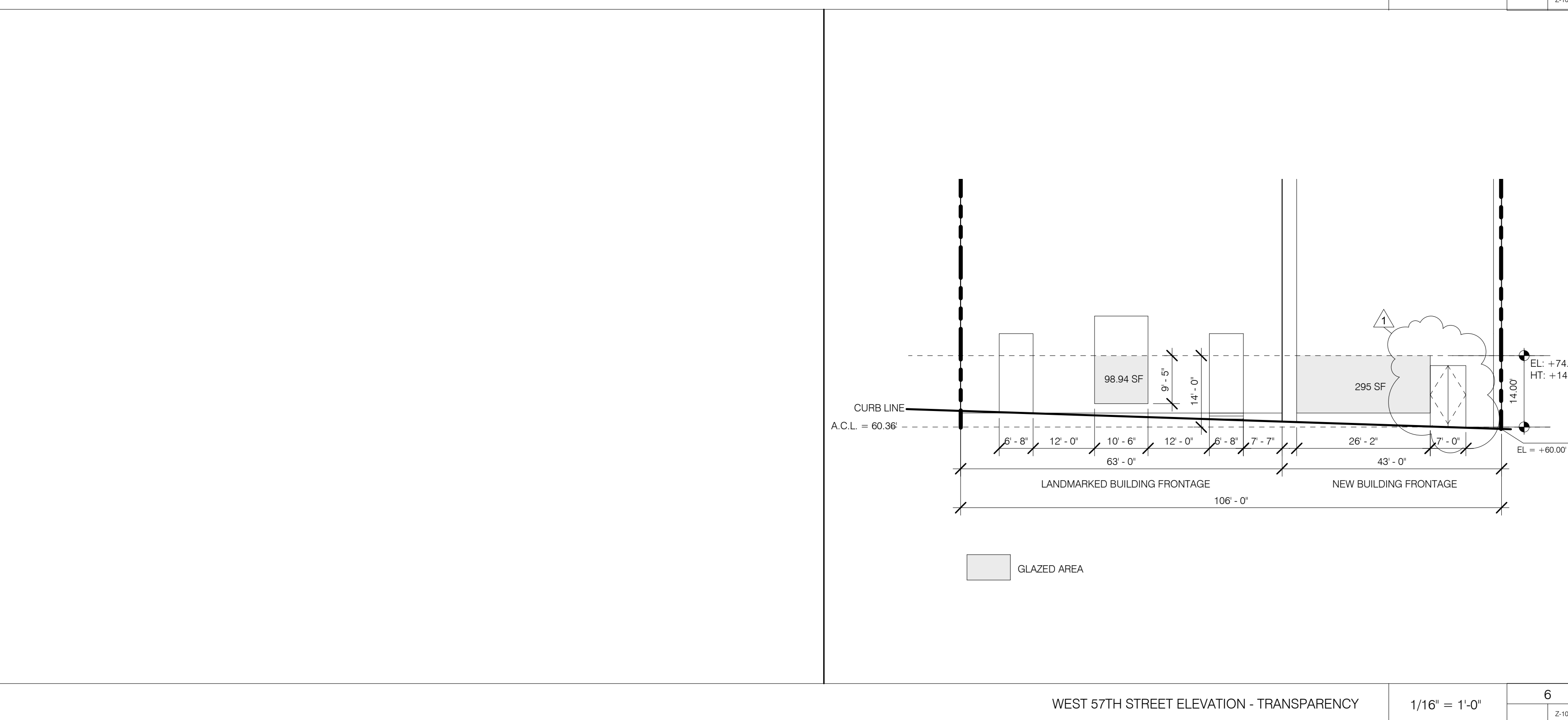
26-16 (i) Central Refuse Storage Area  
Required: 5504 x (20,601/10,000) = 103 SF required  
Provided: 297 SF  
Complies: See drawing #8 on this sheet.

CENTRAL REFUSE STORAGE AREA - CELLAR LEVEL 1/4" = 1'-0" 8 2/1621



36-70 3 Bicycle Parking  
Required Bicycle Parking (15 SF / Bicycle)  
Residential: 1 Bicycle per 2 Dwelling Units  
Retail: 1 Bicycle / 10,000 SF  
Total Bicycle required: 60 DU / 2 = 30  
43,424/10,000 = 5  
Total = 35  
Total Bicycle Parking Space required 35 x 15 = 525 SF  
Permission requested to provide 6 SF per Bicycle  
Total Bicycle Parking Space provided = 35 x 6 = 210 SF  
Bicycle Parking Space Provided = 311 SF  
Complies: See drawing #7 on this sheet.

BICYCLE ROOM - CELLAR LEVEL 1/4" = 1'-0" 7 2/1621



WEST 57TH STREET ELEVATION - TRANSPARENCY 1/16" = 1'-0" 6 2/1621

**C5-3 STREETScape ZONING CALCULATIONS**

**81-43 Street Wall Continuity**

1. Length subject to Setback Regulation	80% x 106.0' =	84.8	Provided	
2. Minimum continuous Length	75% x 84.8' =	63.6		
3. Permitted Street Wall Setback				
i) No Setback Permitted	75% x 84.8' =	63.6	100'	Complies
ii) Up to 10' Setback Permitted	75% x 84.8' =	21.2	0'	Complies
4. Permitted Recess Area				
i) Up to 10' Deep	30% x 106.0' x 85.0' =	2703	21'	Complies
ii) Up to 2' Deep	20% x 106.0' x 85.0' =	1802	0'	Complies
iii) Up to 1' Deep		Unlimited	774	Complies

**81-42 Retail Continuity**

1. Retail Use Requirement on Designated Streets	80% x 106.0' =	84.8	UG 6	Complies
Proposed: Ground Floor Retail				
Provided: 100% Street Frontage is Retail Use or Residential Lobby Entrance				Complies
Maximum Allowable Length of Street frontage occupied by Lobby or Entrance Space	25% x 106.0' =	26.5	19'	Complies

**81-42 Glazing Requirements**

1. Along W57th Street 50% of Ground Floor to be Glazed up to 14'				
New Building Frontage Required*	50% of (14 x 43') =	301	544	Complies
Provided:				
Existing Landmark Frontage Required	50% of (14 x 65') =	441	113	Existing non-compliance. Landmarked Building *
Provided:				
TOTAL REQUIRED:		742	657	Existing non-compliance. Landmarked Building *
TOTAL PROVIDED:				

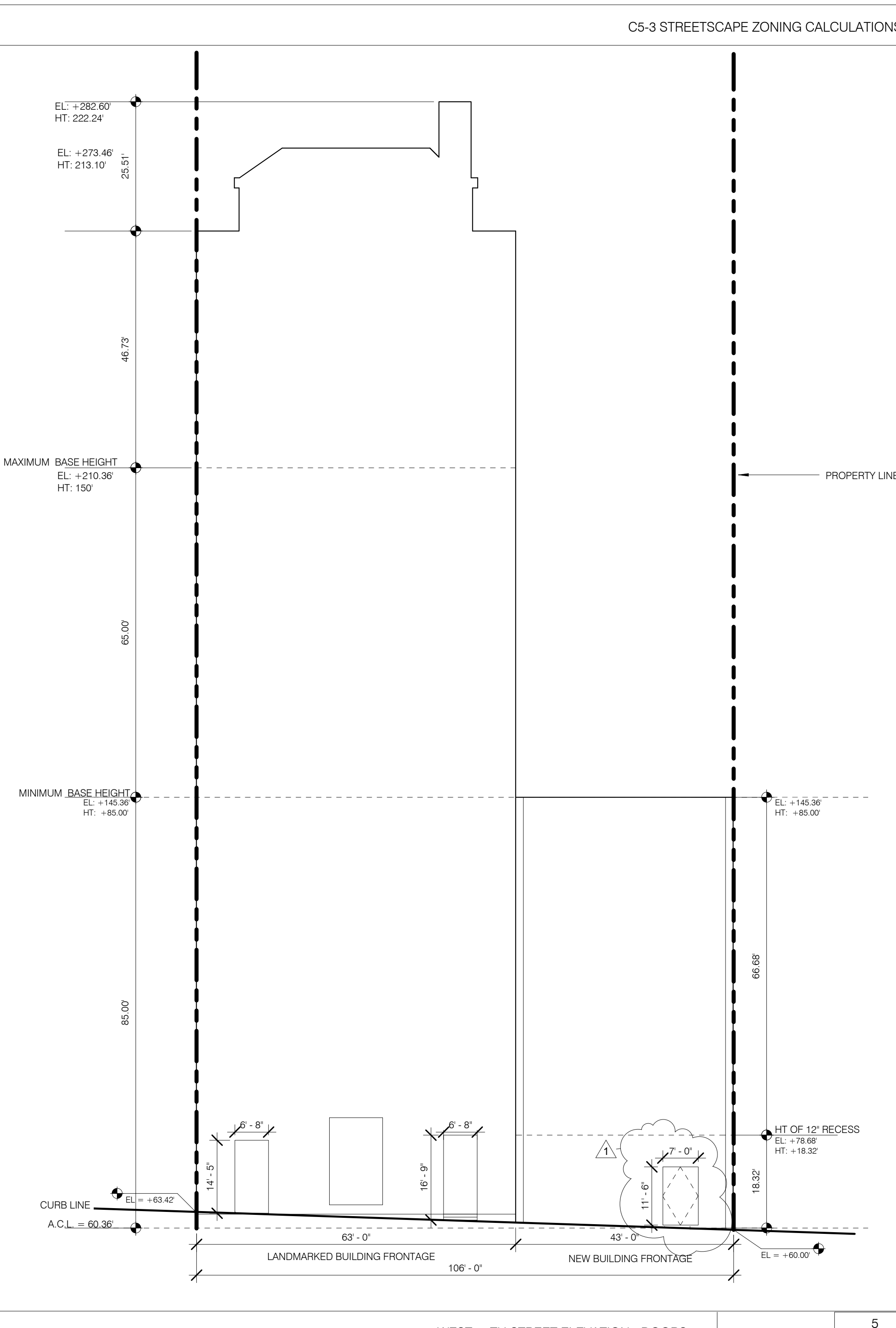
\*Note: Existing Landmark Building does not comply with glazing requirement. New building does not increase degree of non-compliance.

**81-44 Curb Cut Restrictions**

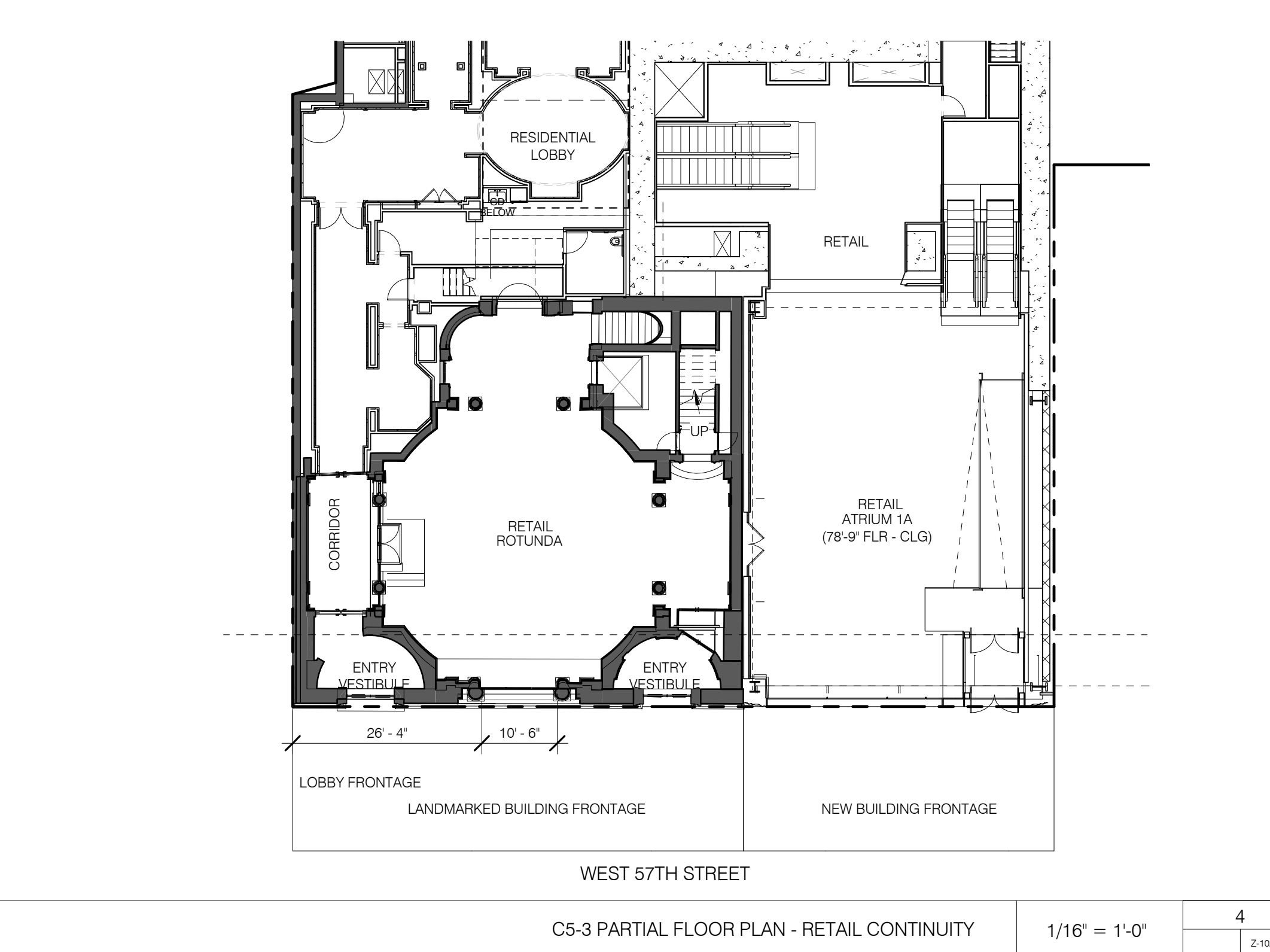
There are no curb cuts on West 57th street, a restricted street.

**81-45 Pedestrian Circulation Space**

Not required



WEST 57TH STREET ELEVATION - DOORS 1/16" = 1'-0" 5 2/1621

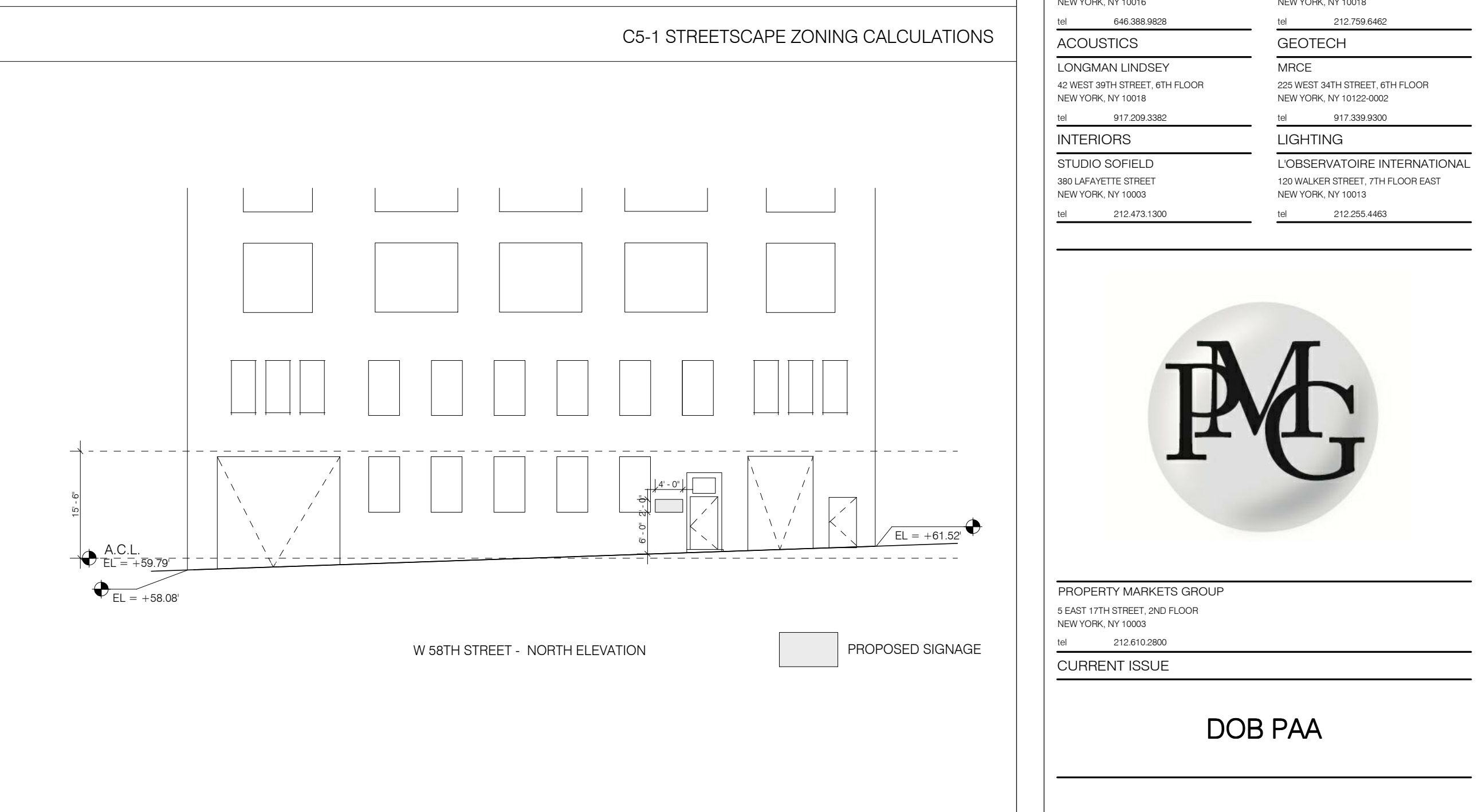


C5-3 PARTIAL FLOOR PLAN - RETAIL CONTINUITY 1/16" = 1'-0" 4 2/1621

**C5-1 STREETScape ZONING CALCULATIONS**

Zoning Section	1. Special Urban Design Guidelines - Streetscape as per Sec. 37-30	37-35	a) Retail Continuity	50% of front building wall of development fronting of a wide street to contain commercial uses n.a., development not on wide street in C5-1. Complies.
37-36	b) Sign Regulations	37-36	Signs to be provided in horizontal band. Not Higher than 17' from curb level and no taller than 3' Will comply: See drawing #3 on this sheet.	
37-37	c) Streetwall Articulation	37-37	On all streets, 50% of ground floor to 14' in height to be transparent. Existing Landmark Building does not comply with glazing requirement. New building does not increase degree of non-compliance. (See diagram #2 on this sheet).	
26-00	2. Special Urban Design Guidelines- Streetscape as per Sec. 26-00	26-00	a) Streetwall Articulation	Superseded by greater requirements of Sec. 37-37
26-12	b) Streetwall Articulation	26-12	c) Curb Cuts	Permitted: No curb cut on wide street Up to one curb cut on narrow street Provided: Existing Landmark Building does not comply with curb cut requirement. Existing curb cuts to remain. New building does not increase degree of non-compliance. (See diagram #1 on this sheet)
26-15	d) Central Refuse Storage Area	26-15	Required: 5504 x (20,601/10,000) = 103 SF required Provided: 297 SF Complies: See drawing #8 on this sheet.	
26-16	e) Bicycle Parking	26-16	Required Bicycle Parking (15 SF / Bicycle) Residential: 1 Bicycle per 2 Dwelling Units Retail: 1 Bicycle / 10,000 SF Total Bicycle required: 60 DU / 2 = 30 43,424/10,000 = 5 Total = 35 Total Bicycle Parking Space required 35 x 15 = 525 SF Permission requested to provide 6 SF per Bicycle Total Bicycle Parking Space provided = 35 x 6 = 210 SF Bicycle Parking Space Provided = 311 SF Complies: See drawing #7 on this sheet.	
36-70	f) Pedestrian Circulation Space	36-70	Not required	

Additional Requirements (C5-1 zone only - not applicable in Midtown District)



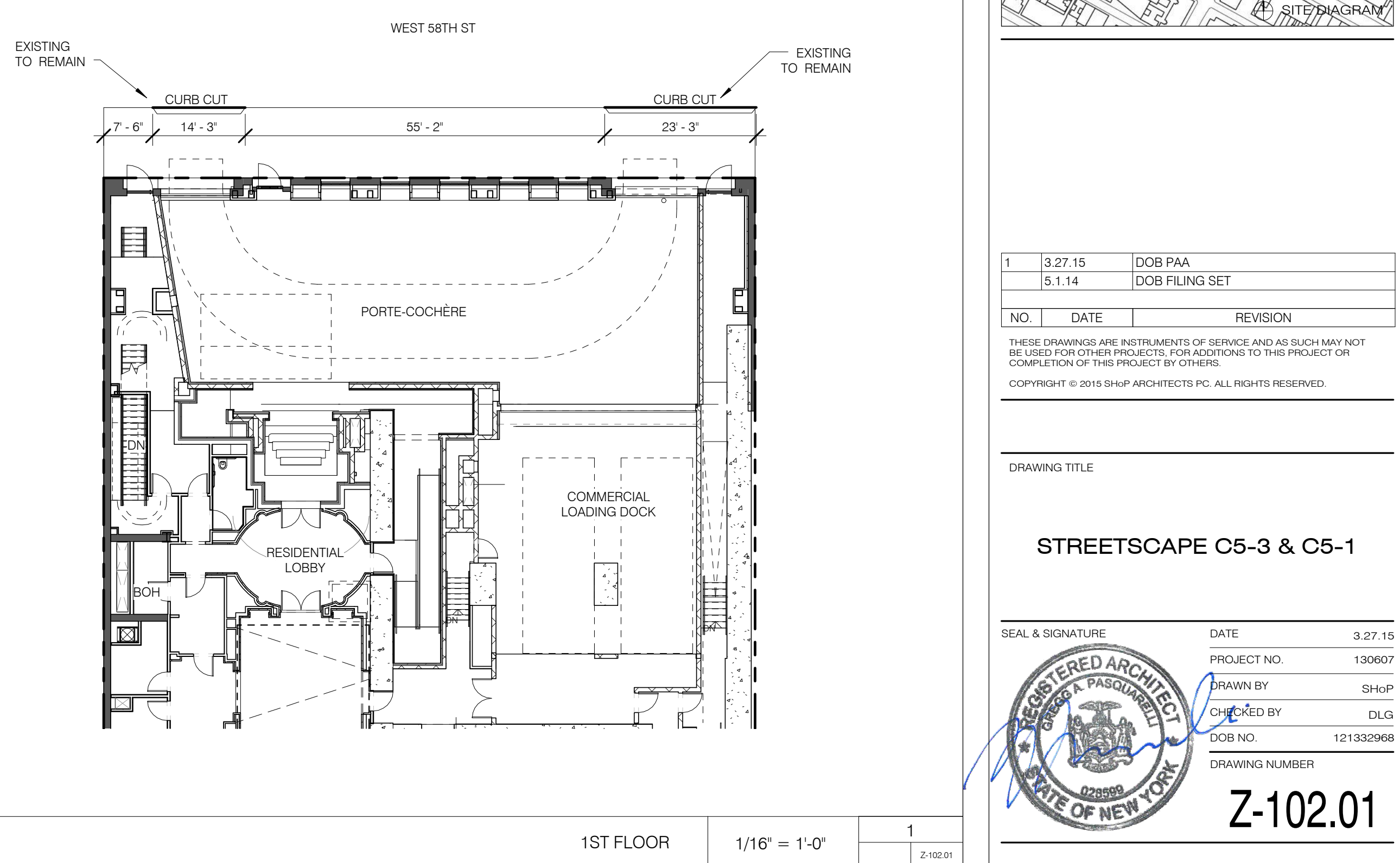
WEST 58TH STREET ELEVATION - SIGNAGE 1/16" = 1'-0" 3 2/1621

NOTE: EXISTING TRANSPARENCY % TO REMAIN UNCHANGED.

West 58th Street	EXISTING SF	EXISTING TRANSPARENCY
A	12x100	1200
B	140' x 87' x 5	1305
C	11'11.52' x 7'	7.63
D	26' x 3'10"	9.34
<b>TOTAL TRANSPARENCY PROVIDED</b>	<b>136.75</b>	<b>11.43%</b>

\*EXISTING LANDMARKED BUILDING DOES NOT COMPLY. NEW CONSTRUCTION DOES NOT INCREASE DEGREE OF NON-COMPLIANCE.

WEST 58TH STREET ELEVATION - TRANSPARENCY 1/16" = 1'-0" 2 2/1621



1ST FLOOR 1/16" = 1'-0" 1 2/1621

**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



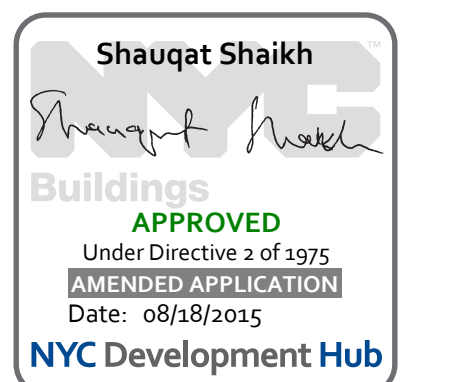
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

NO.	DATE	REVISION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SHP ARCHITECTS, P.C. ALL RIGHTS RESERVED.

DRAWING TITLE  
**STREETSCAPE C5-3 & C5-1**

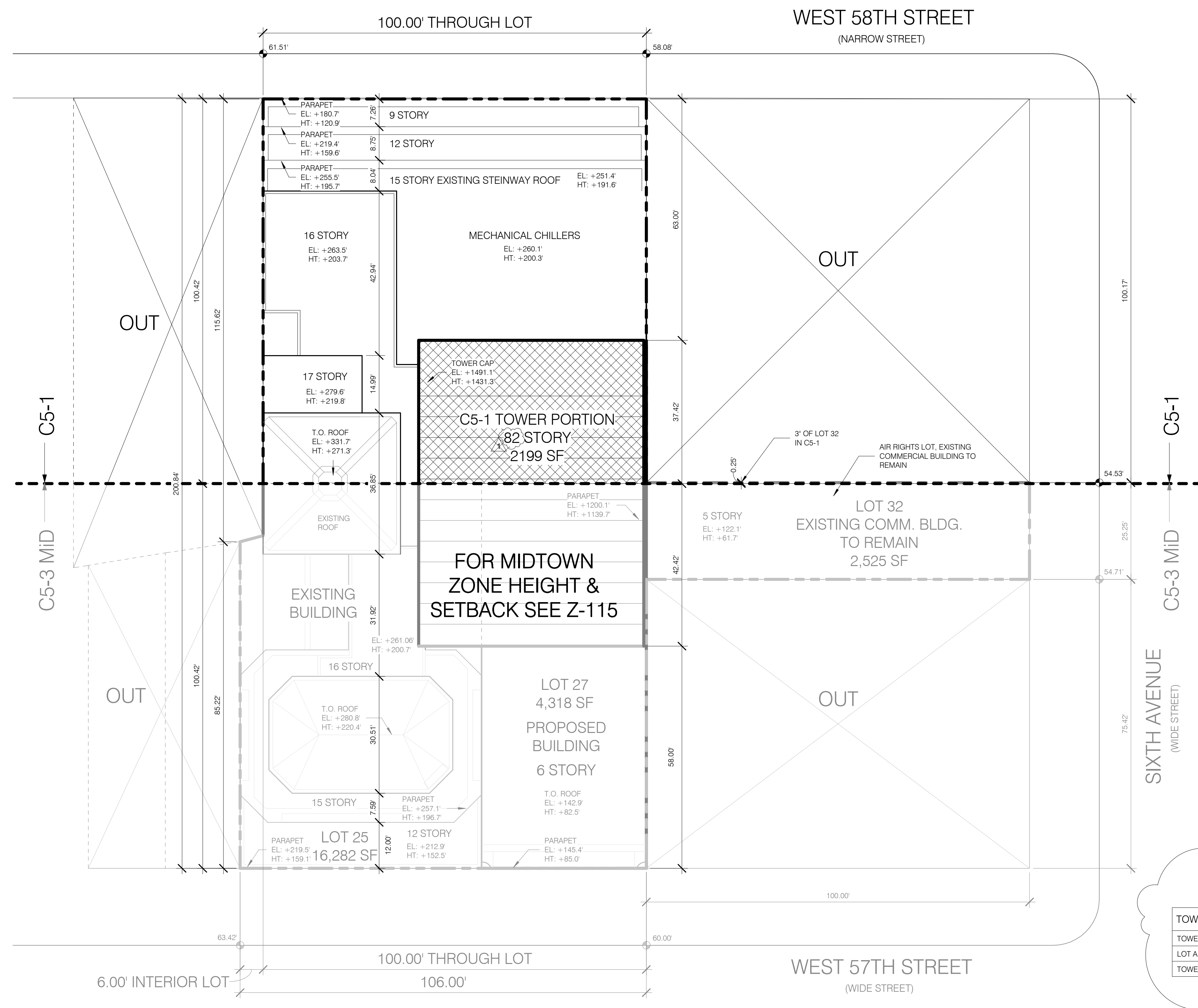
SEAL & SIGNATURE  
DATE: 3.27.15  
PROJECT NO: 130007  
DRAWN BY: SH/p  
CHECKED BY: DLG  
DOB NO: 121330206  
DRAWING NUMBER  
**Z-102.01**



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

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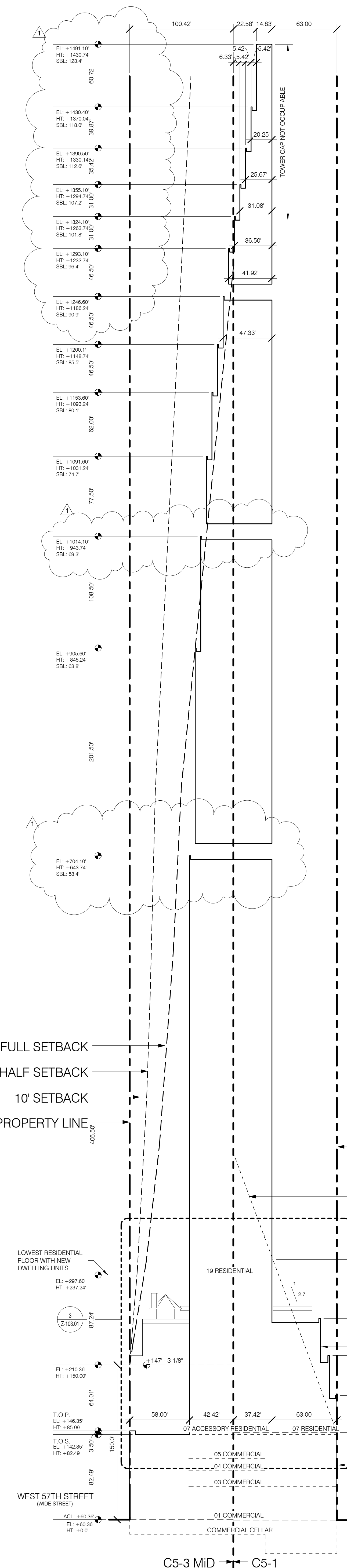
DRAWING TITLE: **HEIGHT & SETBACK (NON-MIDTOWN ZONE)**



**TOWER COVERAGE CALCULATION**

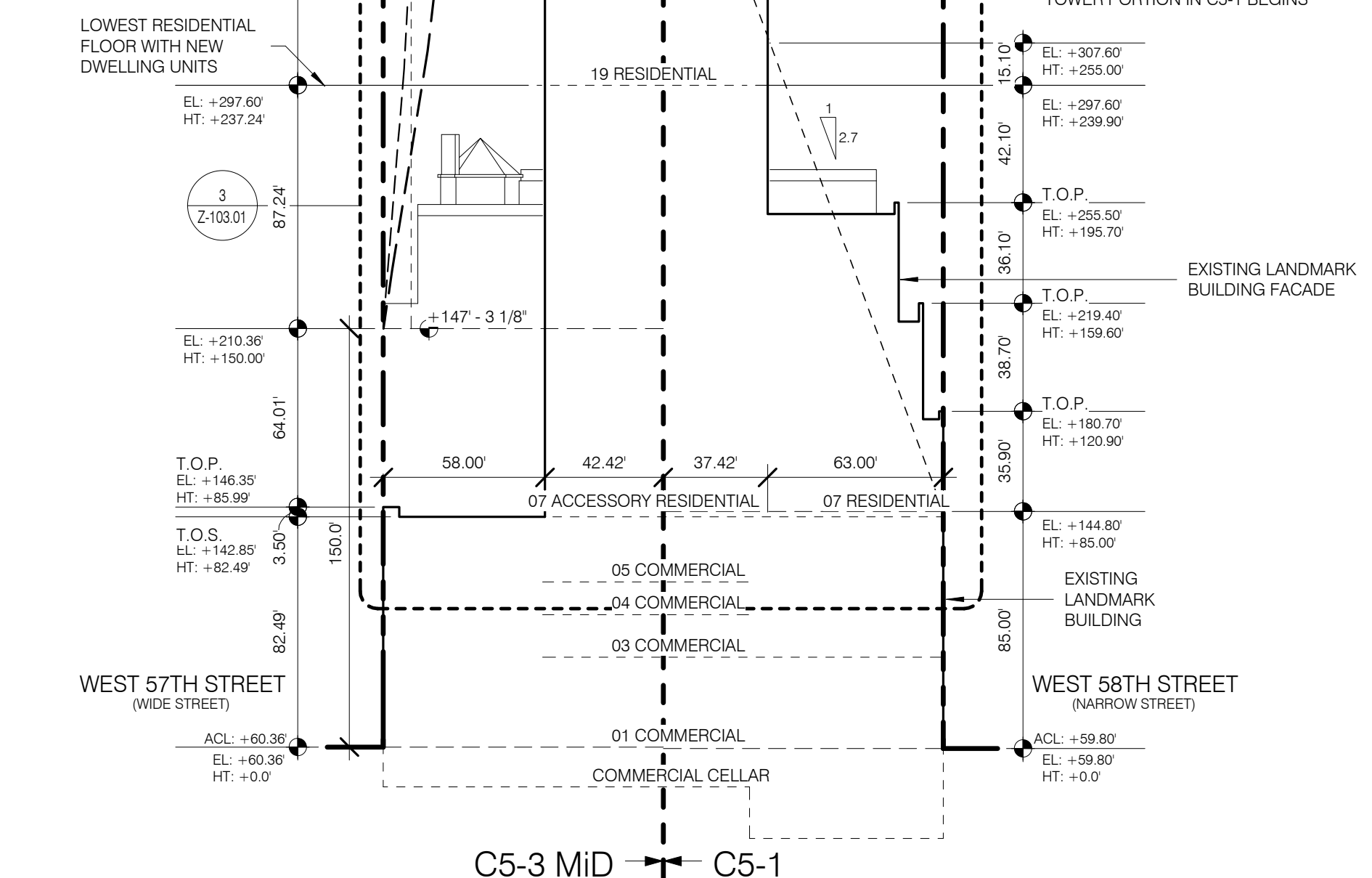
TOWER AREA	= 2,198 SF
LOT AREA	= 10,042 SF
TOWER COVERAGE	= 21.9%

C5-1 TOWER COVERAGE CALCULATION 1/16" = 1'-0" 2



FULL SETBACK  
HALF SETBACK  
10' SETBACK  
PROPERTY LINE

PROPERTY LINE  
SKY EXPOSURE PLANE



**Zoning Calculations**

**Height and Setback C5-1 Only**

**23-65 TOWER REGULATIONS**  
35-65(b) Residential portion of a mixed building not exceeding 40% Lot coverage, or, for Zoning Lots less than 20,000 SF, the percent set forth in 23-65, may be constructed in conformance with Residential Tower Regulations provided:

a) At least 65% of total allowable FA on zoning lot in C5-1 is occupied by Residential Use Complies: of 100,670 SF permitted at 10 FAR, 32,595 SF of residential floor area was "transferred" from the C5-3 zone (there is no prohibition of movement of floor area for a use between zones with the same FAR) leaving permitted floor area in the C5-1 at 138,611 SF, and the overall floor area at 153,399 SF. There are two ways to calculate the 65% compliance based upon this:

1. Calculate residential floor area in C5-1 as % of total allowable after transfer, so C5-1 is a "stand-alone" zone Required: 153,399 SF x .65 = 99,709 SF Provided as residential: 138,611 SF (89.6%) Complies OR
2. Use the total allowable floor area before "transfer" from C5-3 and calculate if amount of non-residential is less than 35%, meaning that the remainder of allowable floor area as residential is more than 65%. 100,670 SF - 15,311 SF (non-res provided) = 85,883 SF (residential remaining)

Provided:  
Non Res: 14,787 SF / 100,670 SF = 14.6%  
Residential: 85,883 SF / 100,670 SF = 85.4% (Complies)

b) All Non-Residential Use complies with ZR32-42 COMPLIES, SEE SECTION

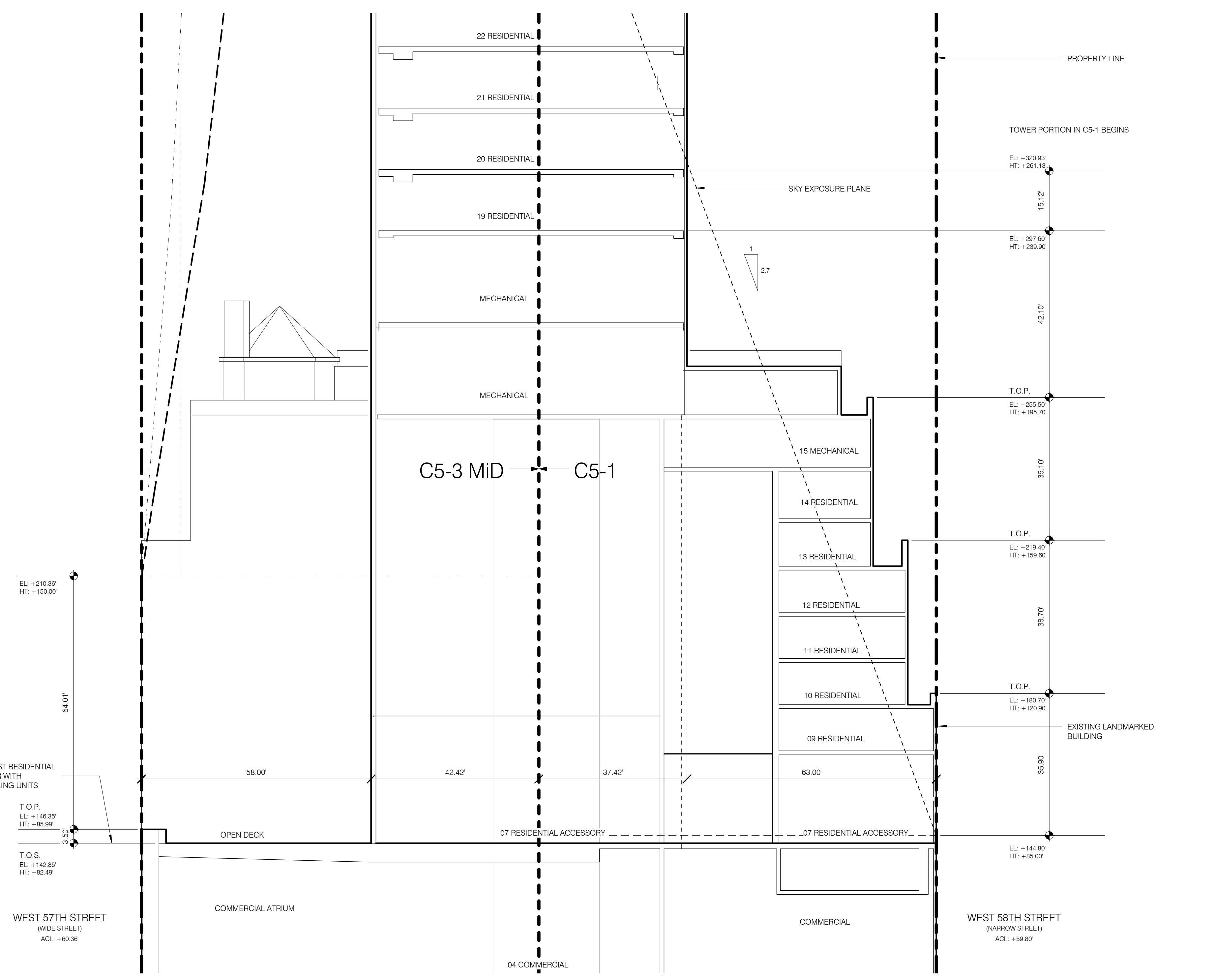
c) No Non Residential Use penetrates Sky Exposure Plane COMPLIES, SEE SECTION

**23-65 MAXIMUM TOWER COVERAGE**  
50% maximum Tower Coverage on lot 10,500 SF or less C5-1 Zoning Lot area = 10,042 SF Tower coverage = 2,199SF (21.9% < 50%) Complies

**23-652 MAXIMUM HEIGHT OF WALLS AND REQUIRED SETBACKS**  
1) Basic Regulations for Residential Portion  
15' minimum setback (6' 8" above Narrow Street  
2.7' to 1 Sky Exposure Plane  
(See Sheet Z-103)

For Midtown Zone Height and Setback See Z-115

ZONING - SECTION NON-MIDTOWN ENLARGED 1/16" = 1'-0" 3

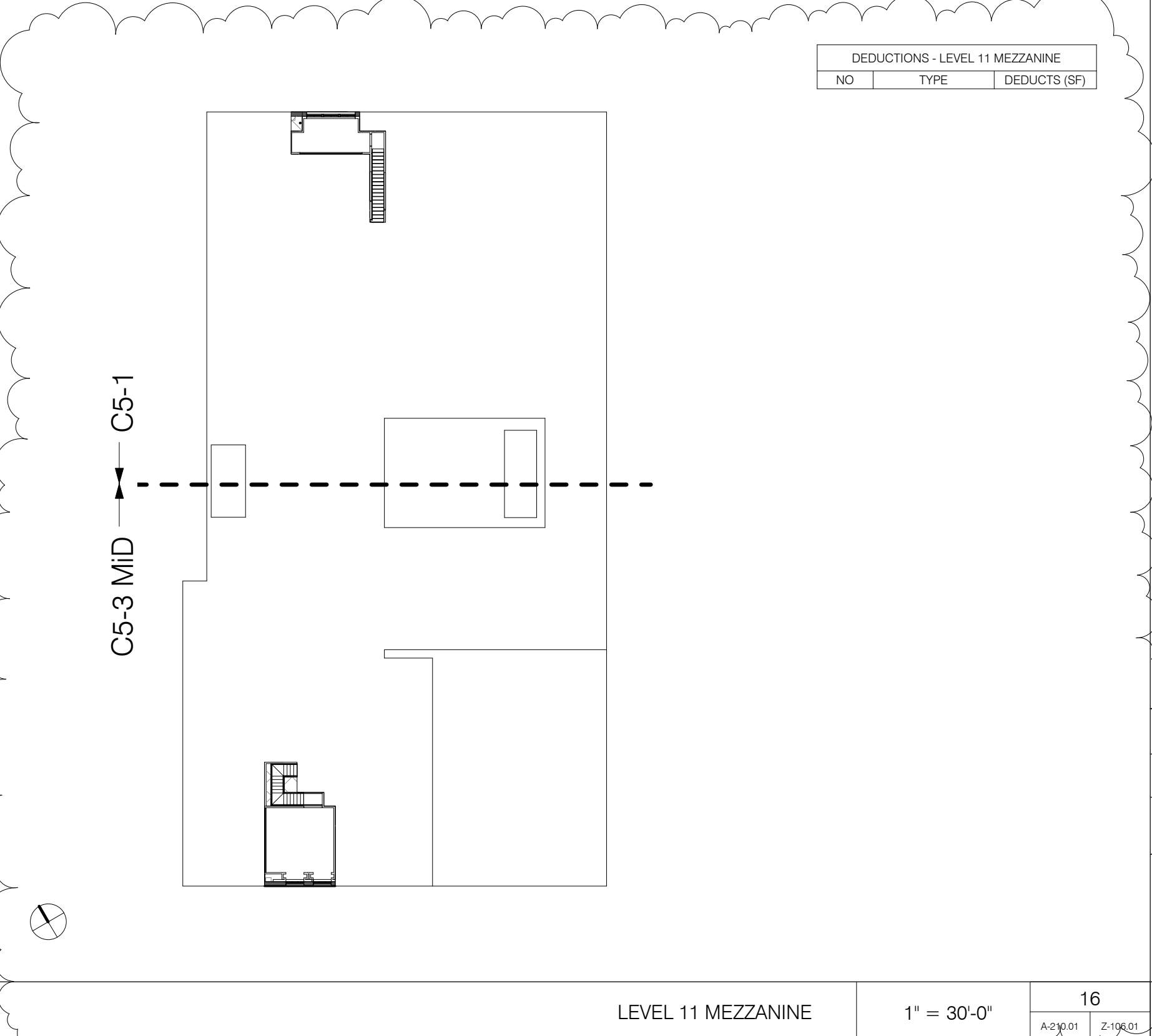


ZONING - SECTION NON-MIDTOWN ENLARGED 1/16" = 1'-0" 3

BUILDING SECTION 1" = 50'-0" 1

KEY  
ZONING FLOOR AREA  
FLOOR AREA DEDUCTION  
OPEN TO BELOW

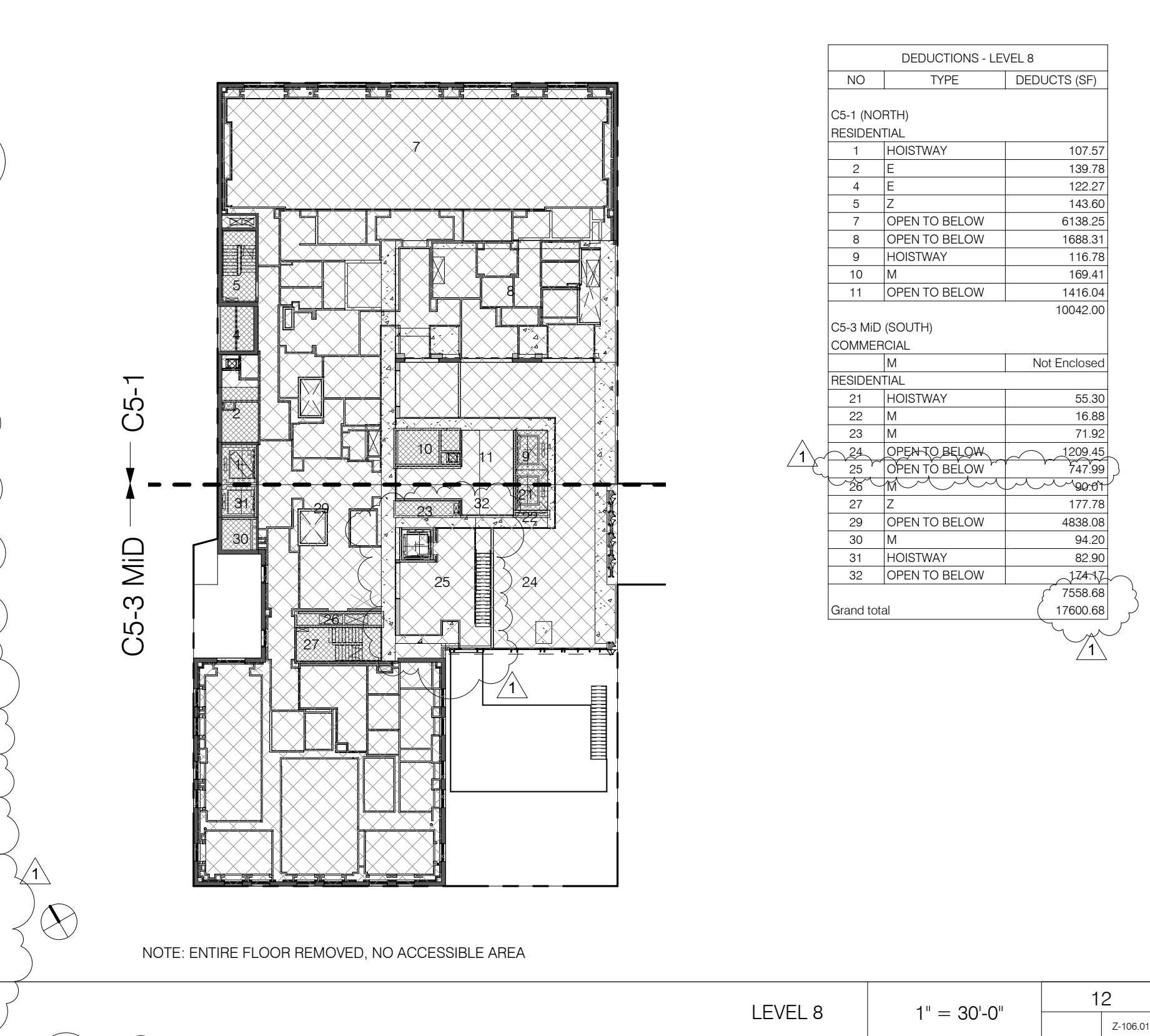
NOTE: FOR GROSS FLOOR AREA SEE PROPOSED BUILDING FLOOR AREAS SCHEDULE ON Z-100.00



DEDUCTIONS - LEVEL 11 MEZZANINE

NO.	TYPE	DEDUCTS (SF)
1	E	107.87
2	E	138.79
3	E	122.27
4	E	143.60
5	E	618.25
6	E	1689.31
7	E	116.38
8	E	188.41
9	E	116.85
10	E	188.41
11	E	116.85
12	E	10942.00

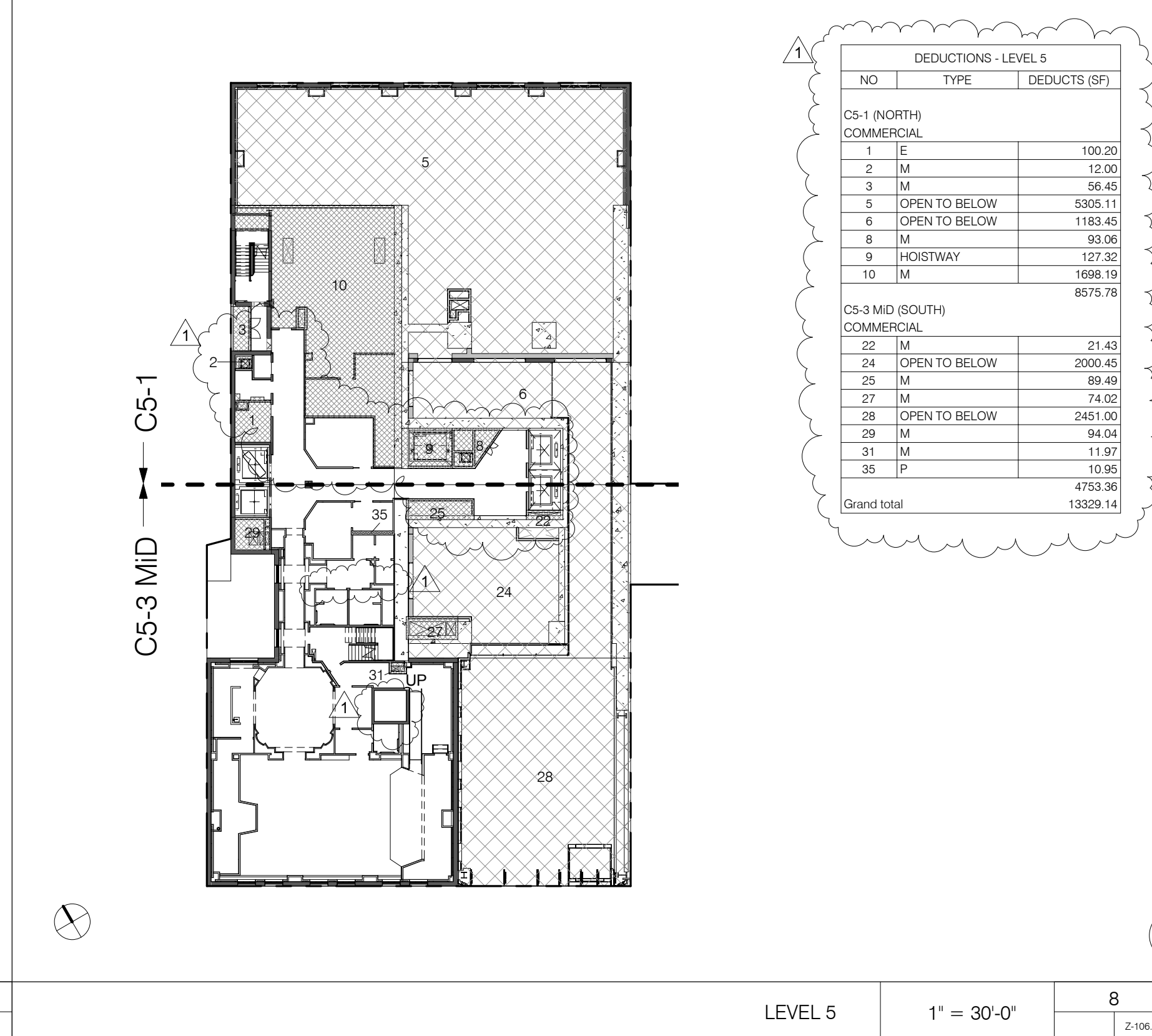
LEVEL 11 MEZZANINE 1" = 30'-0" 16



DEDUCTIONS - LEVEL 8

NO.	TYPE	DEDUCTS (SF)
1	E	107.87
2	E	138.79
3	E	122.27
4	E	143.60
5	E	618.25
6	E	1689.31
7	E	116.38
8	E	188.41
9	E	116.85
10	E	188.41
11	E	116.85
12	E	10942.00

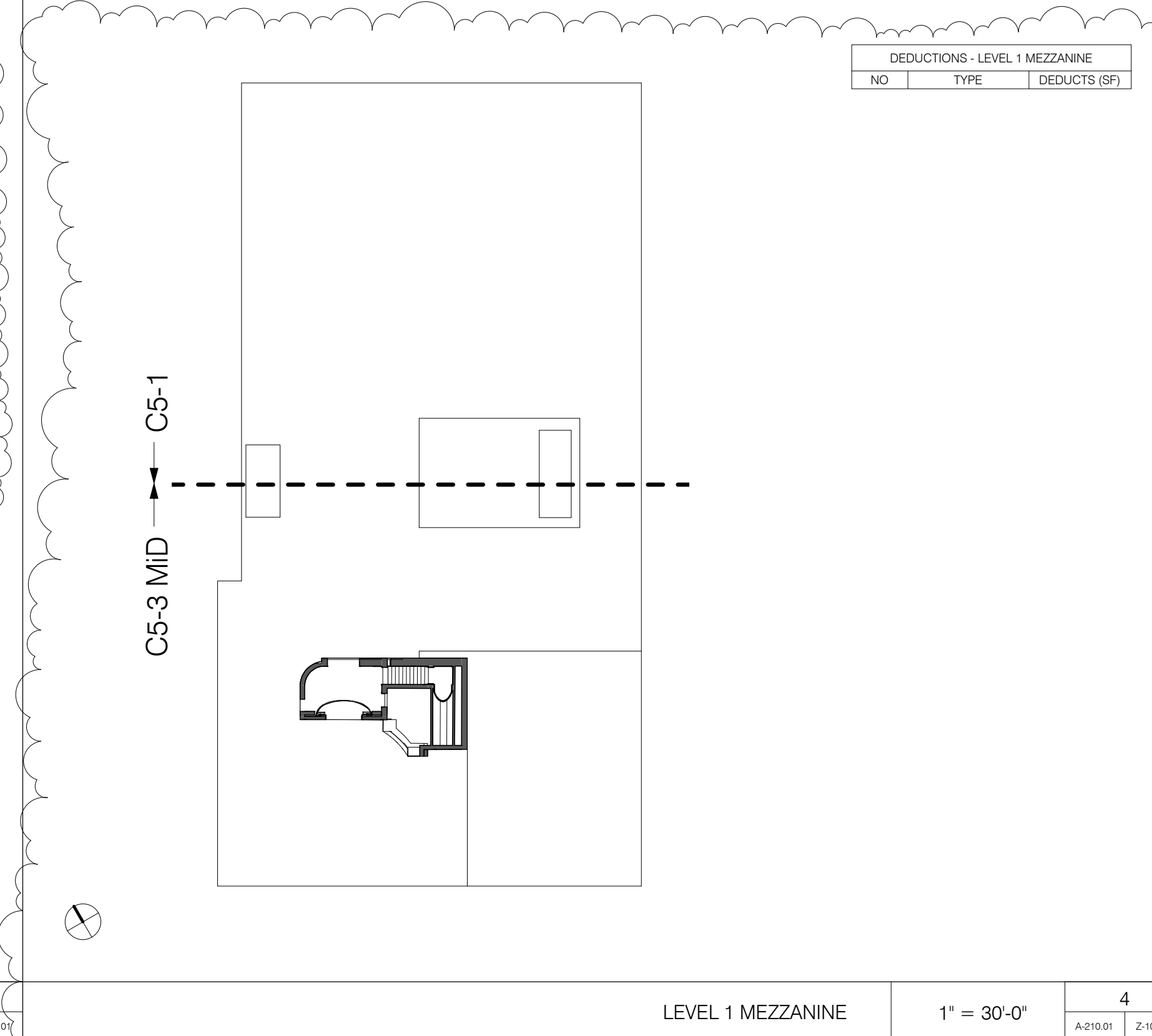
LEVEL 8 1" = 30'-0" 12



DEDUCTIONS - LEVEL 5

NO.	TYPE	DEDUCTS (SF)
1	E	107.87
2	E	138.79
3	E	122.27
4	E	143.60
5	E	618.25
6	E	1689.31
7	E	116.38
8	E	188.41
9	E	116.85
10	E	188.41
11	E	116.85
12	E	10942.00

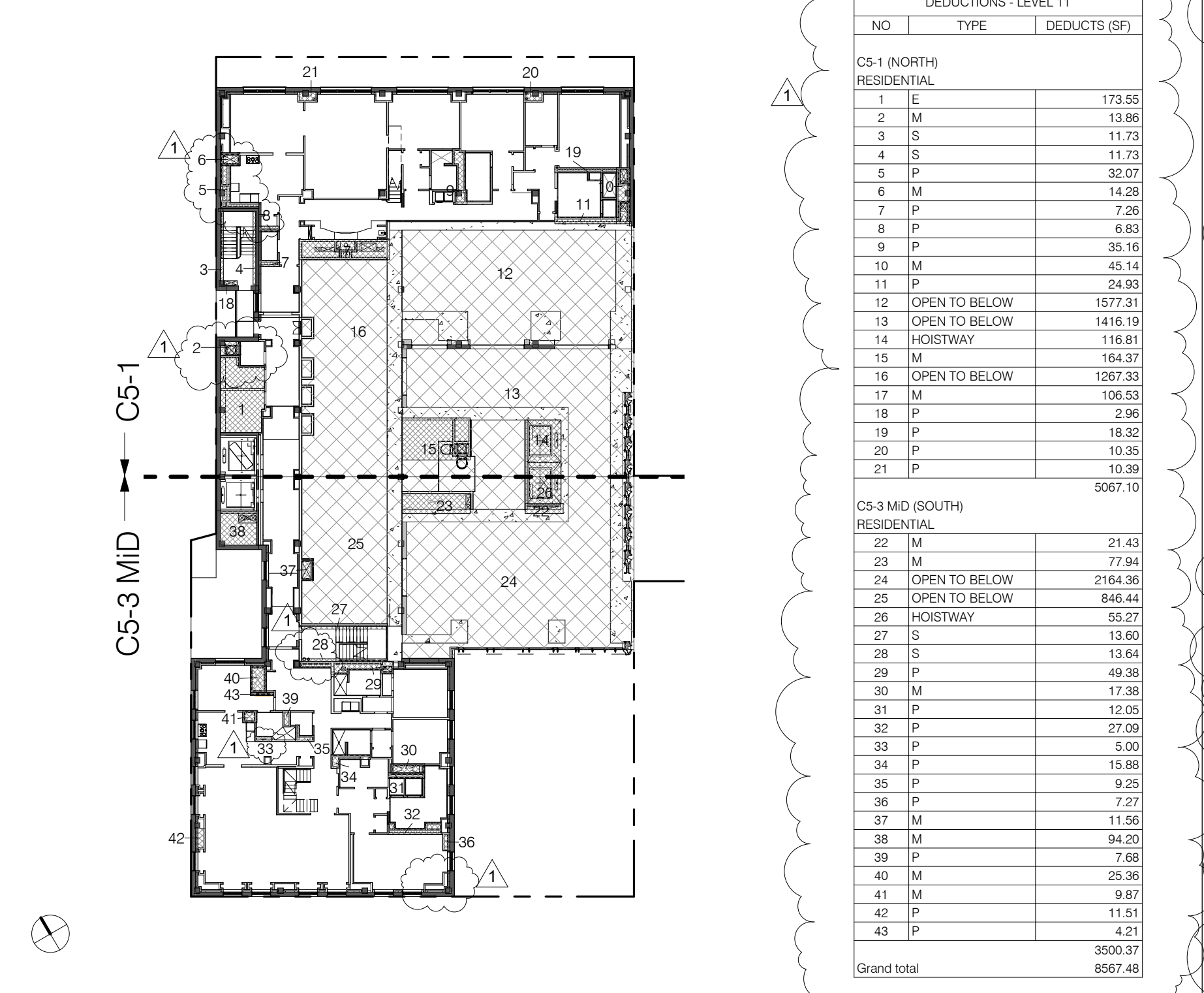
LEVEL 5 1" = 30'-0" 8



DEDUCTIONS - LEVEL 1 MEZZANINE

NO.	TYPE	DEDUCTS (SF)
1	E	107.87
2	E	138.79
3	E	122.27
4	E	143.60
5	E	618.25
6	E	1689.31
7	E	116.38
8	E	188.41
9	E	116.85
10	E	188.41
11	E	116.85
12	E	10942.00

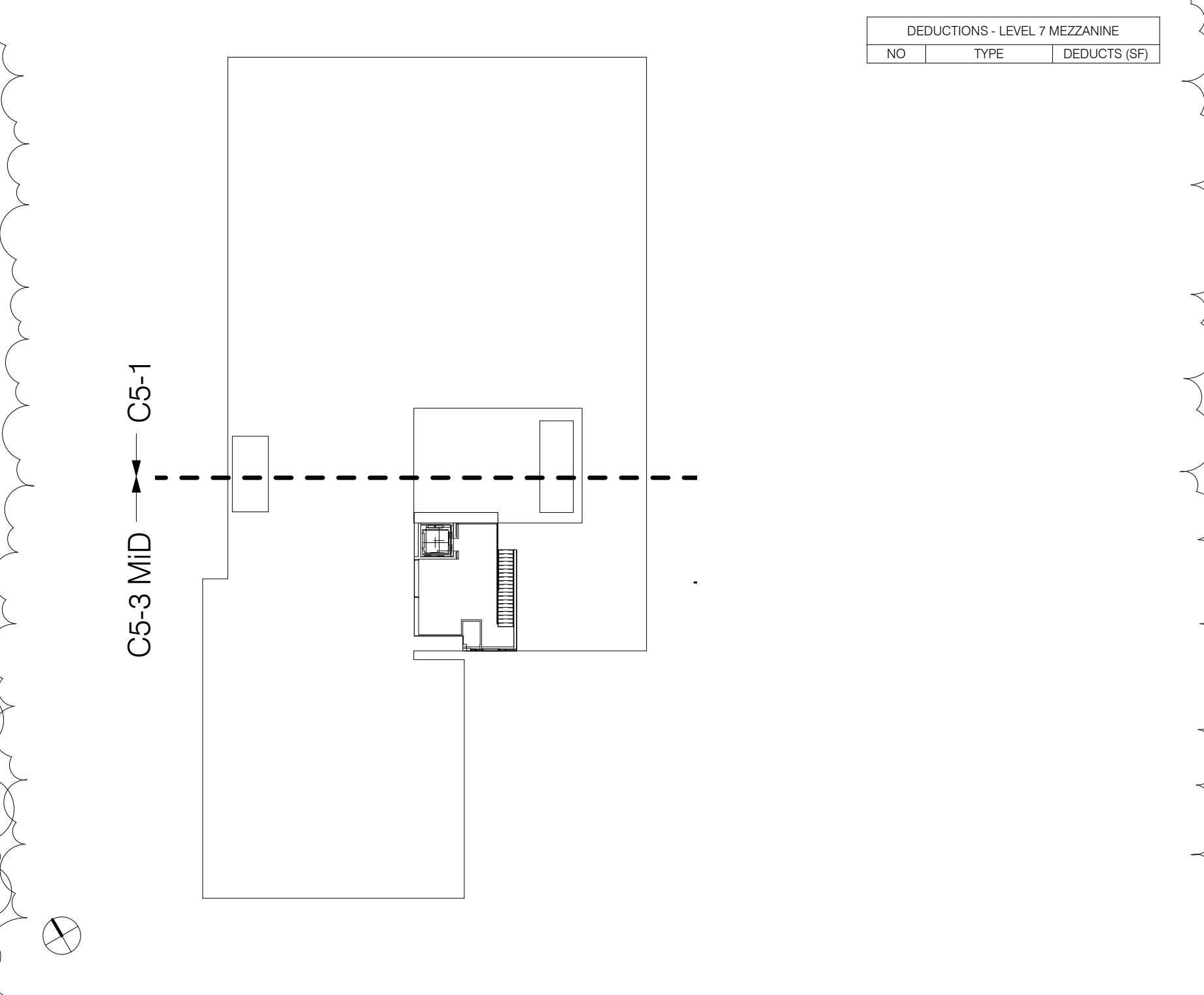
LEVEL 1 MEZZANINE 1" = 30'-0" 4



DEDUCTIONS - LEVEL 11

NO.	TYPE	DEDUCTS (SF)
1	E	173.93
2	E	13.80
3	E	11.73
4	E	11.73
5	E	32.07
6	E	14.26
7	E	7.25
8	E	6.83
9	E	35.16
10	E	43.14
11	E	23.63
12	E	1577.31
13	E	1418.10
14	E	116.81
15	E	1287.33
16	E	156.53
17	E	195.36
18	E	1.95
19	E	18.32
20	E	15.03
21	E	10.39
22	E	9467.70

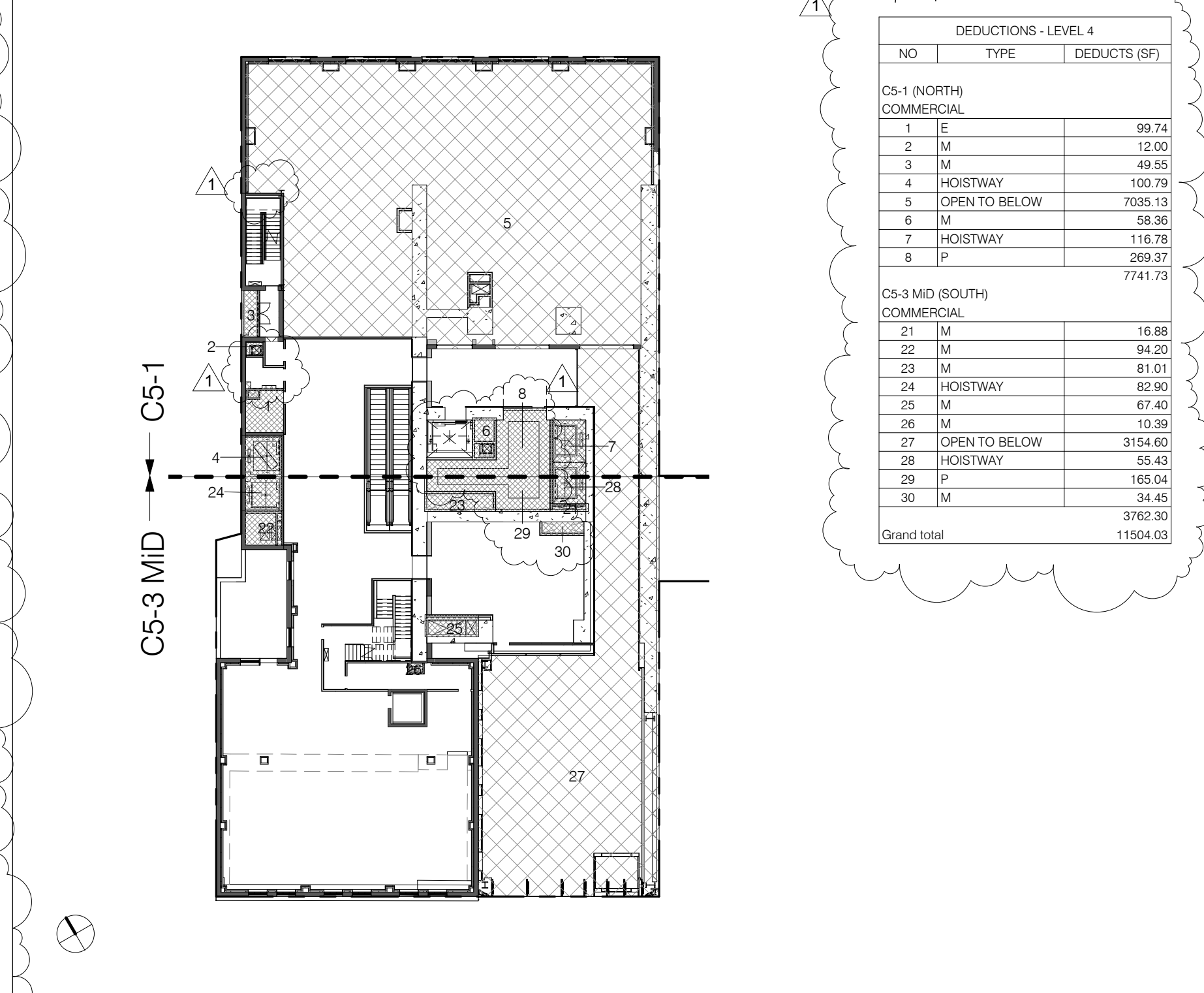
LEVEL 11 1" = 30'-0" 15



DEDUCTIONS - LEVEL 7 MEZZANINE

NO.	TYPE	DEDUCTS (SF)
1	E	107.87
2	E	138.79
3	E	122.27
4	E	143.60
5	E	618.25
6	E	1689.31
7	E	116.38
8	E	188.41
9	E	116.85
10	E	188.41
11	E	116.85
12	E	10942.00

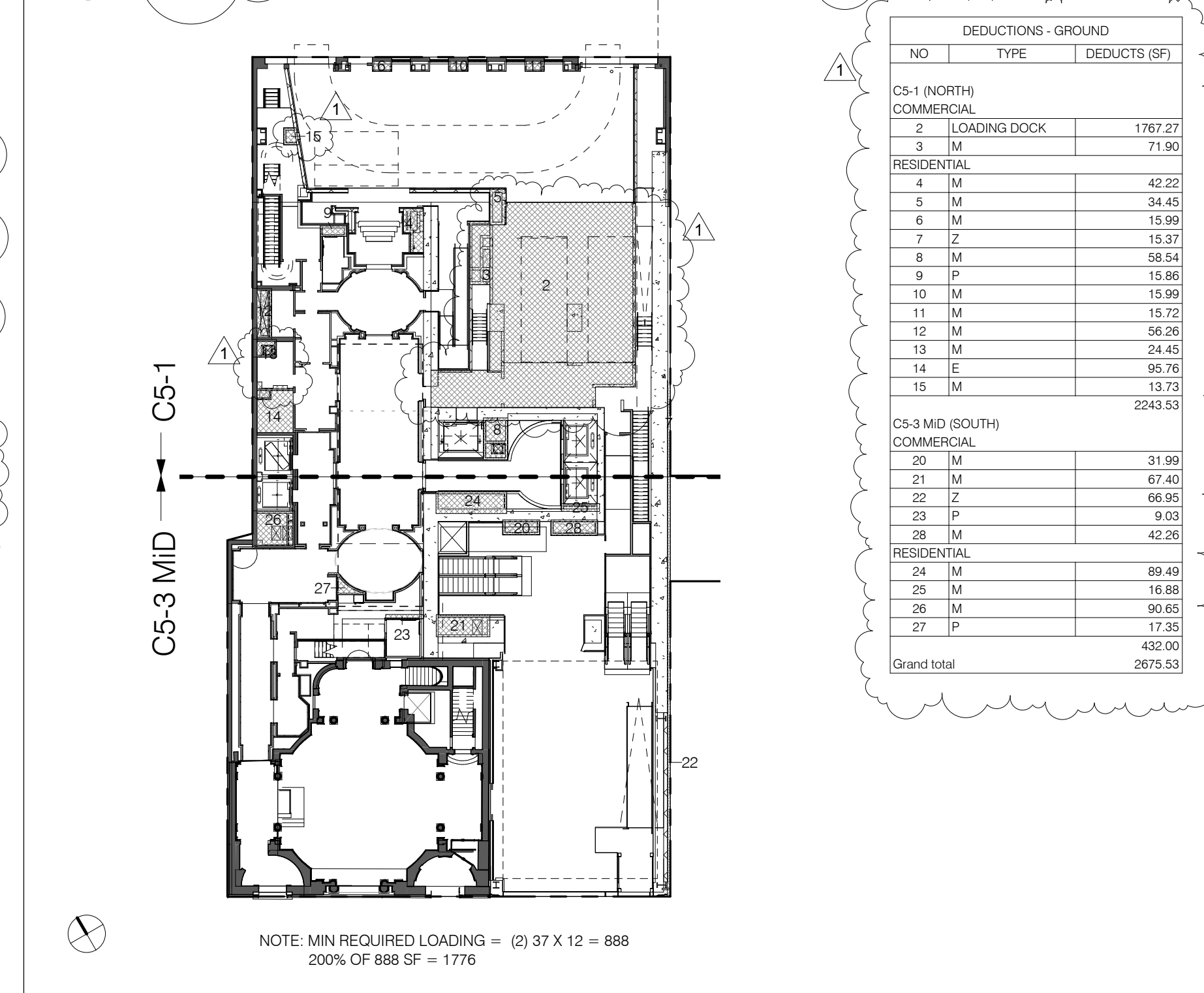
LEVEL 7 MEZZANINE 1" = 30'-0" 11



DEDUCTIONS - LEVEL 4

NO.	TYPE	DEDUCTS (SF)
1	E	99.74
2	E	123.00
3	E	49.35
4	E	1192.76
5	E	7055.13
6	E	95.30
7	E	114.78
8	E	288.32
9	E	7743.71

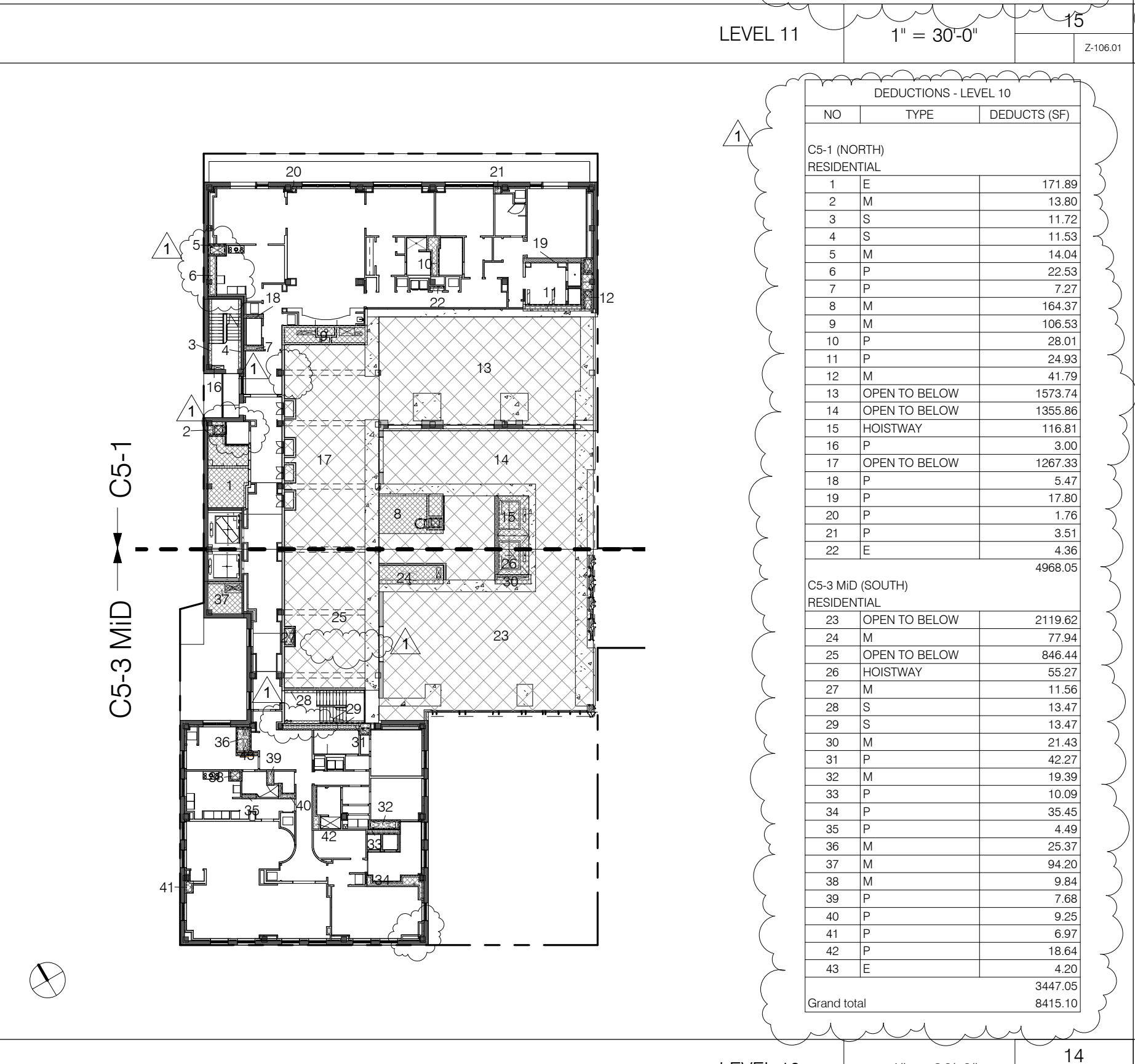
LEVEL 4 1" = 30'-0" 7



DEDUCTIONS - GROUND

NO.	TYPE	DEDUCTS (SF)
1	E	197.27
2	E	17.95
3	E	42.27
4	E	15.99
5	E	84.45
6	E	15.99
7	E	15.37
8	E	11.85
9	E	58.34
10	E	15.99
11	E	26.28
12	E	34.43
13	E	9.23
14	E	95.74
15	E	137.30
16	E	2243.53

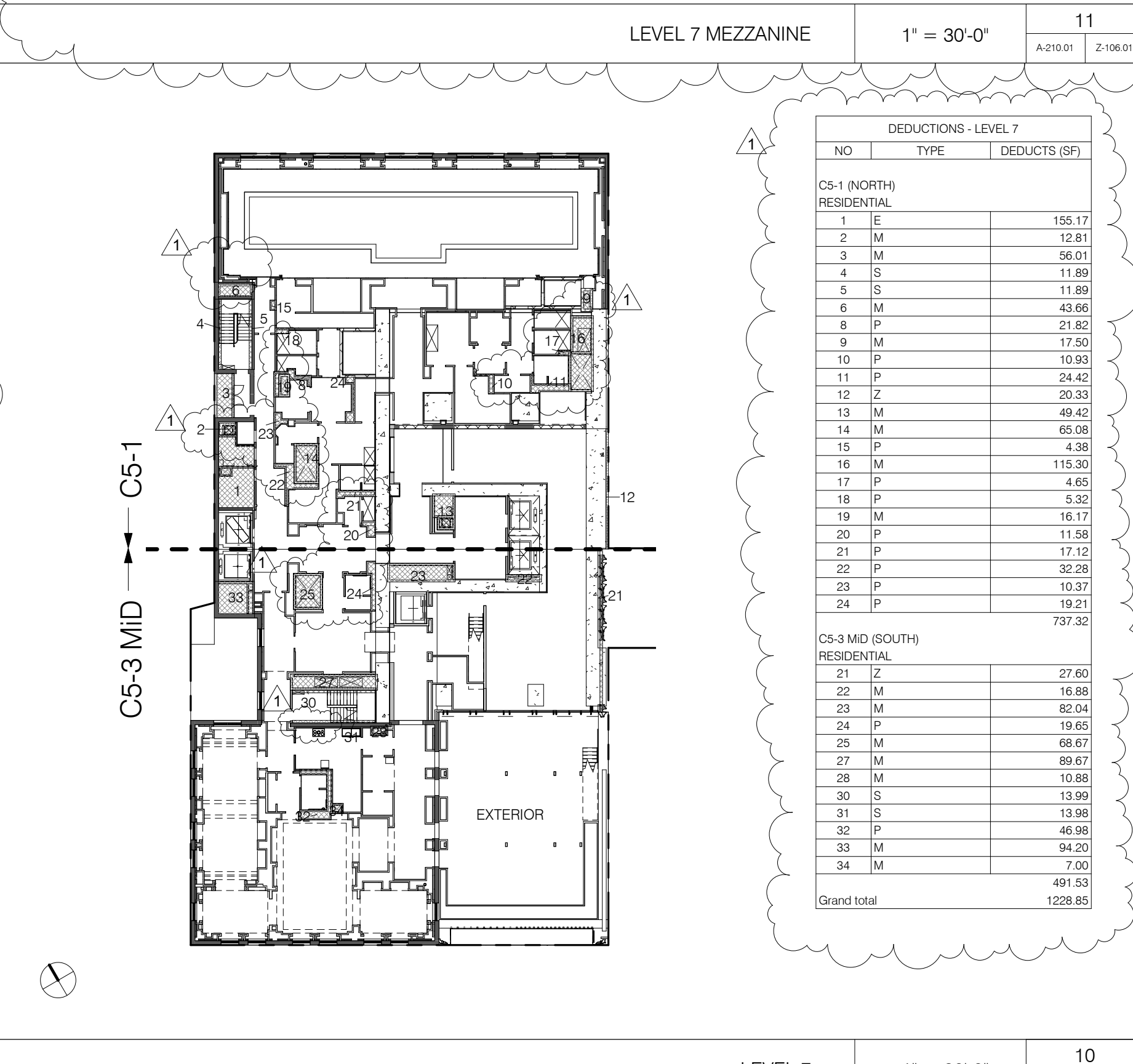
LEVEL 1 MEZZANINE 1" = 30'-0" 4



DEDUCTIONS - LEVEL 11

NO.	TYPE	DEDUCTS (SF)
1	E	171.89
2	E	13.80
3	E	11.73
4	E	11.73
5	E	32.07
6	E	14.26
7	E	7.25
8	E	6.83
9	E	35.16
10	E	43.14
11	E	23.63
12	E	1577.31
13	E	1418.10
14	E	116.81
15	E	1287.33
16	E	156.53
17	E	195.36
18	E	1.95
19	E	18.32
20	E	15.03
21	E	10.39
22	E	9467.70

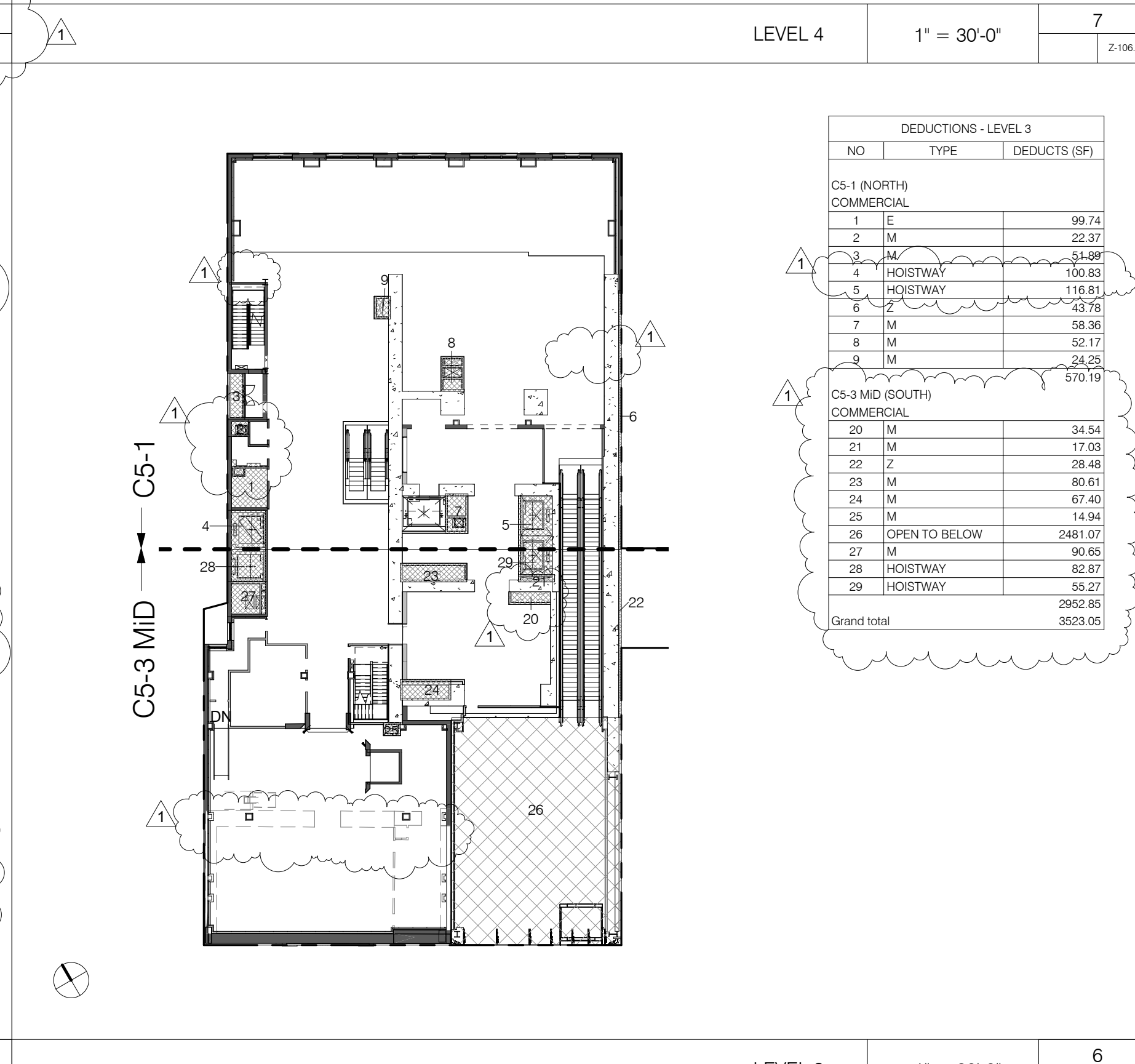
LEVEL 11 1" = 30'-0" 15



DEDUCTIONS - LEVEL 7

NO.	TYPE	DEDUCTS (SF)
1	E	108.17
2	E	12.81
3	E	56.61
4	E	11.89
5	E	100.83
6	E	43.65
7	E	27.82
8	E	17.20
9	E	17.20
10	E	24.93
11	E	41.79
12	E	20.33
13	E	48.42
14	E	65.08
15	E	115.20
16	E	4.65
17	E	5.32
18	E	18.17
19	E	11.88
20	E	31.11
21	E	17.12
22	E	32.89
23	E	10.37
24	E	19.21
25	E	727.32

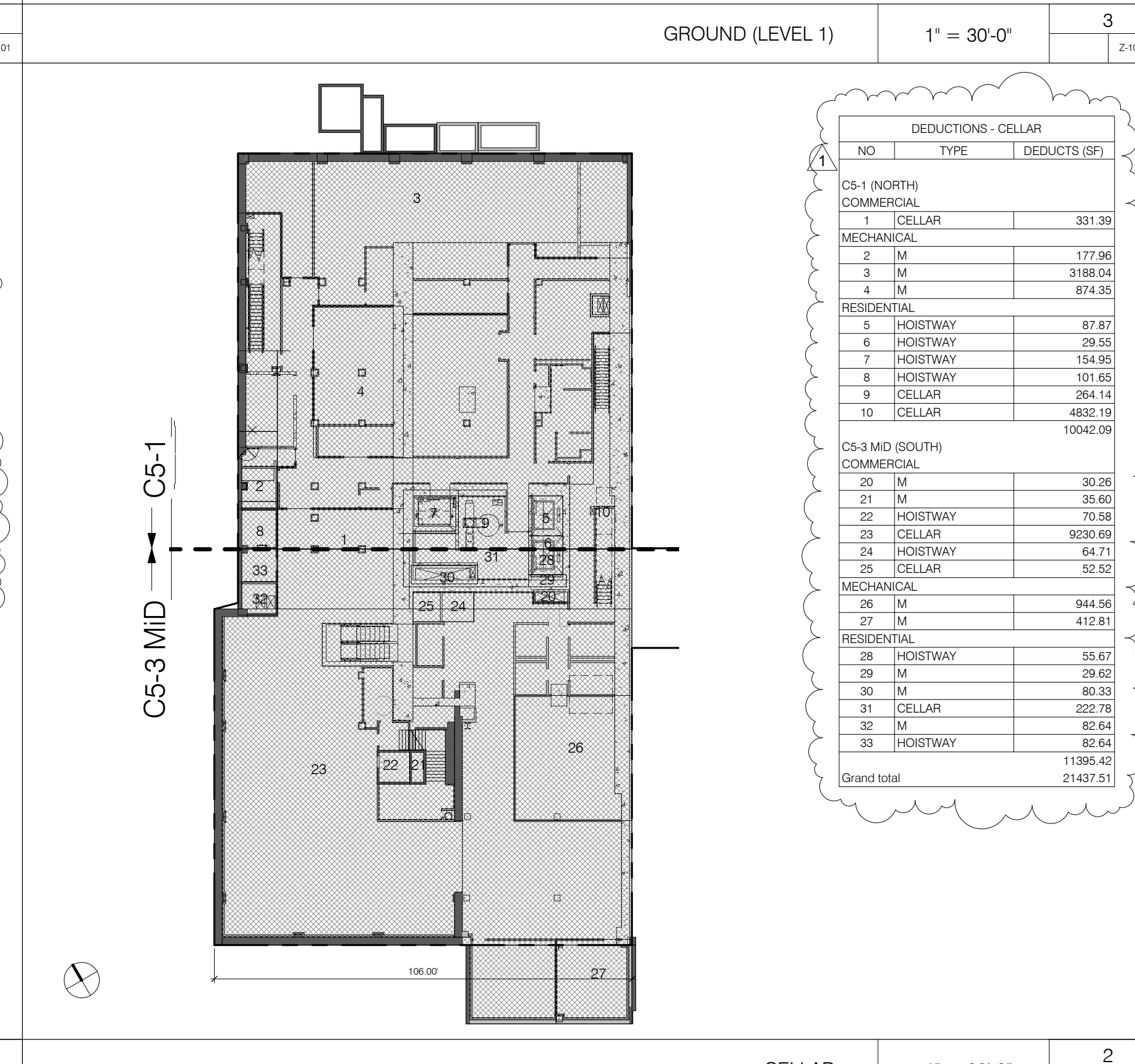
LEVEL 7 MEZZANINE 1" = 30'-0" 11



DEDUCTIONS - LEVEL 3

NO.	TYPE	DEDUCTS (SF)
1	E	99.74
2	E	22.37
3	E	478.96
4	E	100.83
5	E	43.79
6	E	25.79
7	E	57.47
8	E	379.74

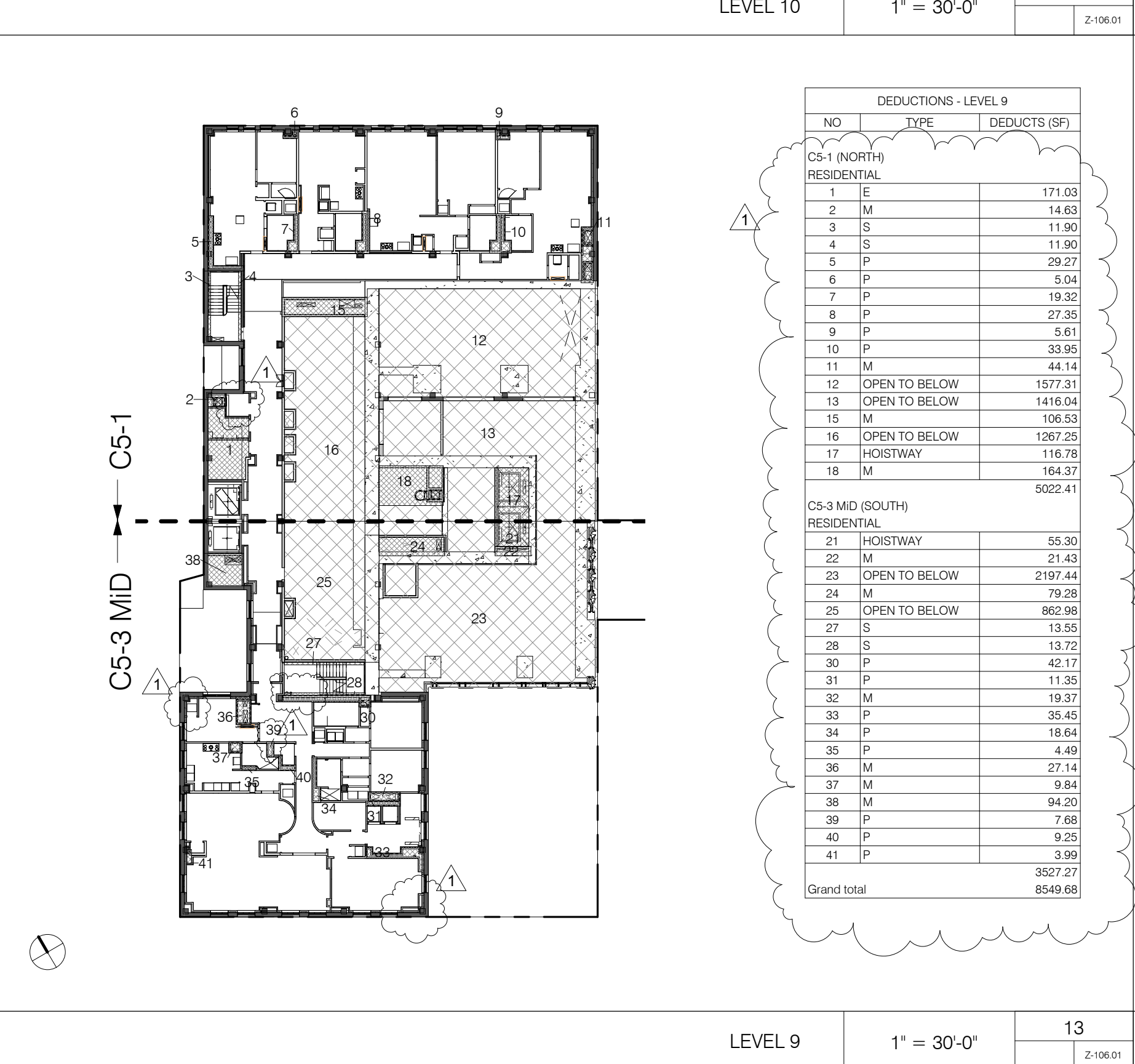
LEVEL 3 1" = 30'-0" 7



DEDUCTIONS - CELLAR

NO.	TYPE	DEDUCTS (SF)
1	E	351.30
2	E	131.26
3	E	3188.04
4	E	874.35
5	E	87.87
6	E	29.95
7	E	154.95
8	E	151.65
9	E	284.14
10	E	4652.19
11	E	10042.00

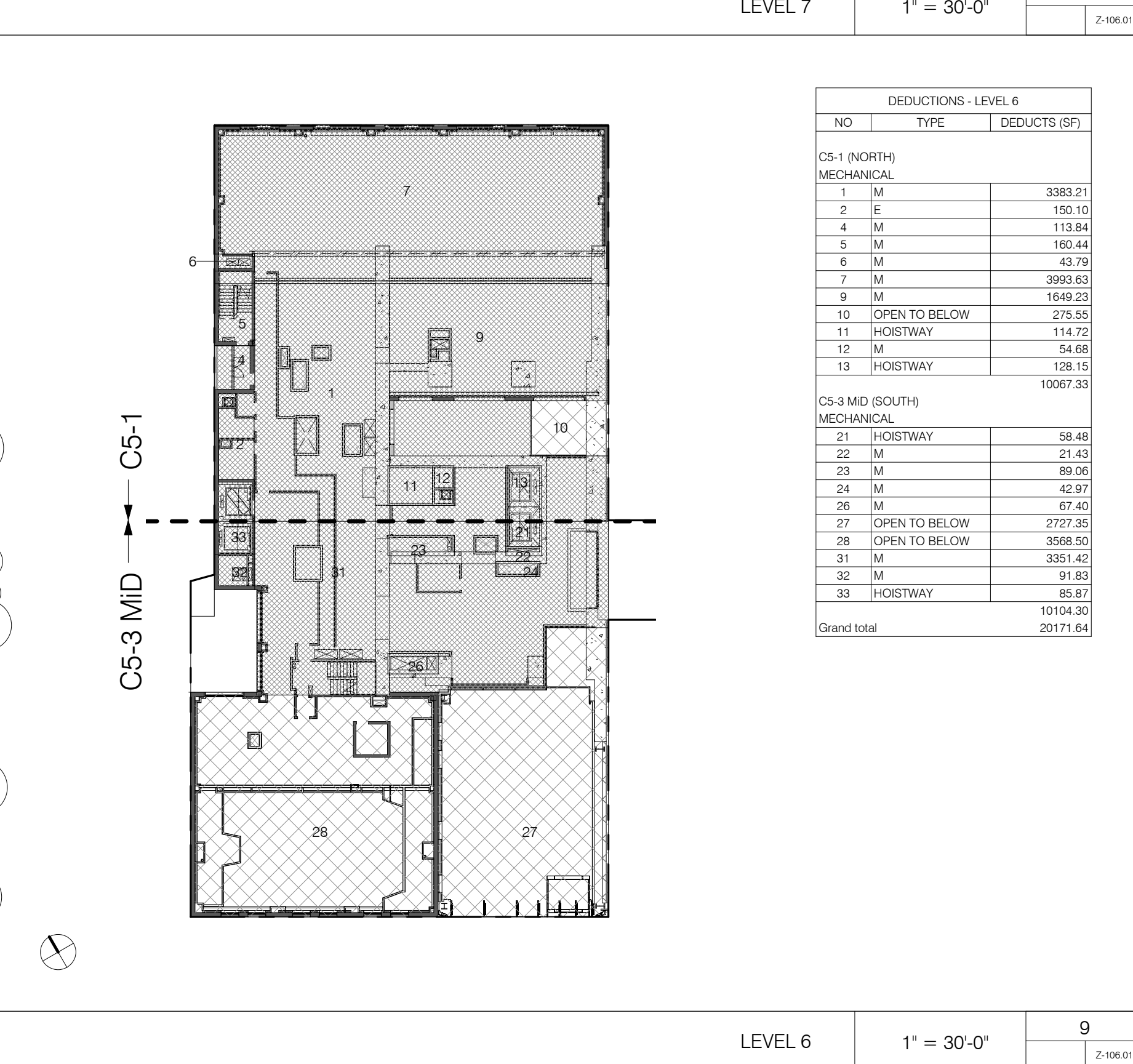
GROUND (LEVEL 1) 1" = 30'-0" 3



DEDUCTIONS - LEVEL 10

NO.	TYPE	DEDUCTS (SF)
1	E	171.03
2	E	14.63
3	E	11.90
4	E	11.90
5	E	105.41
6	E	43.29
7	E	3983.03
8	E	5648.23
9	E	273.25
10	E	3.81
11	E	54.48
12	E	114.42
13	E	1577.31
14	E	1418.10
15	E	116.53
16	E	1287.25
17	E	156.79
18	E	106.27
19	E	9467.70

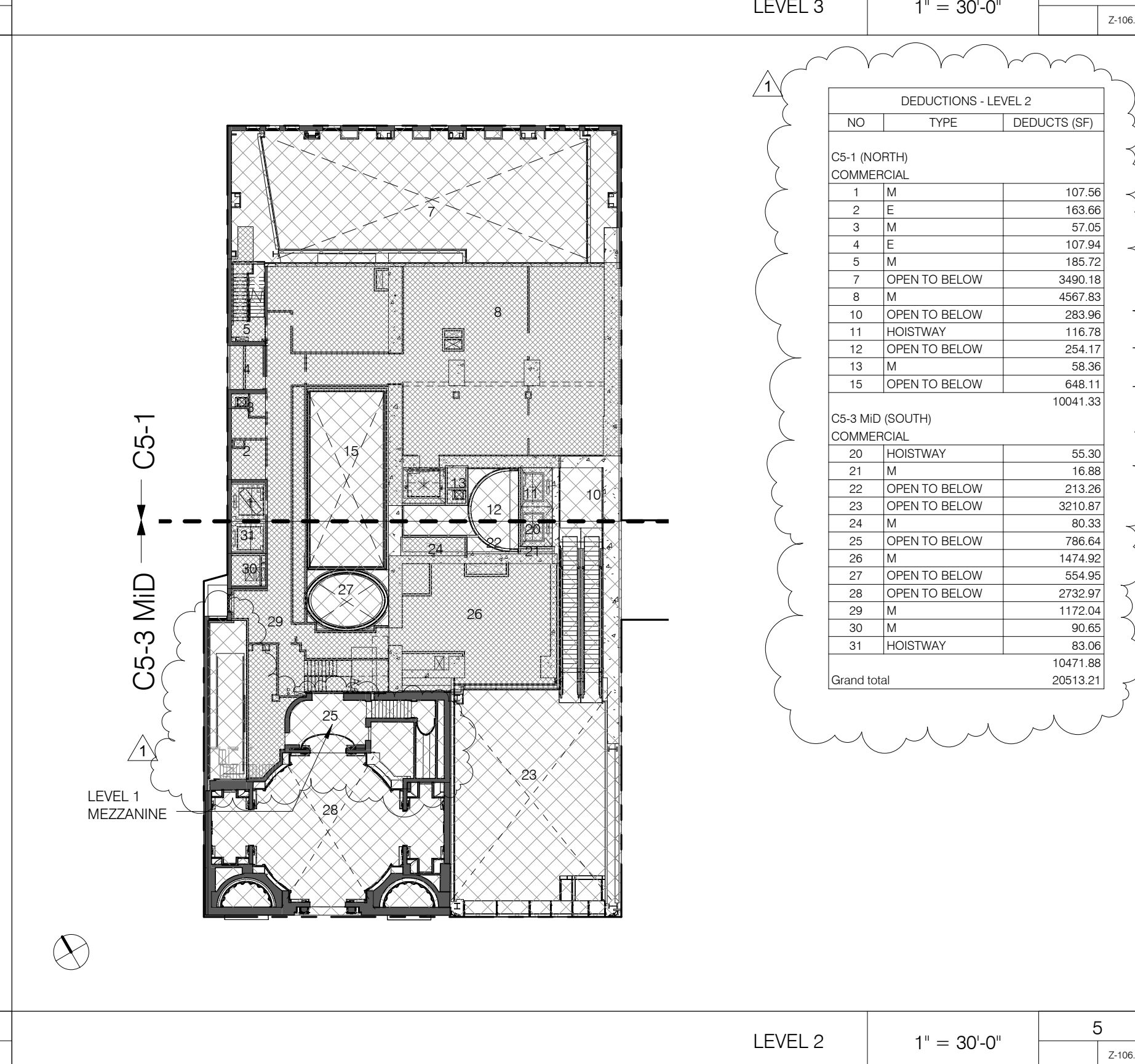
LEVEL 10 1" = 30'-0" 14



DEDUCTIONS - LEVEL 7

NO.	TYPE	DEDUCTS (SF)
1	E	3383.21
2	E	152.20
3	E	113.84
4	E	165.41
5	E	43.29
6	E	3983.03
7	E	5648.23
8	E	273.25
9	E	3.81
10	E	54.48
11	E	114.42
12	E	1577.31
13	E	1418.10
14	E	116.53
15	E	1287.25
16	E	156.79
17	E	106.27
18	E	9467.70

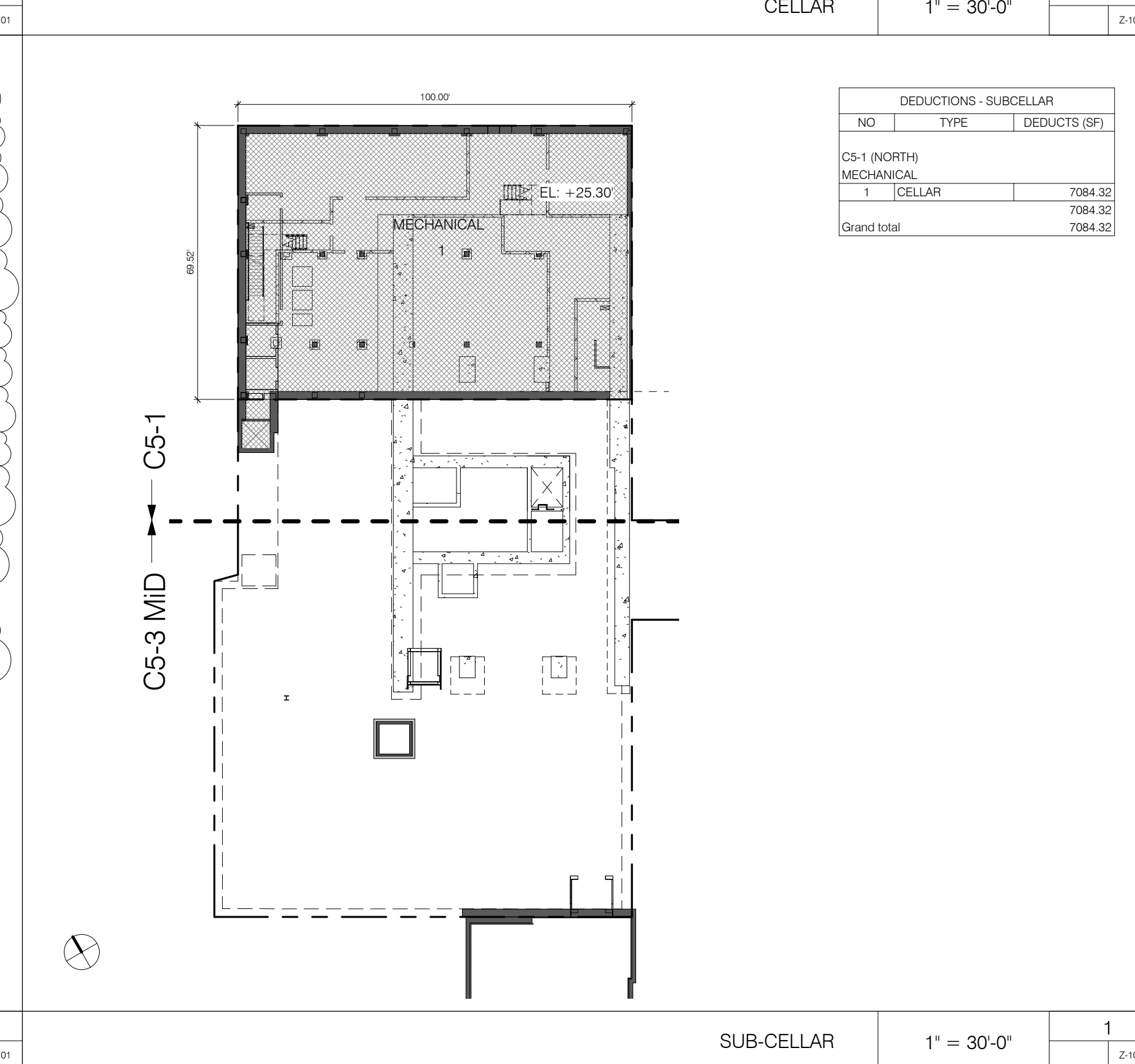
LEVEL 7 1" = 30'-0" 10



DEDUCTIONS - LEVEL 2

NO.	TYPE	DEDUCTS (SF)
1	E	107.56
2	E	181.96
3	E	57.05
4	E	107.94
5	E	182.71
6	E	3480.18
7	E	4267.83
8	E	90.85
9	E	5497.07
10	E	983.96
11	E	114.92
12	E	254.17
13	E	58.56
14	E	648.11
15	E	10041.58

LEVEL 3 1" = 30'-0" 6



DEDUCTIONS - SUBCELLAR

NO.	TYPE	DEDUCTS (SF)
1	E	798.32
2	E	798.32
3	E	57.05
4	E	107.94
5	E	182.71
6	E	3480.18
7	E	4267.83
8	E	90.85
9	E	5497.07
10	E	983.96
11	E	114.92
12	E	254.17
13	E	58.56
14	E	648.11
15	E	10041.58

CELLAR 1" = 30'-0" 2



DEDUCTIONS - LEVEL 9

NO.	TYPE	DEDUCTS (SF)
1	E	171.03
2	E	14.63
3	E	11.90
4	E	11.90
5	E	105.41
6	E	43.29
7	E	3983.03
8	E	5648.23
9	E	273.25
10	E	3.81
11	E	54.48
12	E	114.42
13	E	1577.31
14	E	1418.10
15	E	116.53
16	E	1287.25
17	E	156.79
18	E	106.27
19	E	9467.70

LEVEL 9 1" = 30'-0" 13



DEDUCTIONS - LEVEL 6

NO.	TYPE	DEDUCTS (SF)
1	E	3383.21
2	E	152.20
3	E	113.84
4	E	165.41
5	E	43.29
6	E	3983.03
7	E	5648.23
8	E	273.25
9	E	3.81
10	E	54.48
11	E	114.42

DEDUCTIONS - LEVEL 54  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 458.64.

DEDUCTIONS - LEVEL 35  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 4482.12.

DEDUCTIONS - LEVEL 18  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 5162.15.

DEDUCTIONS - LEVEL 17  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 5022.53.

DEDUCTIONS - LEVEL 14  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and open below items. Grand total: 7884.86.

DEDUCTIONS - LEVEL 46  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and roof items. Grand total: 4482.55.

DEDUCTIONS - LEVEL 34  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 4482.12.

DEDUCTIONS - LEVEL 17.0  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 4482.12.

DEDUCTIONS - LEVEL 14  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and open below items. Grand total: 7884.86.

DEDUCTIONS - LEVEL 13  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and open below items. Grand total: 8154.87.

DEDUCTIONS - LEVEL 45  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and roof items. Grand total: 4482.55.

DEDUCTIONS - LEVEL 29  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 581.73.

DEDUCTIONS - LEVEL 16.0  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 4482.12.

DEDUCTIONS - LEVEL 13  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and open below items. Grand total: 8154.87.

DEDUCTIONS - LEVEL 12  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and open below items. Grand total: 7158.90.

DEDUCTIONS - LEVEL 36  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 488.74.

DEDUCTIONS - LEVEL 24  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 460.25.

DEDUCTIONS - LEVEL 15  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential and mechanical items. Grand total: 1428.95.

DEDUCTIONS - LEVEL 12  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and open below items. Grand total: 7158.90.

DEDUCTIONS - LEVEL 12  
Table with columns: NO, TYPE, DEDUCTS (SF). Includes residential, mechanical, and open below items. Grand total: 7158.90.

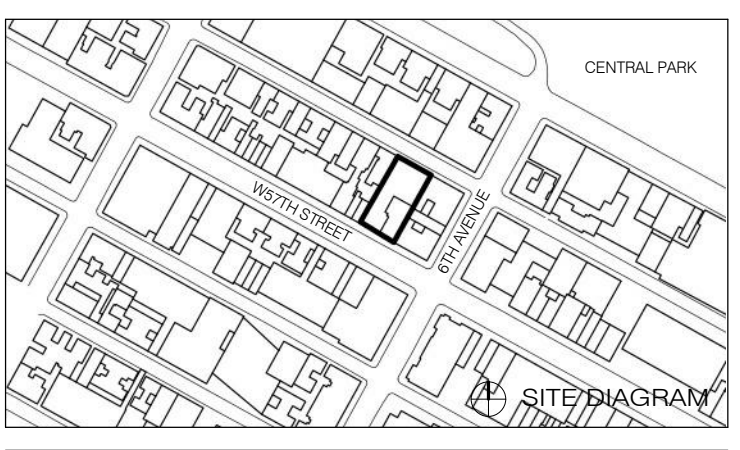
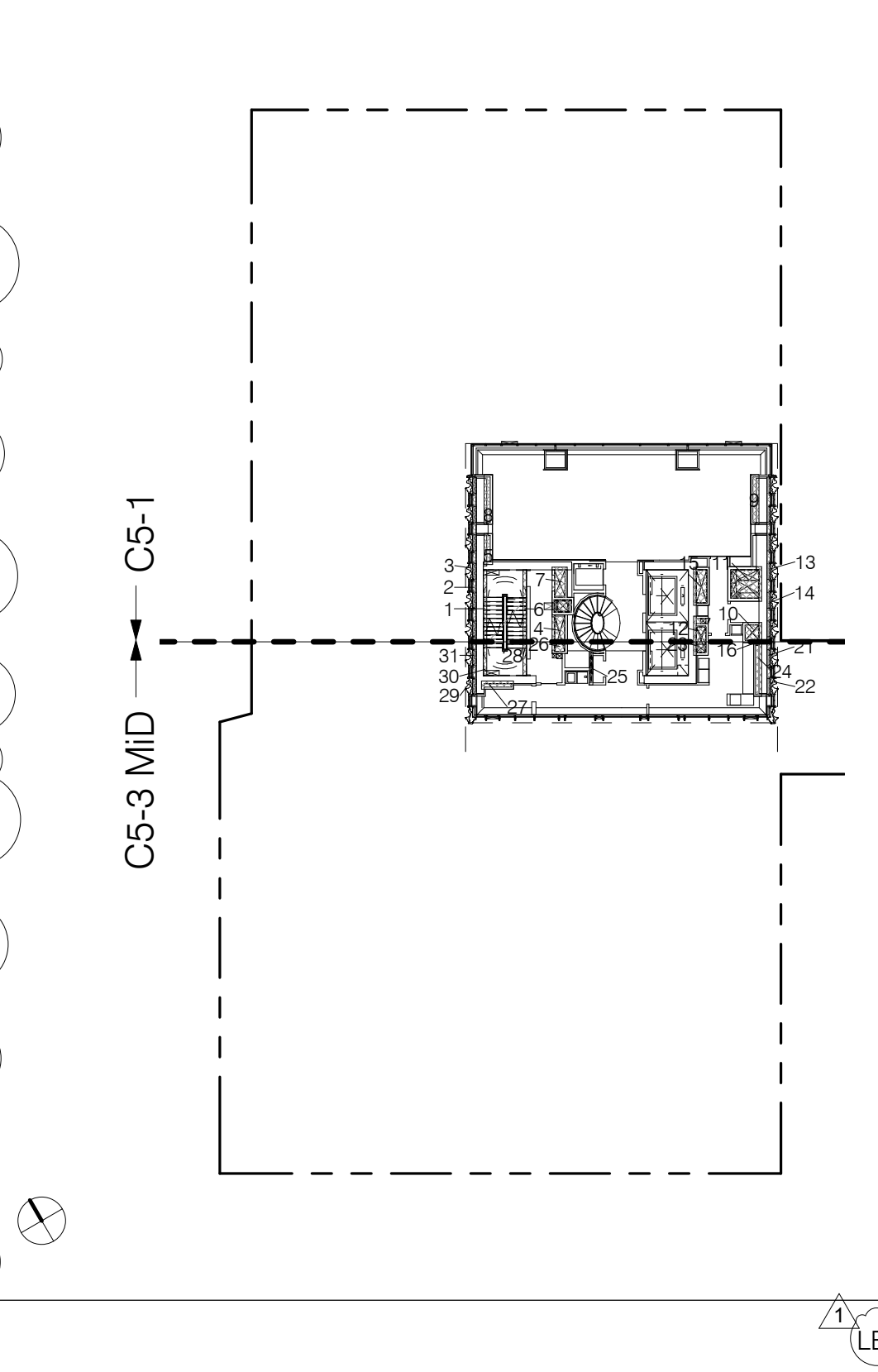


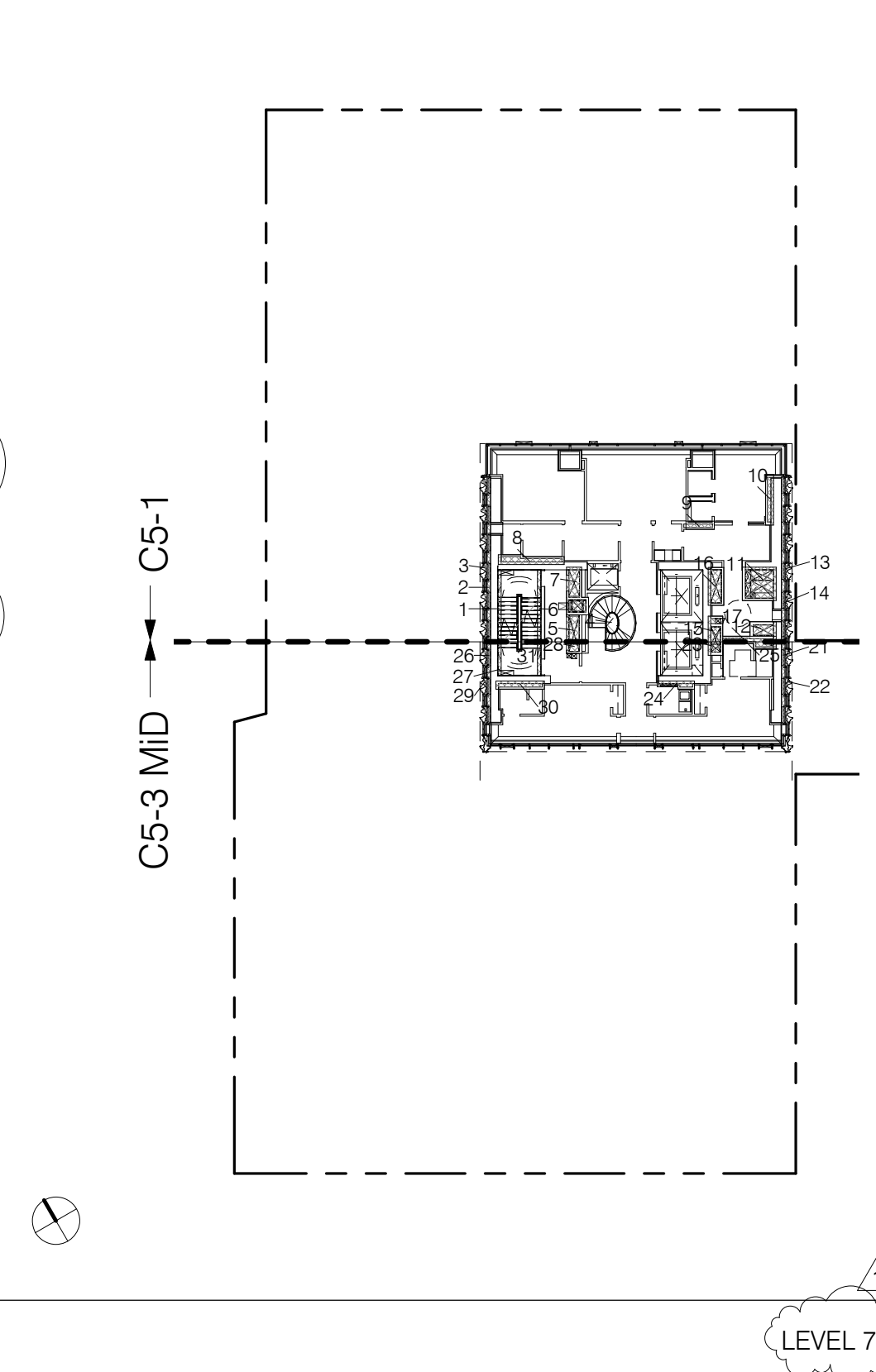
Table with 3 columns: NO., DATE, REVISION. Row 1: 1, 3/27/15, DOB PAA. Row 2: 5, 1/14, DOB PLUNG SET.

DEDUCTIONS

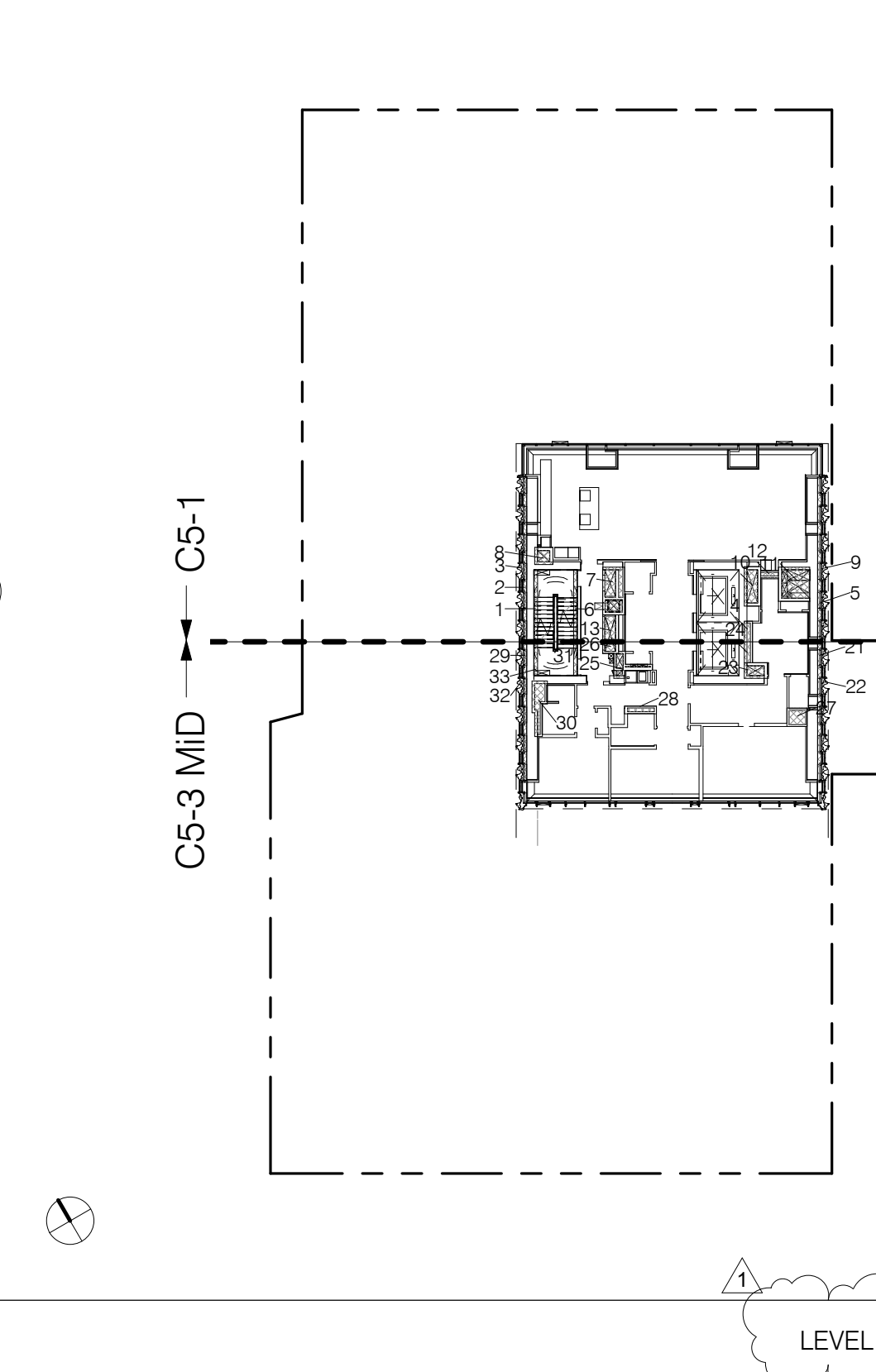
DEDUCTIONS - LEVEL 80  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Includes floor area deduction for 50% open roof and open windbreak/mechanical. Grand total: 2659.03.



DEDUCTIONS - LEVEL 76  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 291.41.



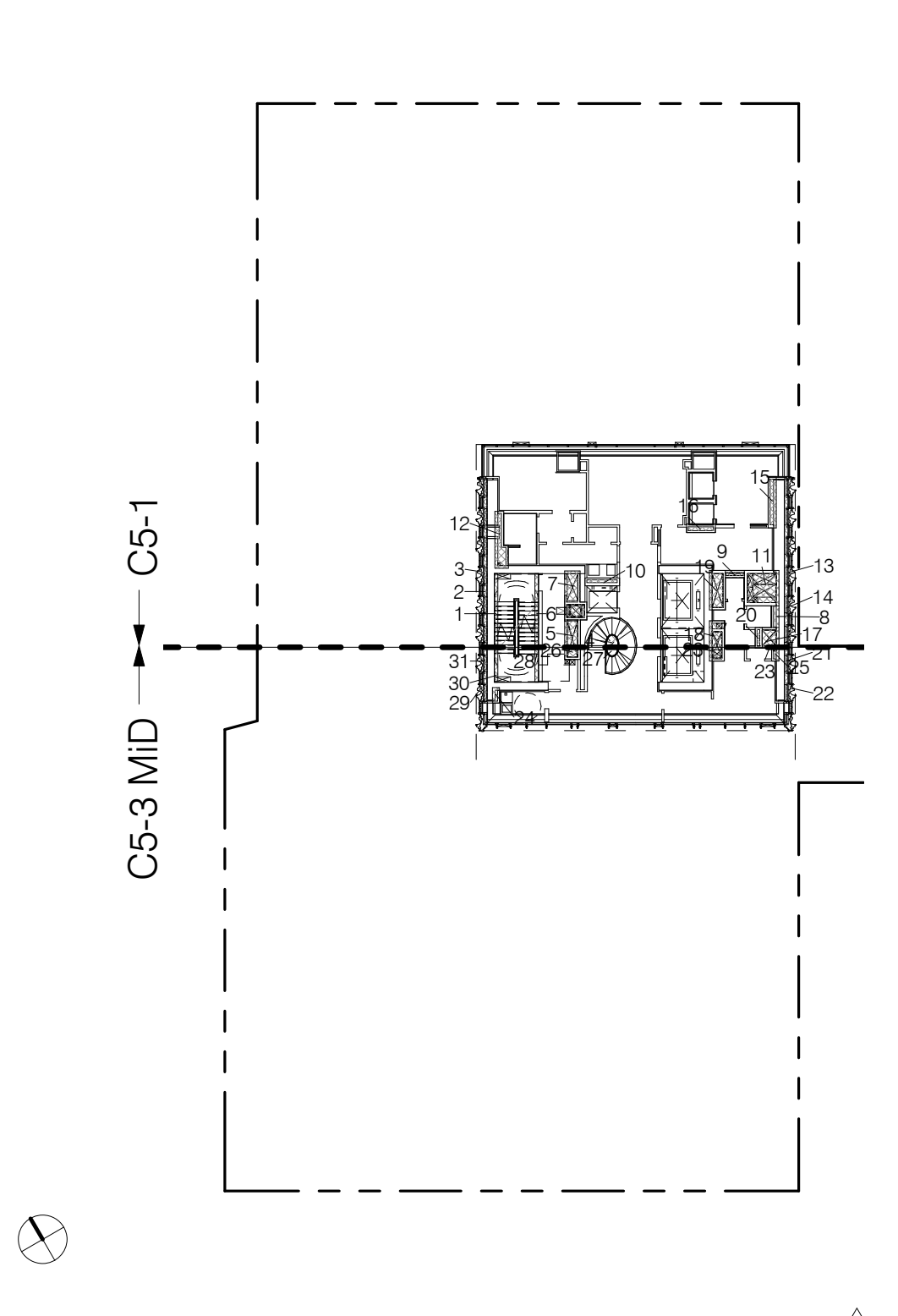
DEDUCTIONS - LEVEL 71  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 864.74.



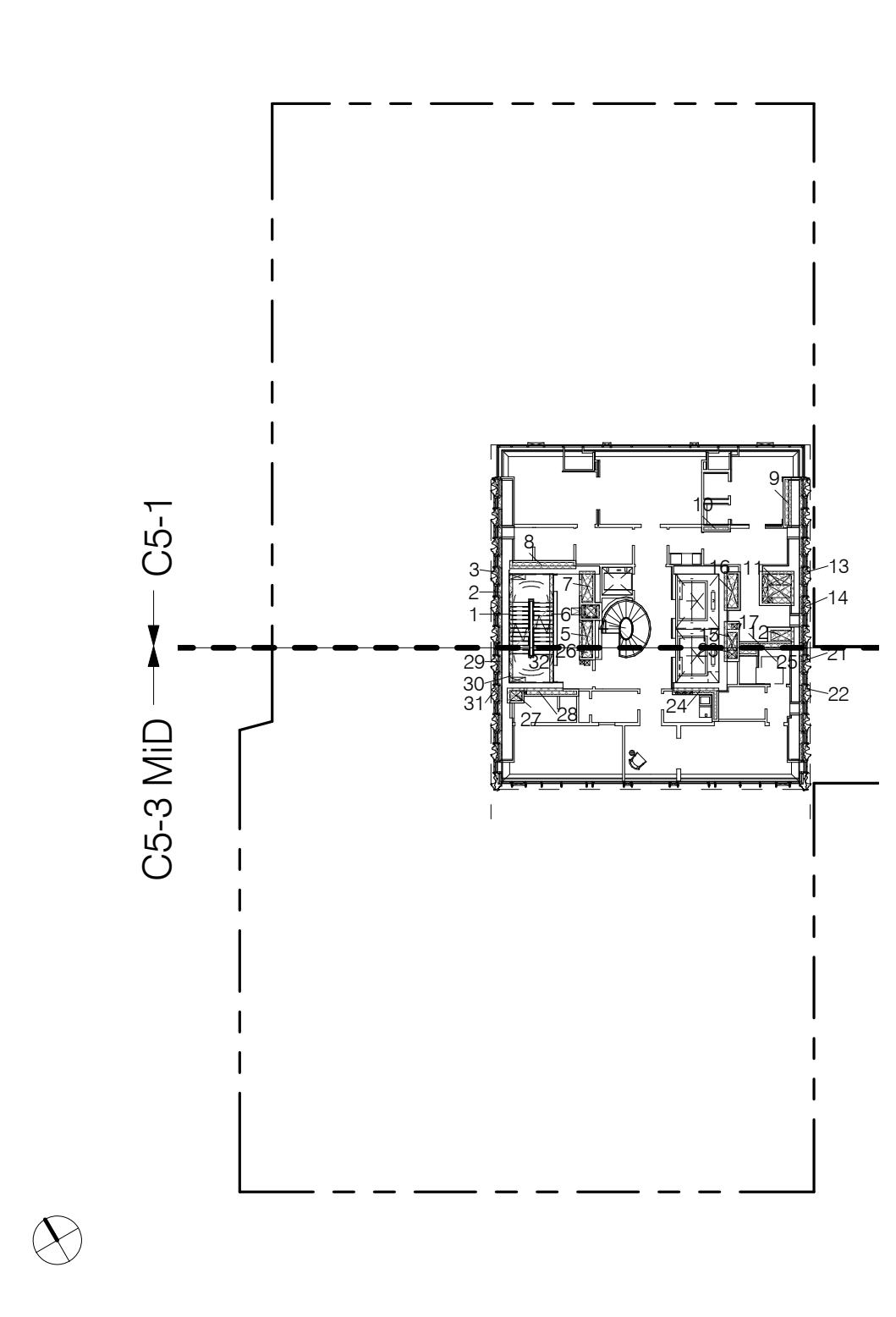
DEDUCTIONS - LEVEL 59  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 372.47.

KEY  
ZONING FLOOR AREA  
FLOOR AREA DEDUCTION  
OPEN TO BELOW  
NOTE: FOR GROSS FLOOR AREA SEE PROPOSED BUILDING FLOOR AREAS SCHEDULE ON Z-100.00

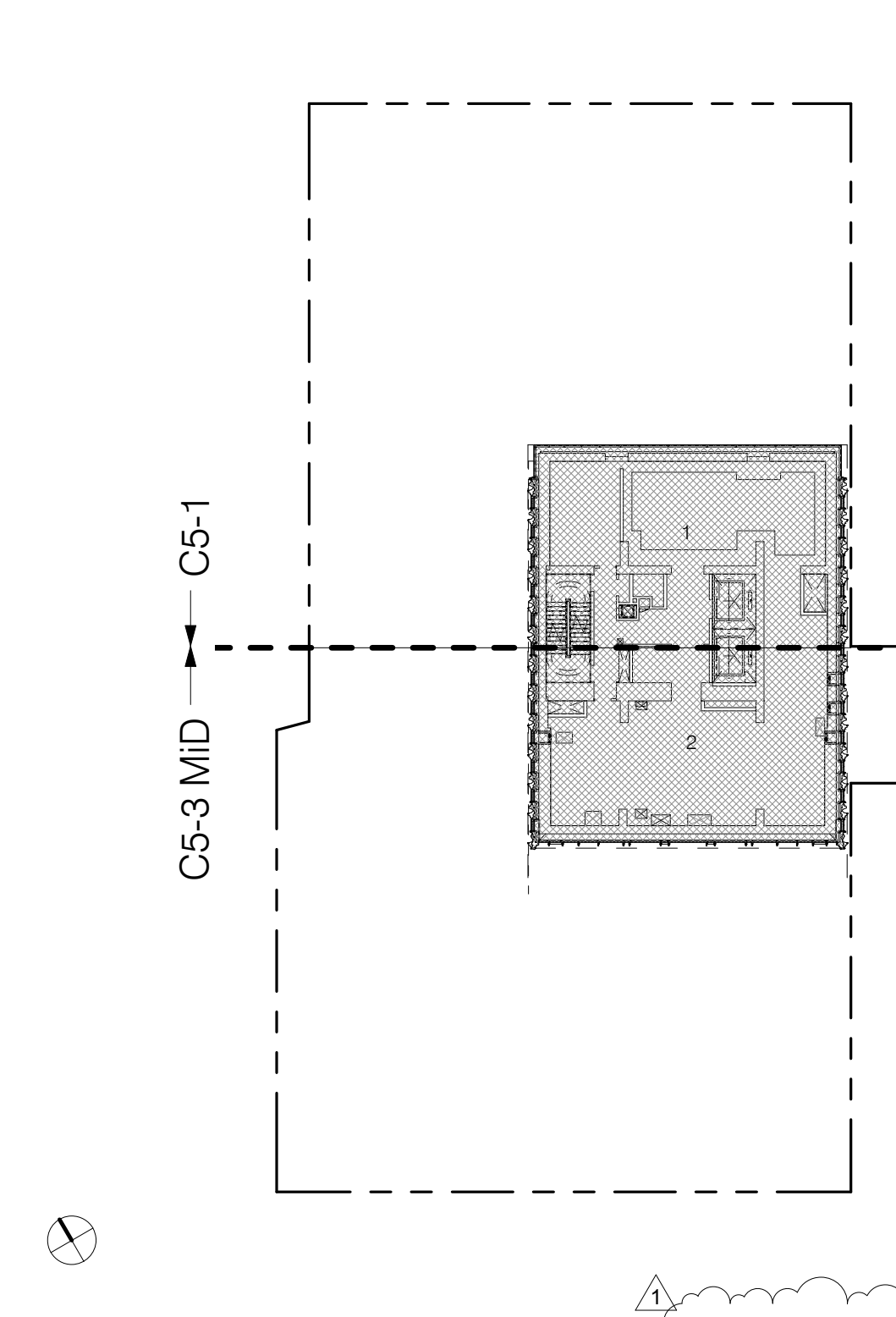
DEDUCTIONS - LEVEL 79  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 2659.03.



DEDUCTIONS - LEVEL 75  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 54.06.



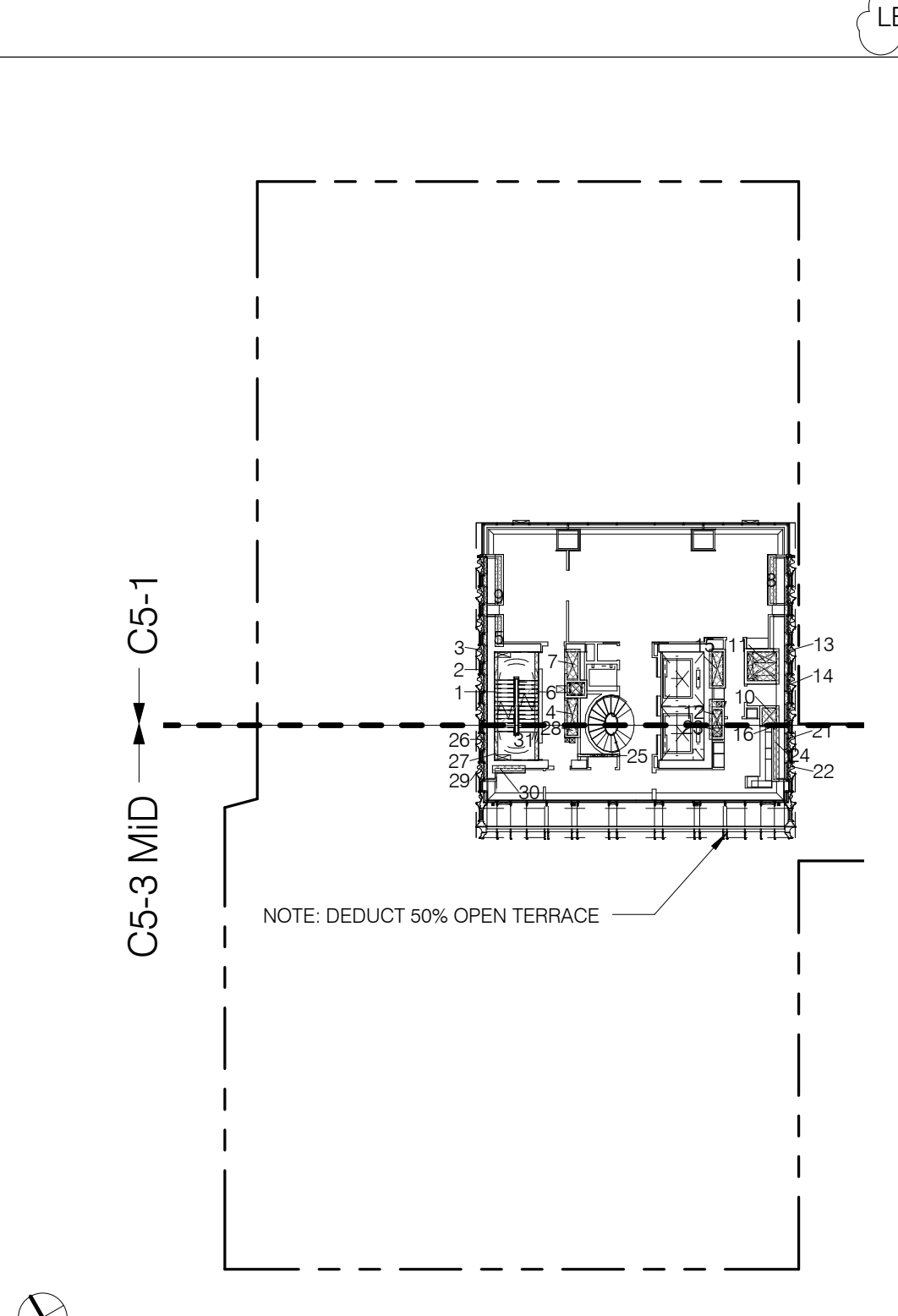
DEDUCTIONS - LEVEL 67  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 889.19.



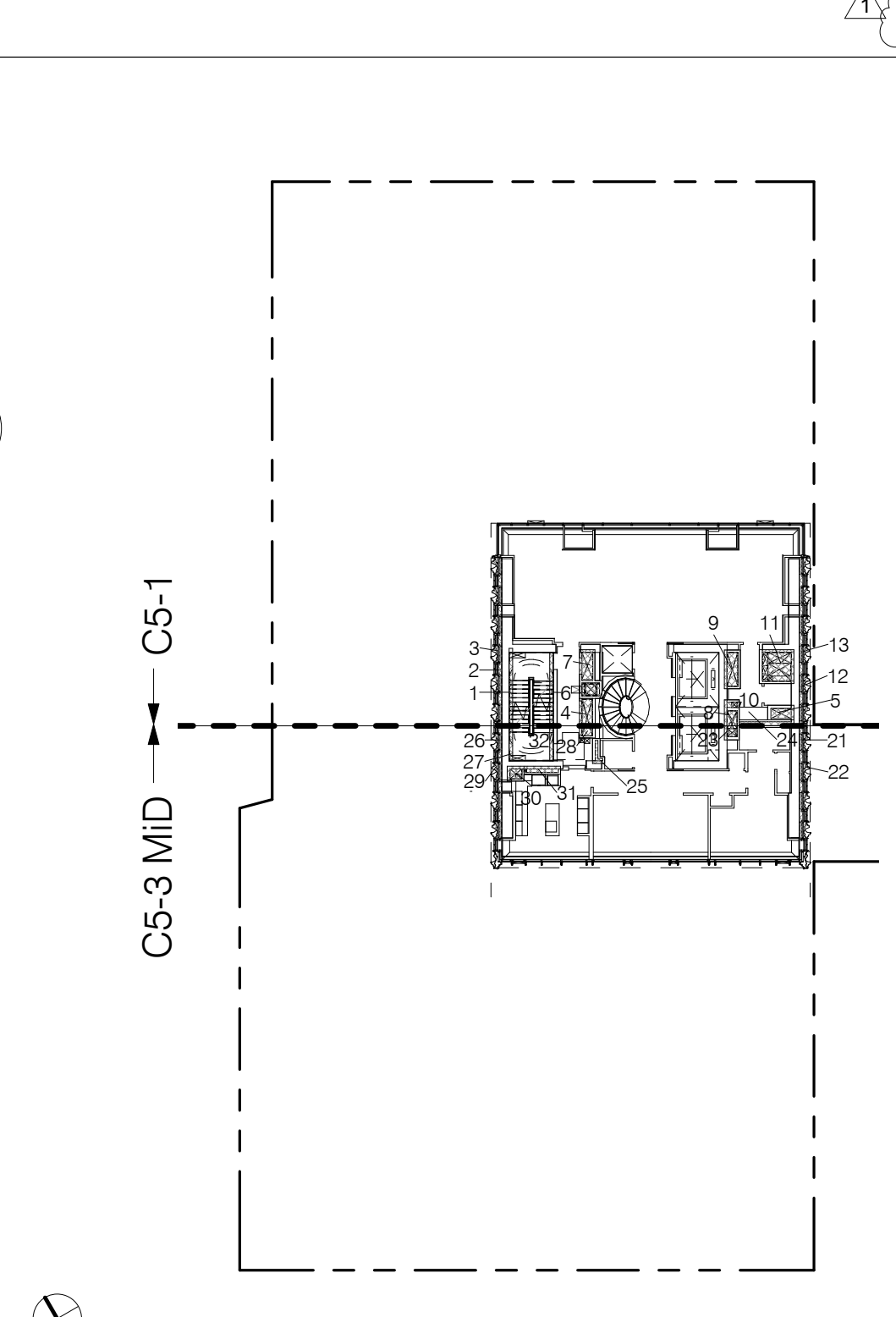
DEDUCTIONS - LEVEL 57  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 4183.16.

DEDUCTIONS - LEVEL 57 (TYPICAL)  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 4183.16.

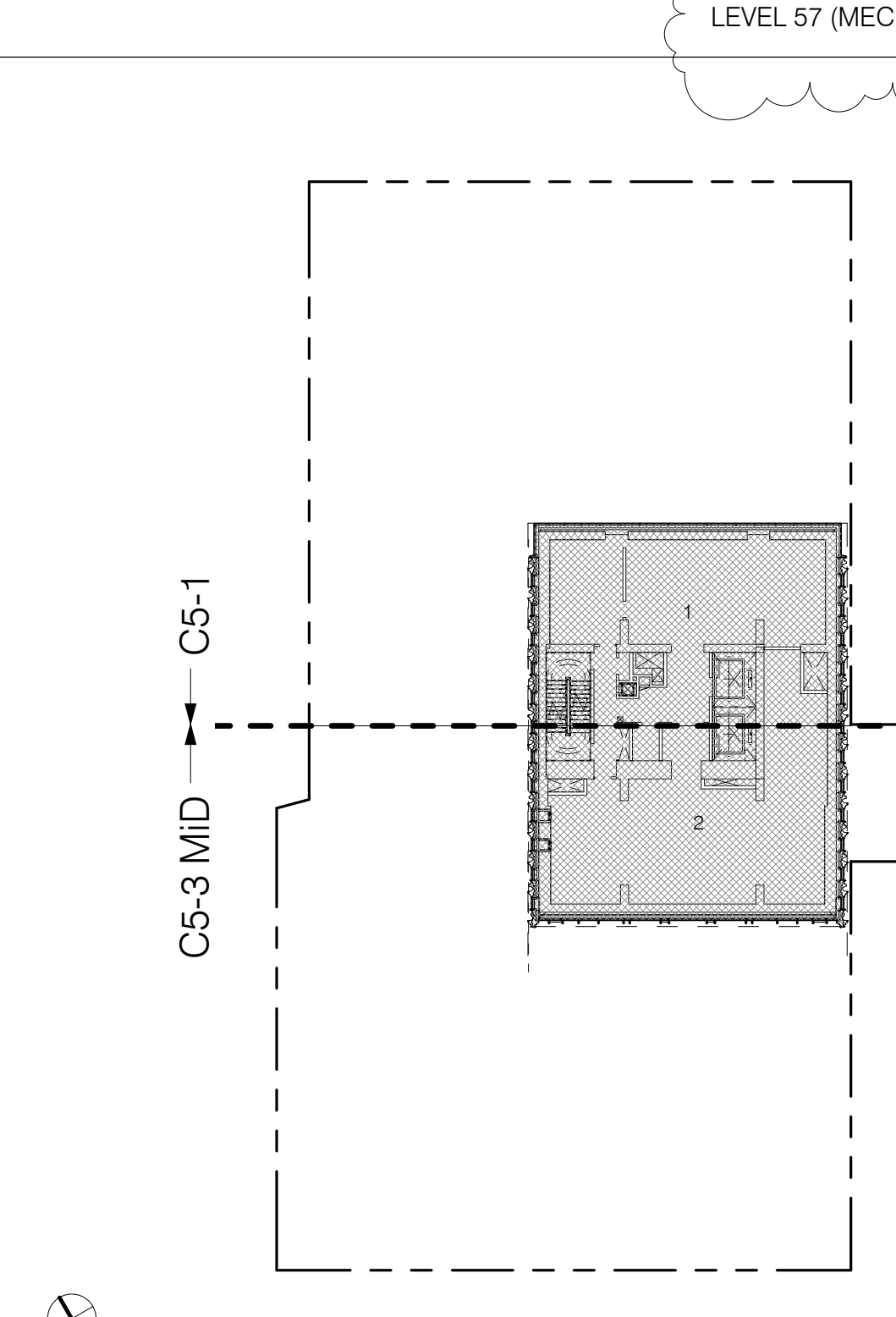
DEDUCTIONS - LEVEL 78  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 2659.03.



DEDUCTIONS - LEVEL 74  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 507.25.



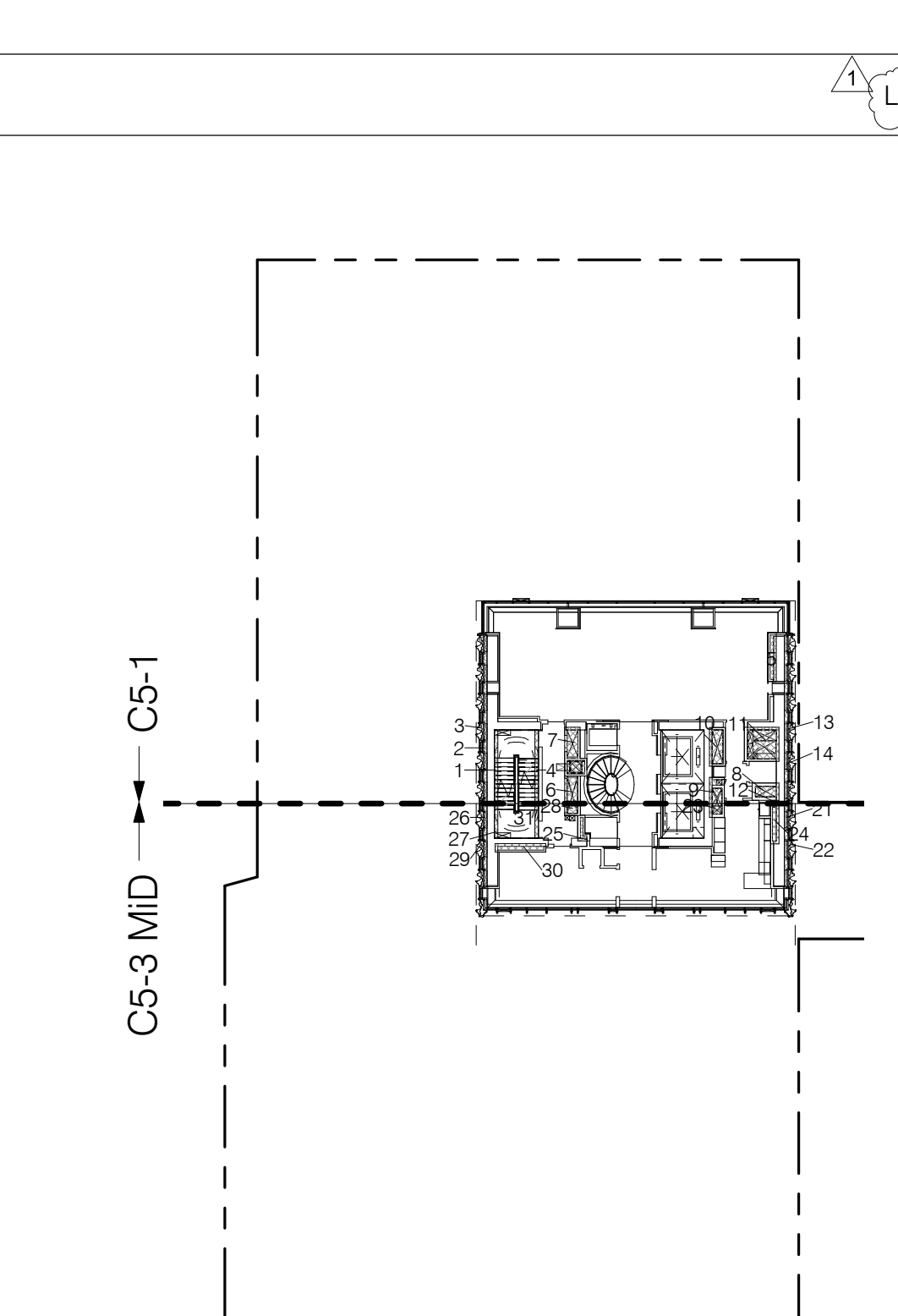
DEDUCTIONS - LEVEL 68  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 284.87.



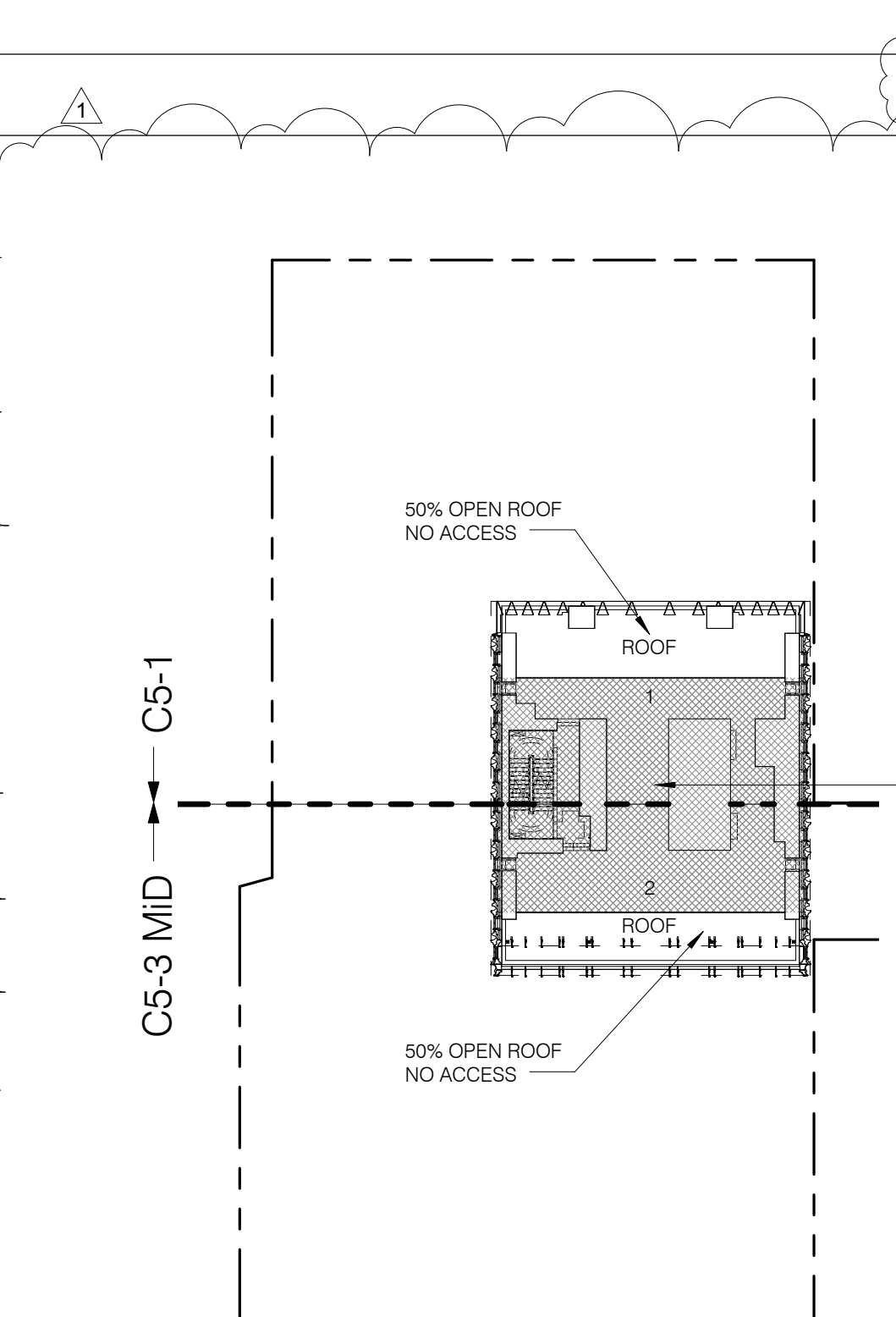
DEDUCTIONS - LEVEL 58  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 4183.16.

DEDUCTIONS - LEVEL 58 (TYPICAL)  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 4183.16.

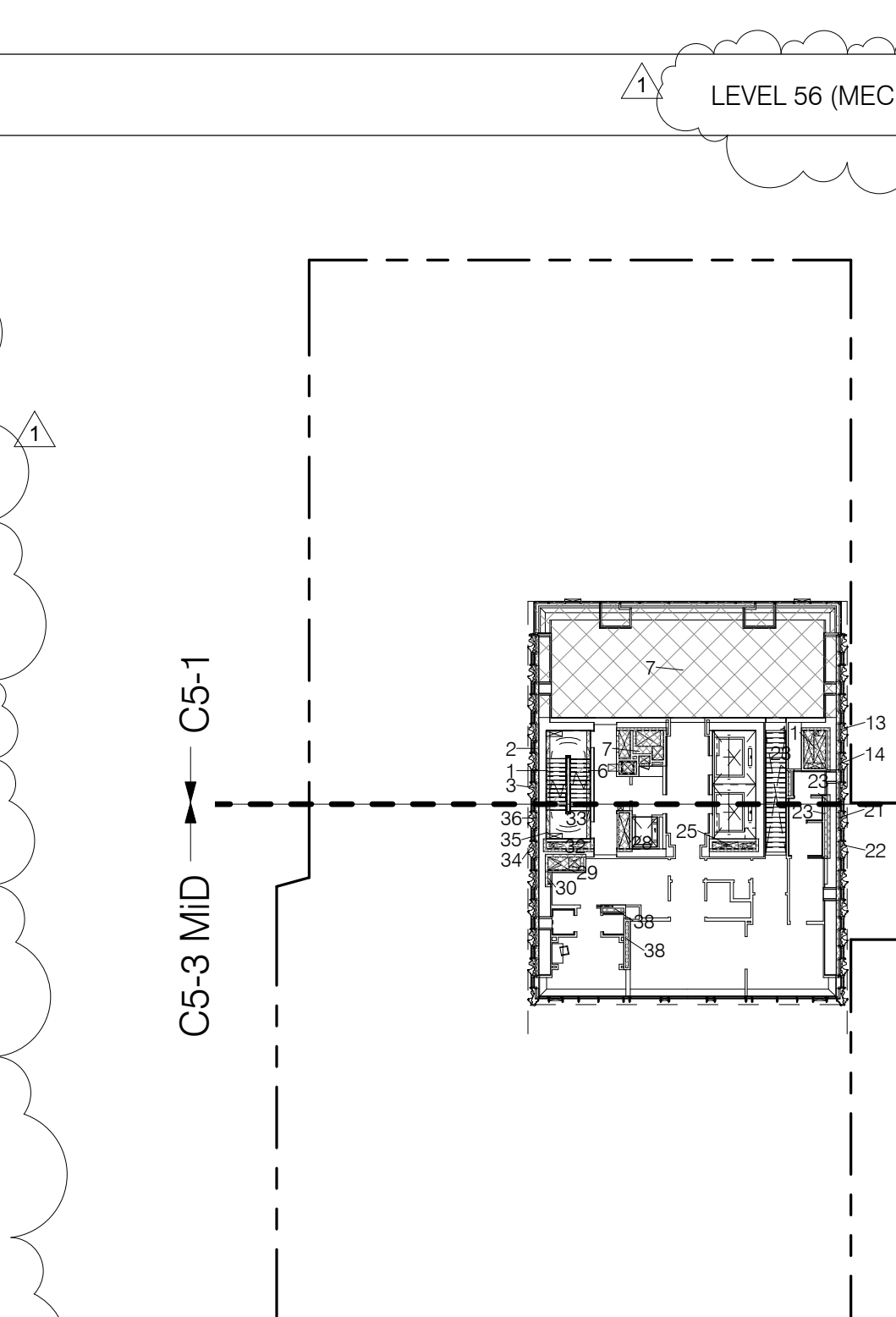
DEDUCTIONS - LEVEL 77  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 623.83.



DEDUCTIONS - LEVEL 72  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 324.27.



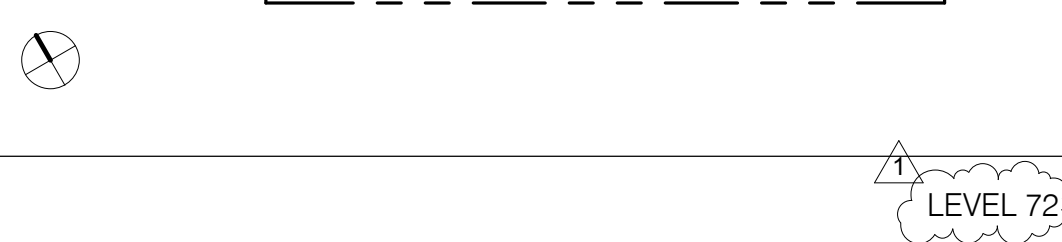
DEDUCTIONS - LEVEL 65  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 384.15.



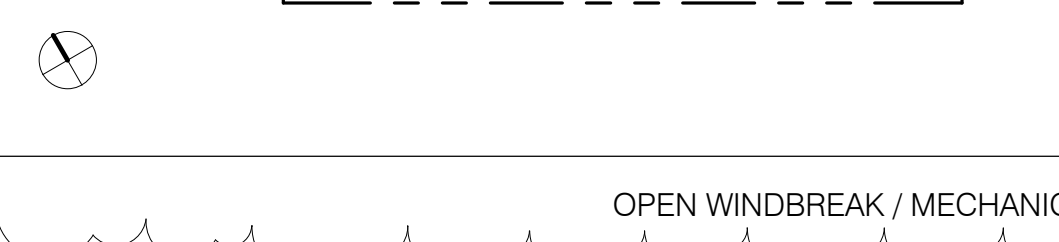
DEDUCTIONS - LEVEL 55  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 1602.48.

DEDUCTIONS - LEVEL 55 (T2B.2)  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 1602.48.

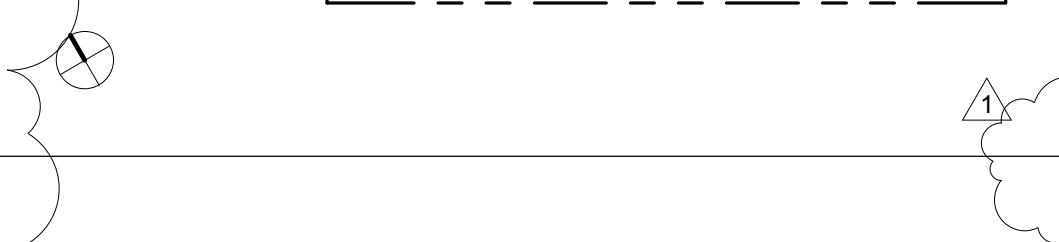
DEDUCTIONS - LEVEL 77 - T6B.2  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 623.83.



DEDUCTIONS - LEVEL 72 (T5.1 TYPICAL)  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 324.27.



DEDUCTIONS - LEVEL 65  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 384.15.



DEDUCTIONS - LEVEL 55 (T2B.2)  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 1602.48.

DEDUCTIONS - LEVEL 55 (T2B.2)  
Table with 3 columns: NO., TYPE, DEDUCTS (SF). Grand total: 1602.48.



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

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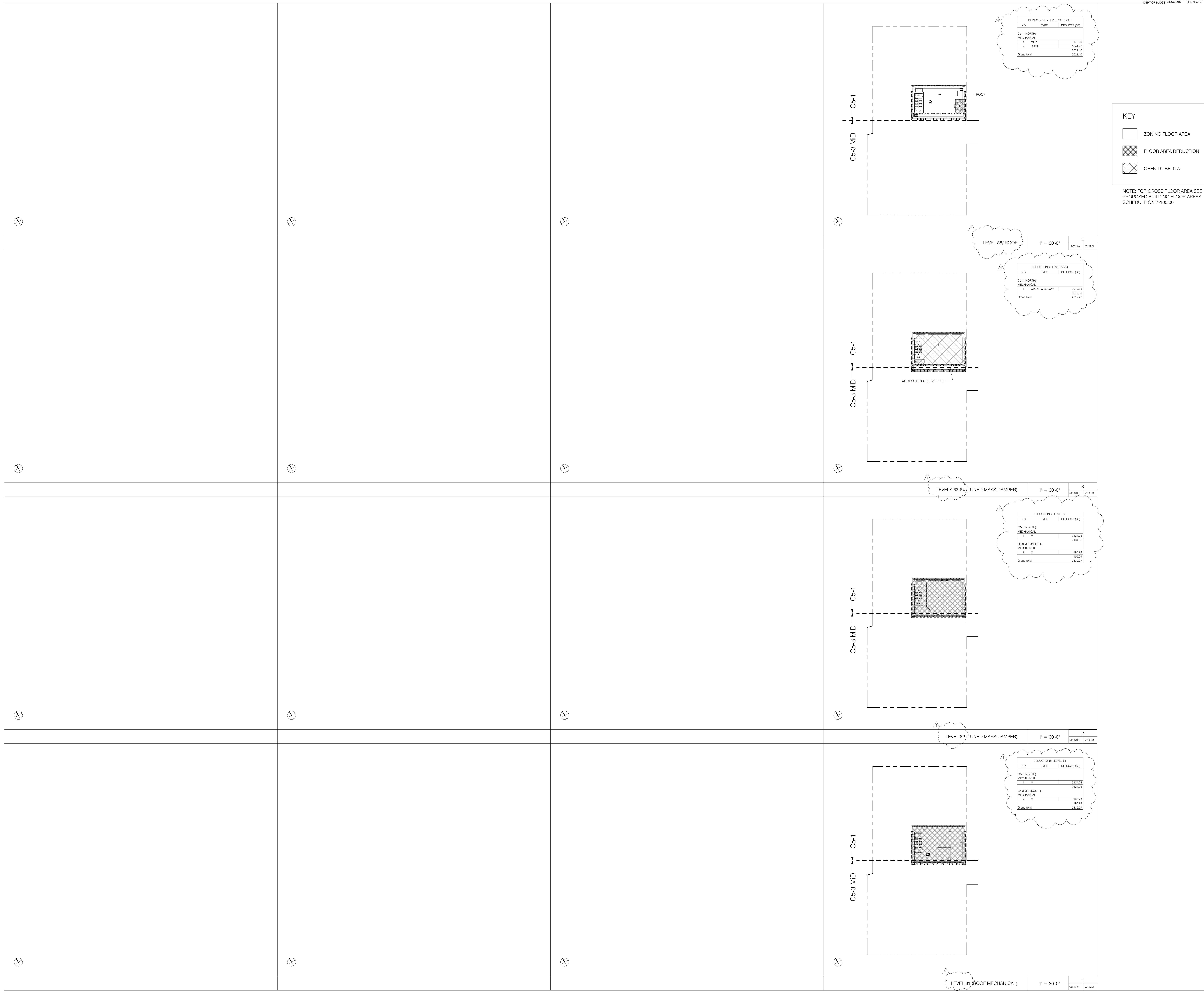
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DRAWING TITLE

**DEDUCTIONS**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SHAP	
CHECKED BY	DLG	
DOB NO.	121332968	
DRAWING NUMBER		

**Z-109.01**



DEDUCTIONS - LEVEL 86 (ROOF)

NO.	TYPE	DEDUCTS (SQ)
05-1 (NORTH)	MECHANICAL	179.90
2	ROOF	184.90
		2021.10
Grand Total		2021.10

LEVEL 85 / ROOF

NO.	TYPE	DEDUCTS (SQ)
05-1 (NORTH)	MECHANICAL	2019.23
1	OPEN TO BELOW	2019.23
Grand Total		2019.23

DEDUCTIONS - LEVEL 84

NO.	TYPE	DEDUCTS (SQ)
05-1 (NORTH)	MECHANICAL	2134.08
1	OPEN TO BELOW	2134.08
Grand Total		2134.08

DEDUCTIONS - LEVEL 82

NO.	TYPE	DEDUCTS (SQ)
05-1 (NORTH)	MECHANICAL	2134.08
1	ME	2134.08
05-3 MID (SOUTH)	MECHANICAL	195.99
2	ME	195.99
Grand Total		2330.07

DEDUCTIONS - LEVEL 81

NO.	TYPE	DEDUCTS (SQ)
05-1 (NORTH)	MECHANICAL	2134.08
1	ME	2134.08
05-3 MID (SOUTH)	MECHANICAL	195.99
2	ME	195.99
Grand Total		2330.07

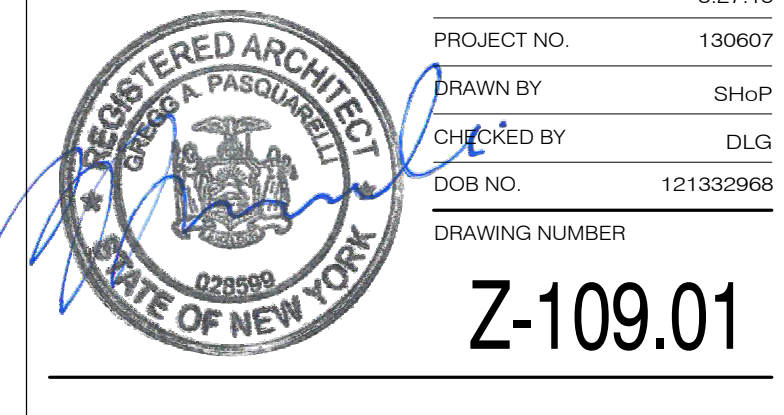
LEVEL 81 (ROOF MECHANICAL)

NO.	TYPE	DEDUCTS (SQ)
05-1 (NORTH)	MECHANICAL	179.90
2	ROOF	184.90
Grand Total		2021.10

**KEY**

- ZONING FLOOR AREA
- FLOOR AREA DEDUCTION
- OPEN TO BELOW

NOTE: FOR GROSS FLOOR AREA SEE PROPOSED BUILDING FLOOR AREAS SCHEDULE ON Z-100.00





- ARCHITECT  
 SHP ARCHITECTS, P.C.  
 230 BROADWAY, 11TH FLOOR  
 NEW YORK, NY 10005  
 TEL: 212 669 9399
- STRUCTURAL ENGINEER  
 YSFP GROUP INCORPORATED  
 230 EAST 43RD STREET  
 NEW YORK, NY 10017  
 TEL: 212 697 2886
- MEP ENGINEER  
 JORDIS, BALM & BOLLER  
 80 WING STREET, 12TH FLOOR  
 NEW YORK, NY 10003  
 TEL: 212 693 6333
- CIVIL ENGINEER  
 ARIFF ENGINEERING, P.C.  
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- VERTICAL TRANSPORTATION  
 VAN DEUSEN & ASSOCIATES  
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 30 WEST 57TH STREET, 4TH FLOOR  
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 TEL: 212 238 4442
- GEOTECH  
 MICE  
 305 WEST 47TH STREET, 4TH FLOOR  
 NEW YORK, NY 10018  
 TEL: 917 238 4900
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 105 WALKER STREET, 7TH FLOOR EAST  
 NEW YORK, NY 10002  
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PROPERTY MARKETS GROUP  
 1345 FIFTH AVENUE, 2ND FLOOR  
 NEW YORK, NY 10019  
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CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION
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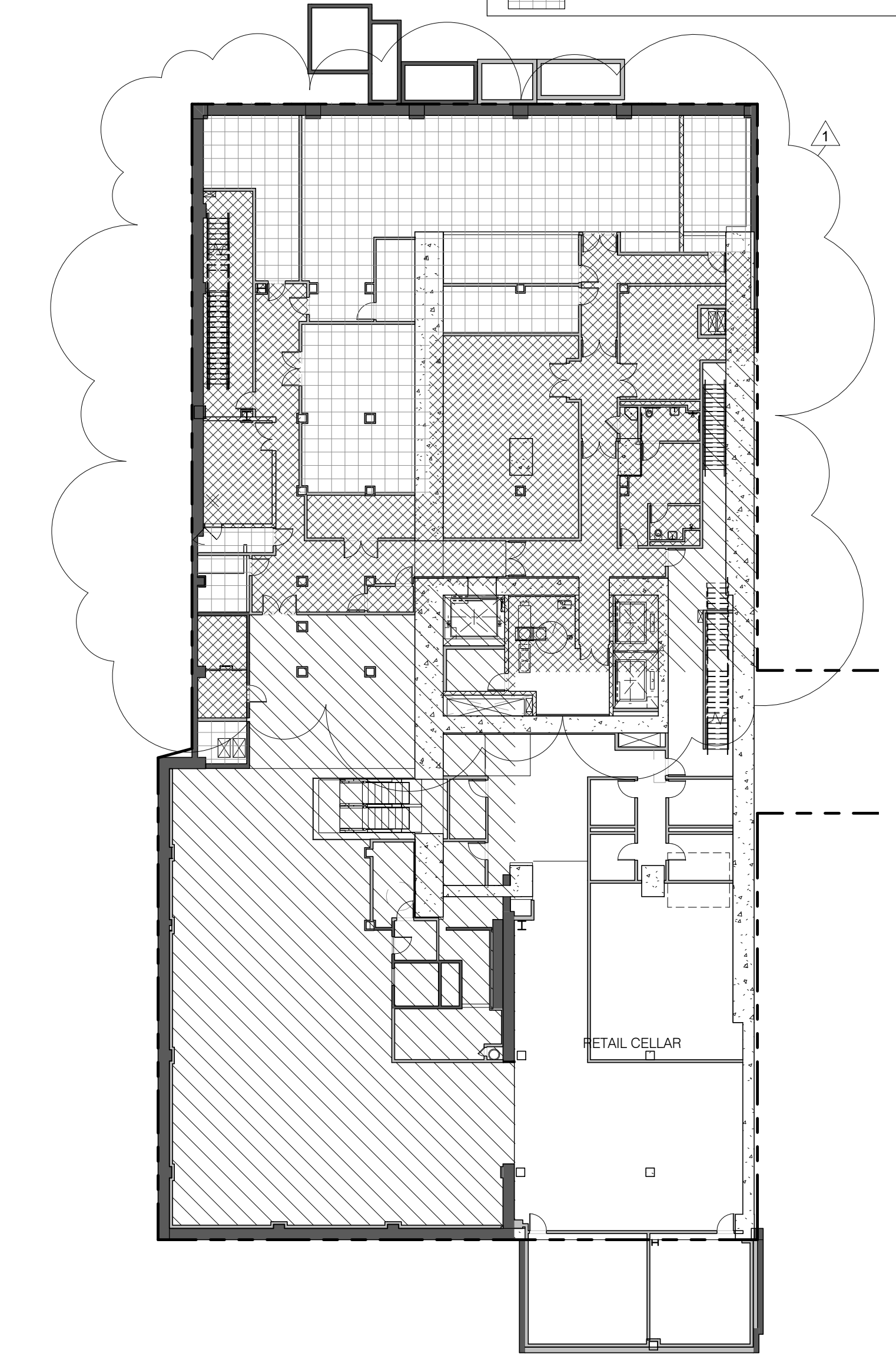
DRAWING TITLE  
**ART. 1 CH. 5 CALCULATIONS**

SEAL & SIGNATURE  
 DATE: 3.27.15

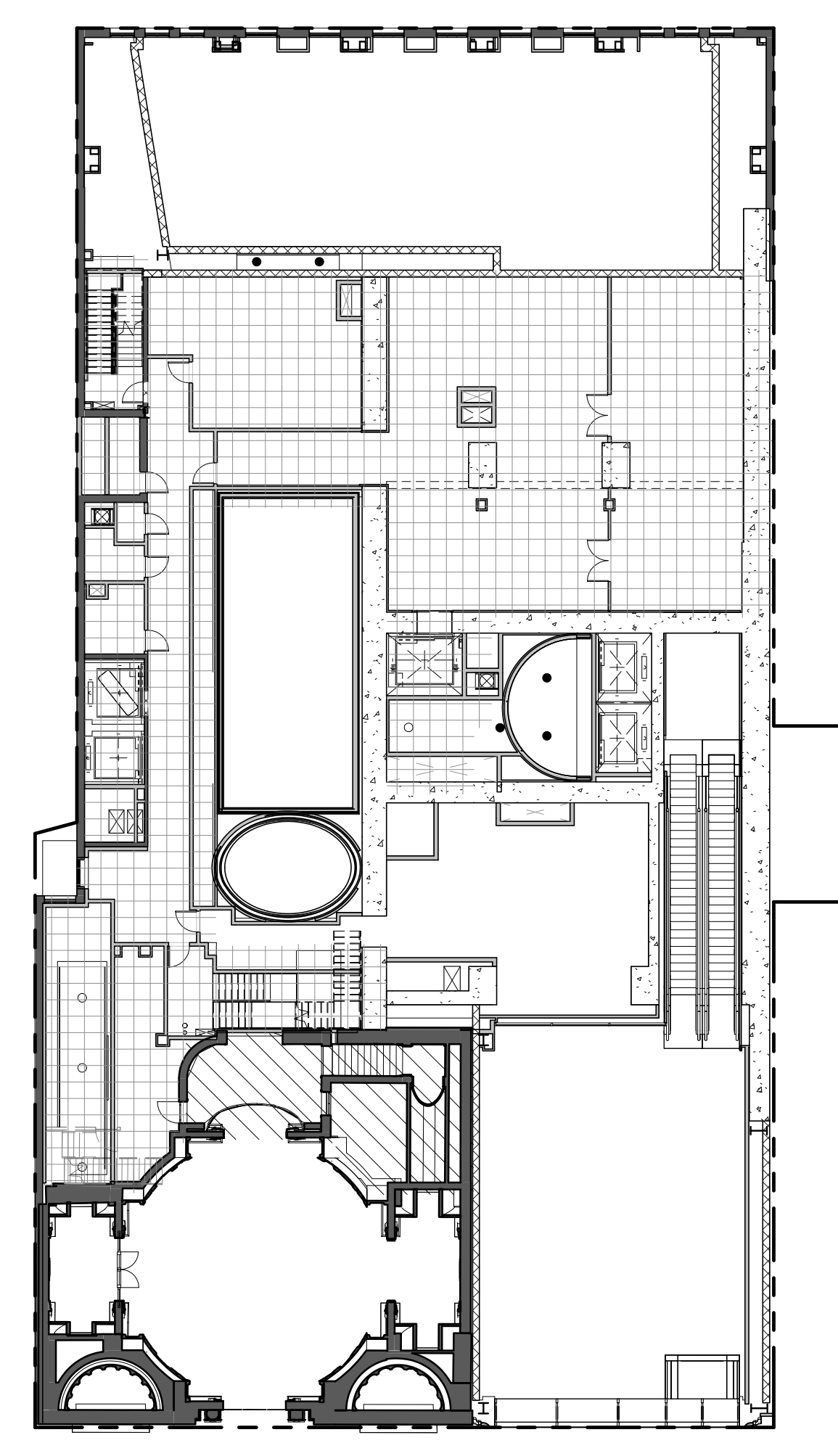
PROJECT NO.: 130907  
 DRAWN BY: SH-P  
 CHECKED BY: DLG  
 JOB NO.: 121332968  
 DRAWING NUMBER: **Z-110.01**

KEY

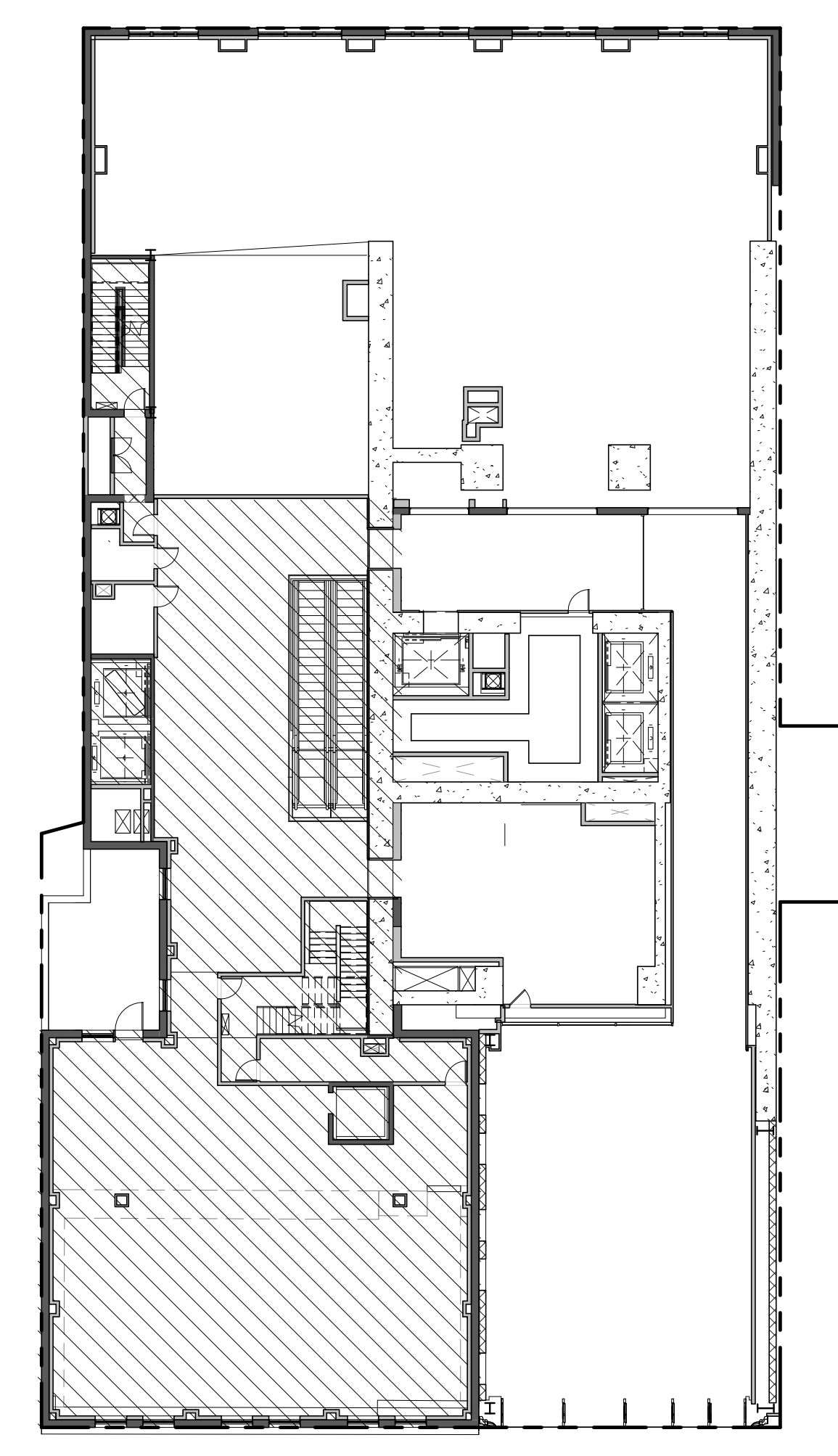
	EXISTING COMMERCIAL TO REMAIN
	PROPOSED CONVERTED RESIDENTIAL
	MECHANICAL



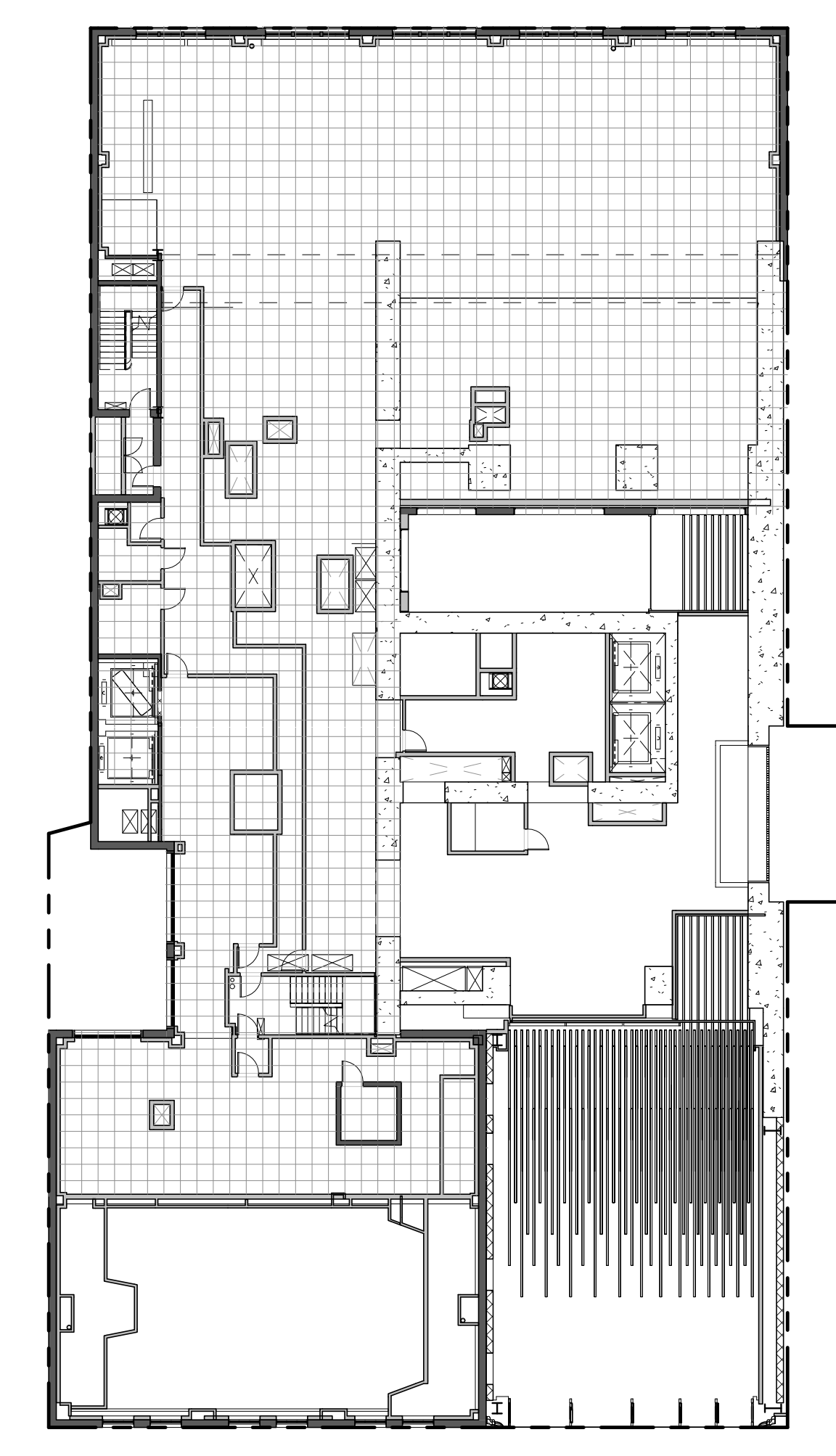
USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	7298 SF
PROPOSED CONVERTED RESIDENTIAL	4848 SF
Grand total	12146 SF



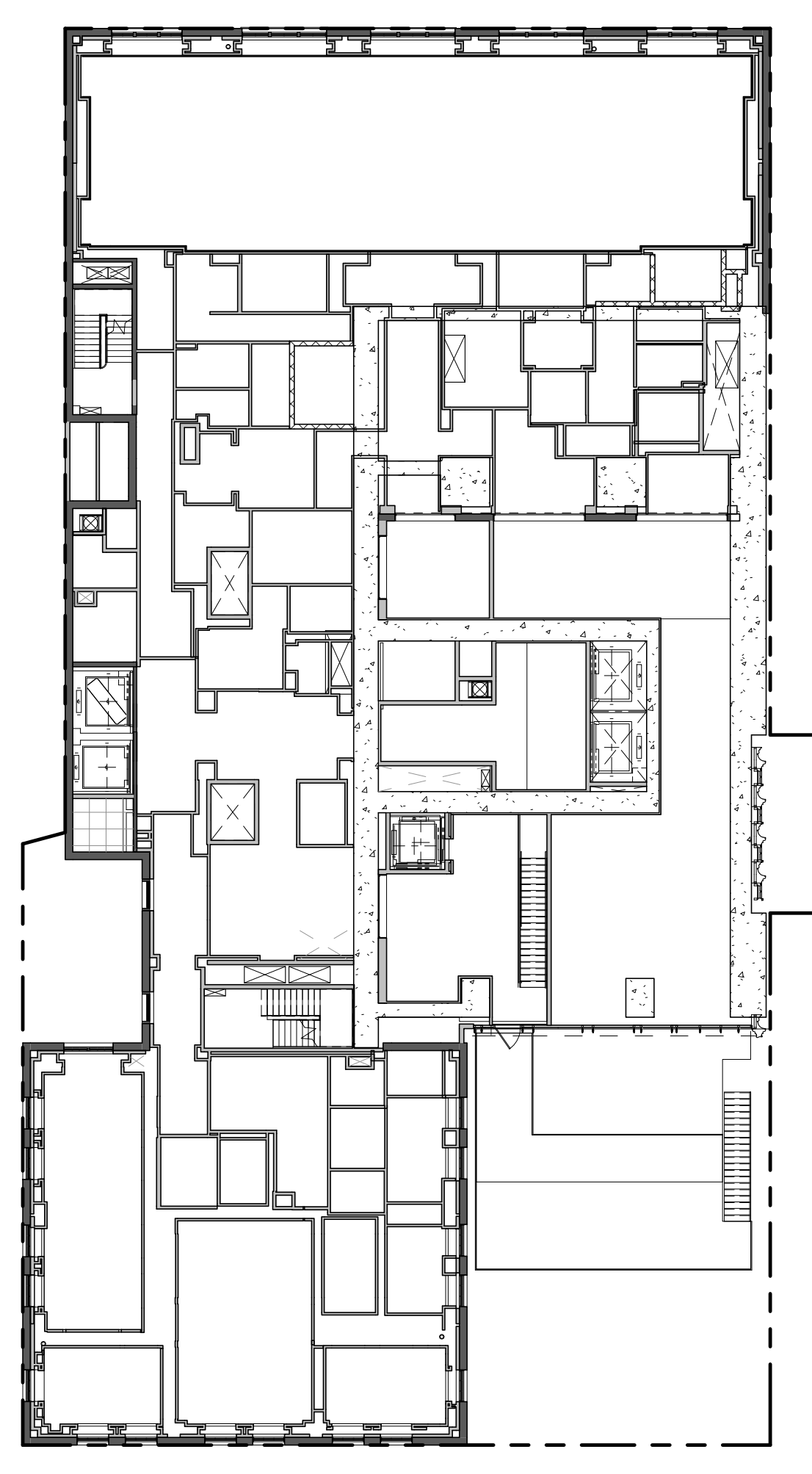
USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	775 SF
Grand total	775 SF



USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	6839 SF



NOTE: ALL MECHANICAL LEVEL



NOTE: ALL FLOORS REMOVED

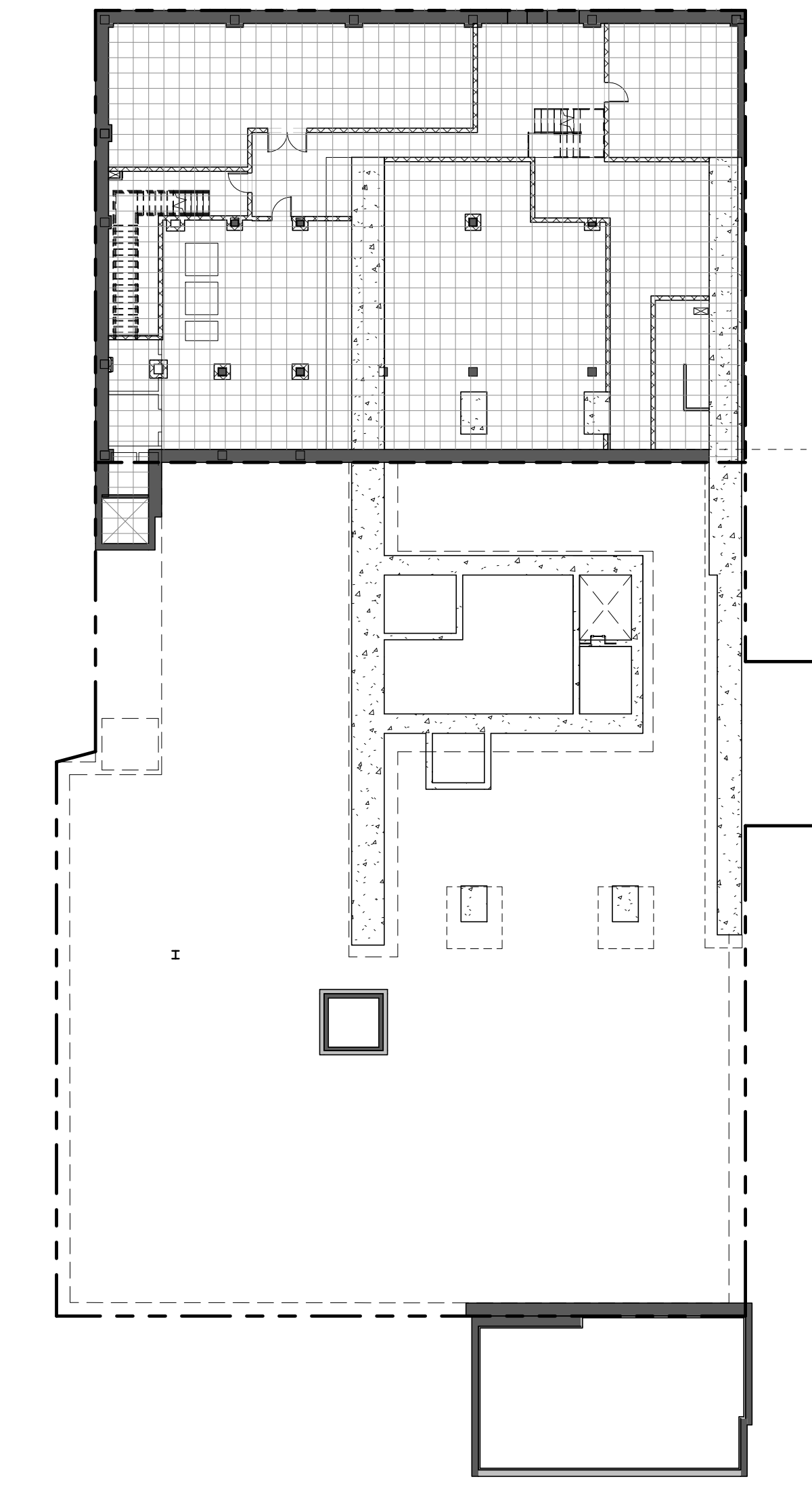
CELLAR - SLAB EDGE UNDERLAY 1" = 20'-0" 2/1600

LEVEL 2 1" = 20'-0" 4/2100

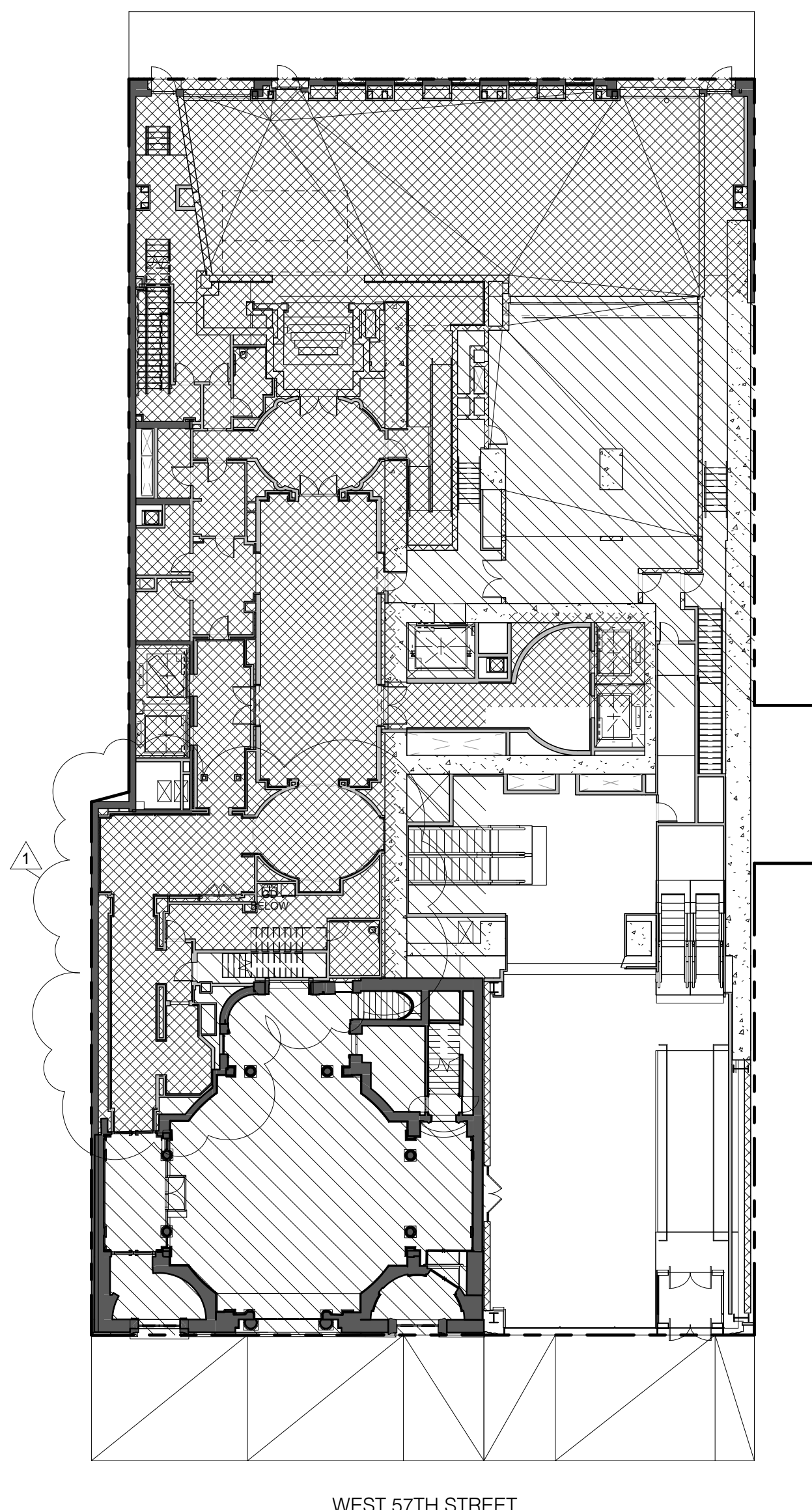
LEVEL 4 1" = 20'-0" 6/2100

LEVEL 6 1" = 20'-0" 8/2100

LEVEL 8 1" = 20'-0" 10/2100

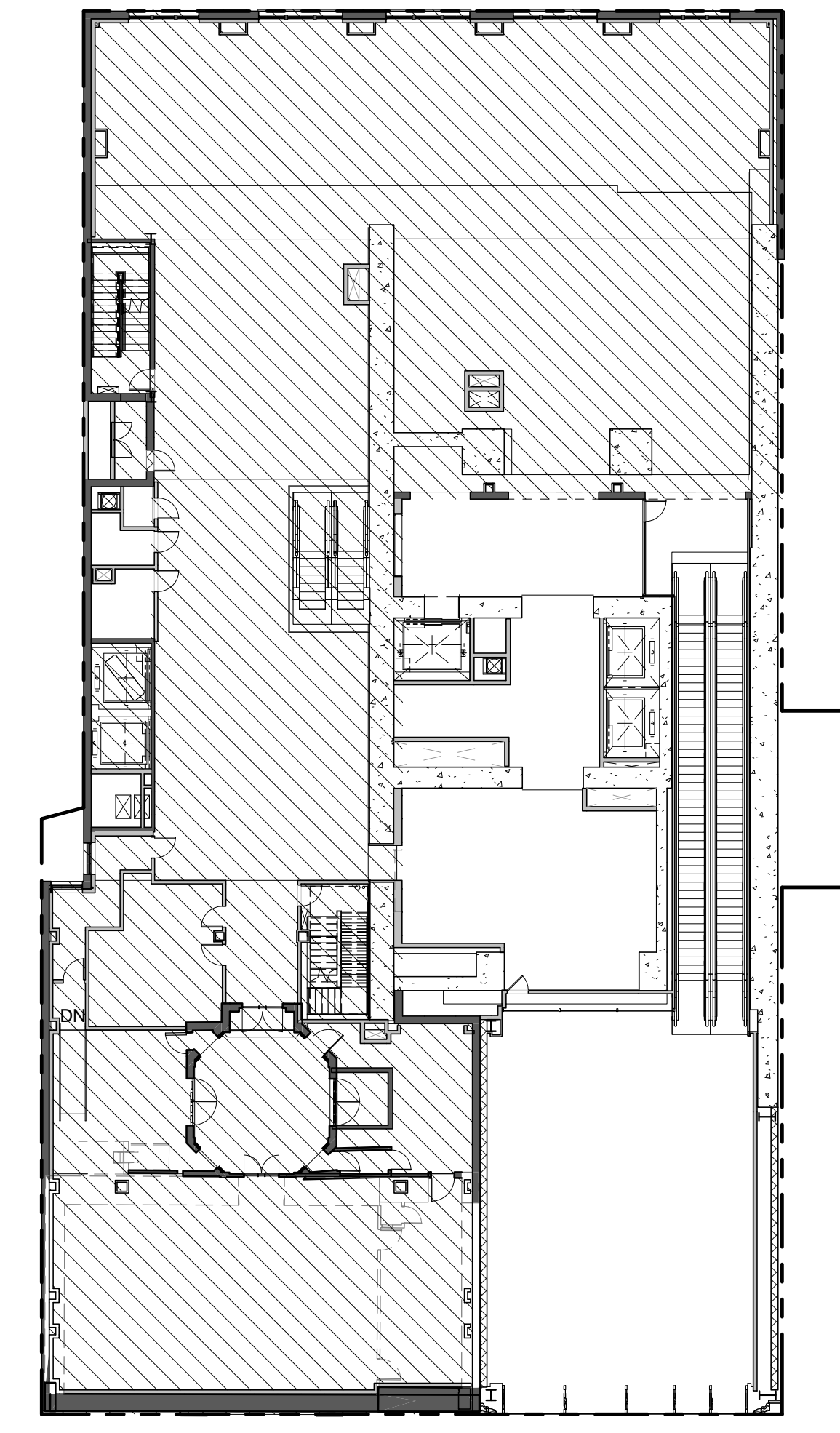


USE	AREA (sqft)
MEP	7109 SF

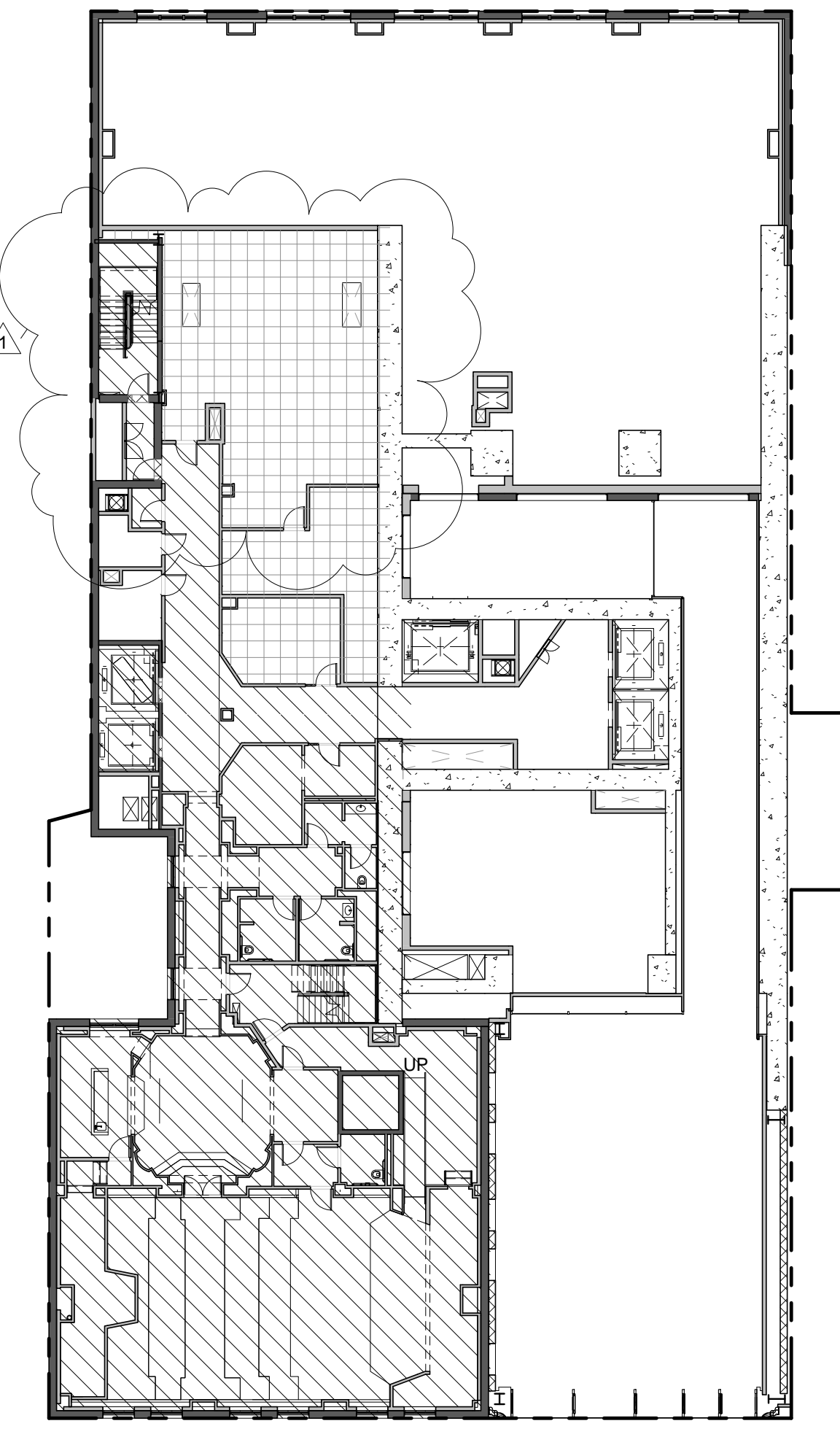


USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	6677 SF
PROPOSED CONVERTED RESIDENTIAL	9342 SF
Grand total	16019 SF

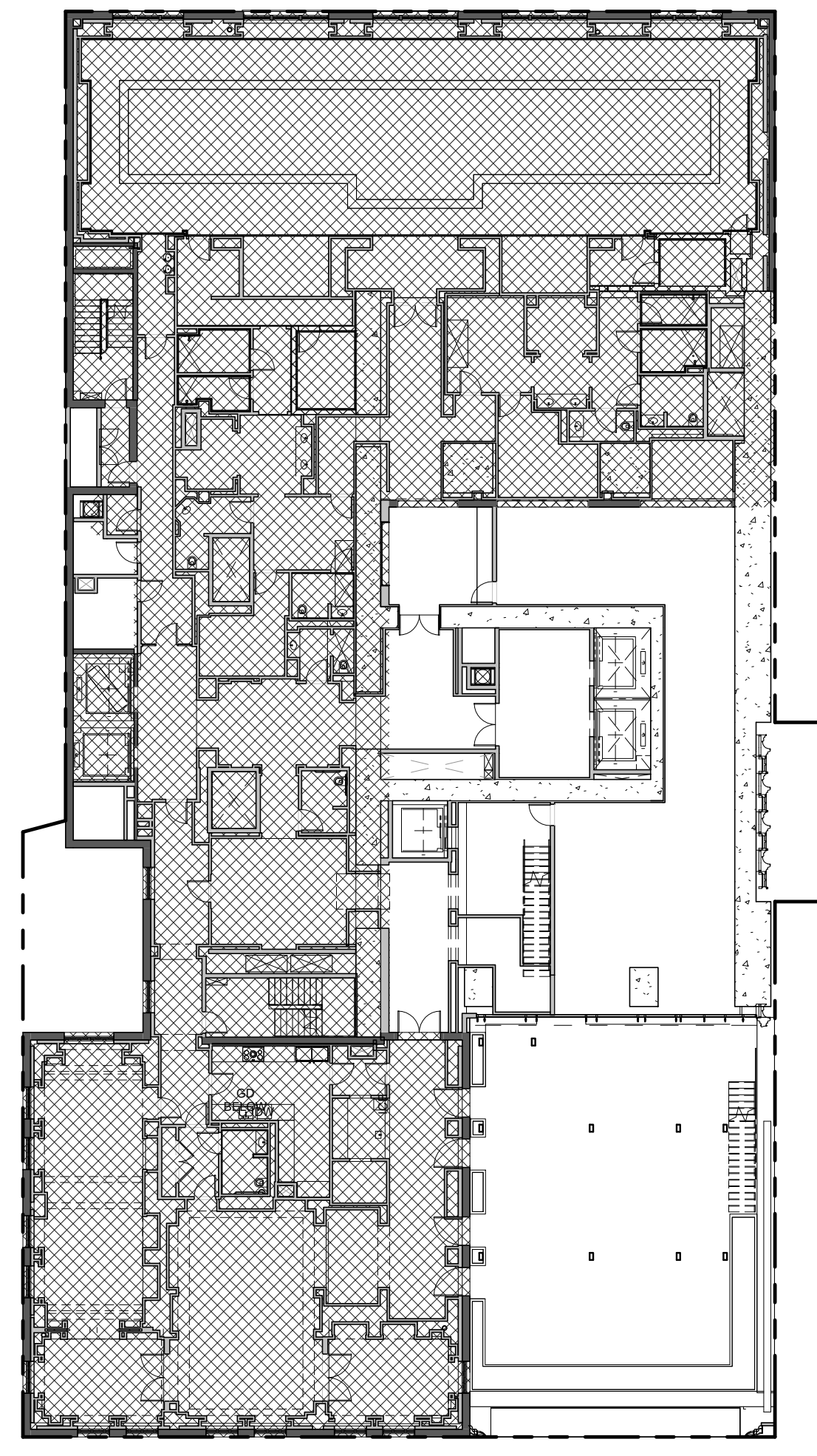
WEST 57TH STREET



USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	13752 SF



USE	AREA (sqft)
EXISTING COMMERCIAL TO REMAIN	6090 SF
Grand total	6090 SF



USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	13349 SF

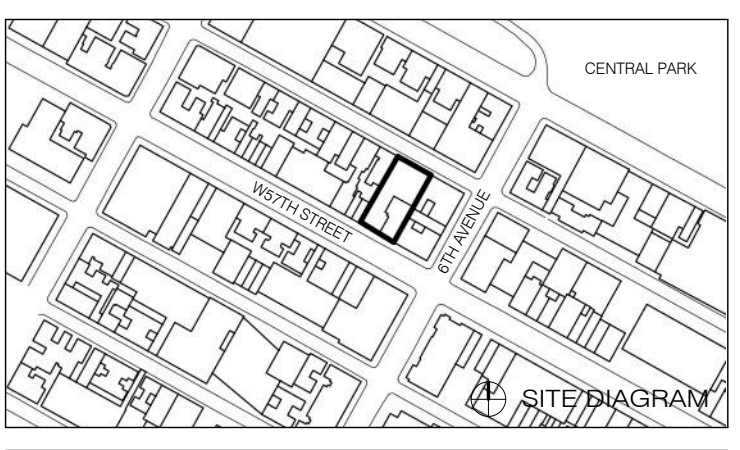
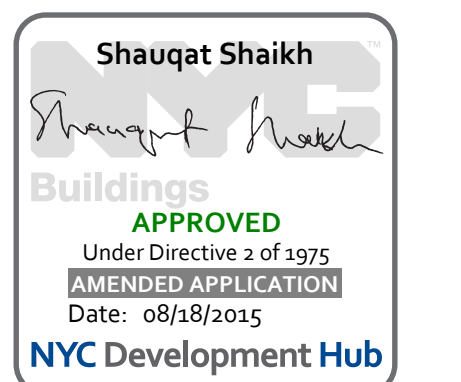
SUB-CELLAR 1" = 20'-0" 1/2100

GROUND 1" = 20'-0" 3/2100

LEVEL 3 1" = 20'-0" 5/2100


LEVEL 5 1" = 20'-0" 7/2100

LEVEL 7 1" = 20'-0" 9/2100



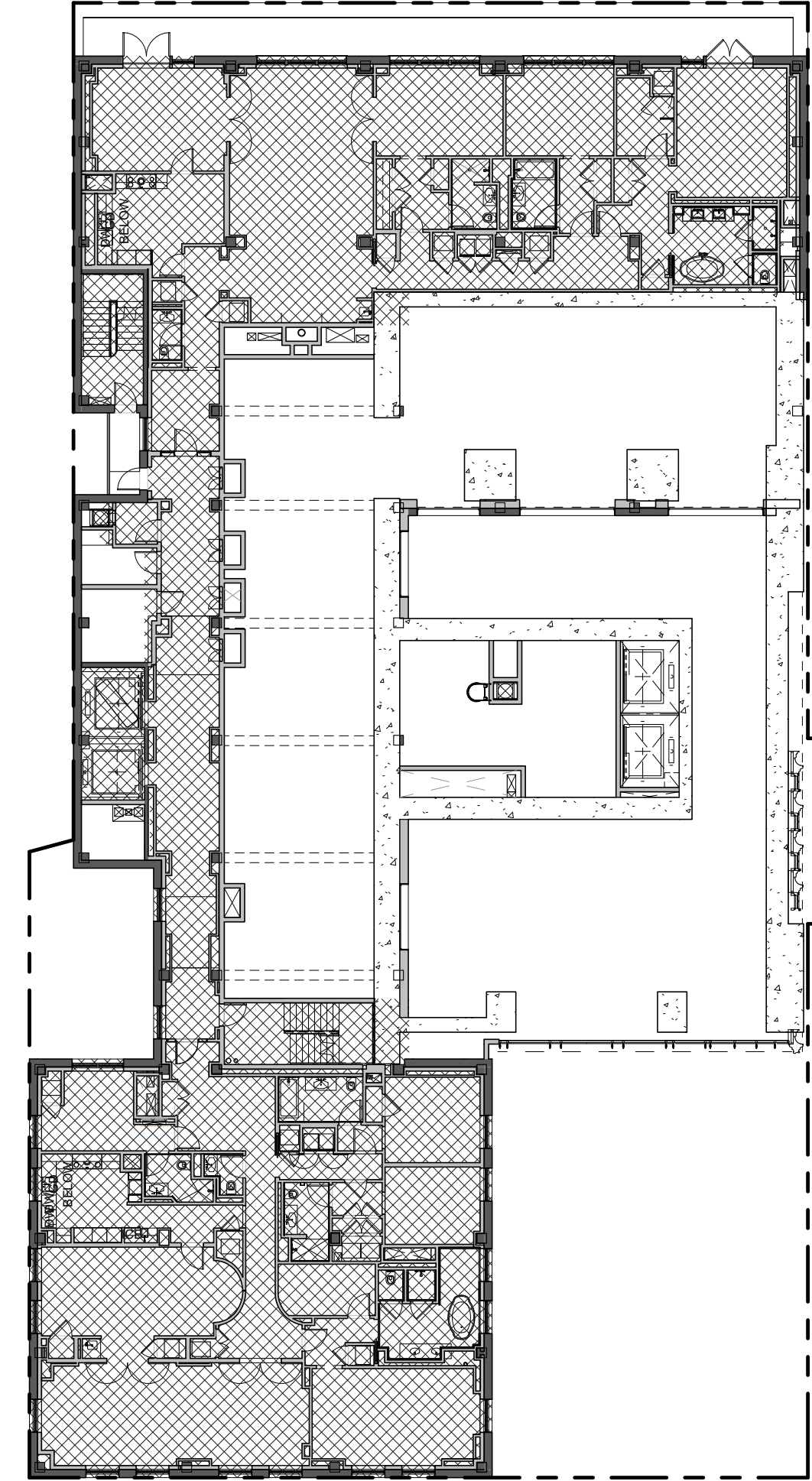
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION
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DRAWING TITLE  
**ART. 1 CH. 5 CALCULATIONS**

SEAL & SIGNATURE  

 DATE: 3.27.15  
 PROJECT NO.: 130907  
 DRAWN BY: SHAP  
 CHECKED BY: DLG  
 DOB NO.: 121332968  
 DRAWING NUMBER: Z-111.01

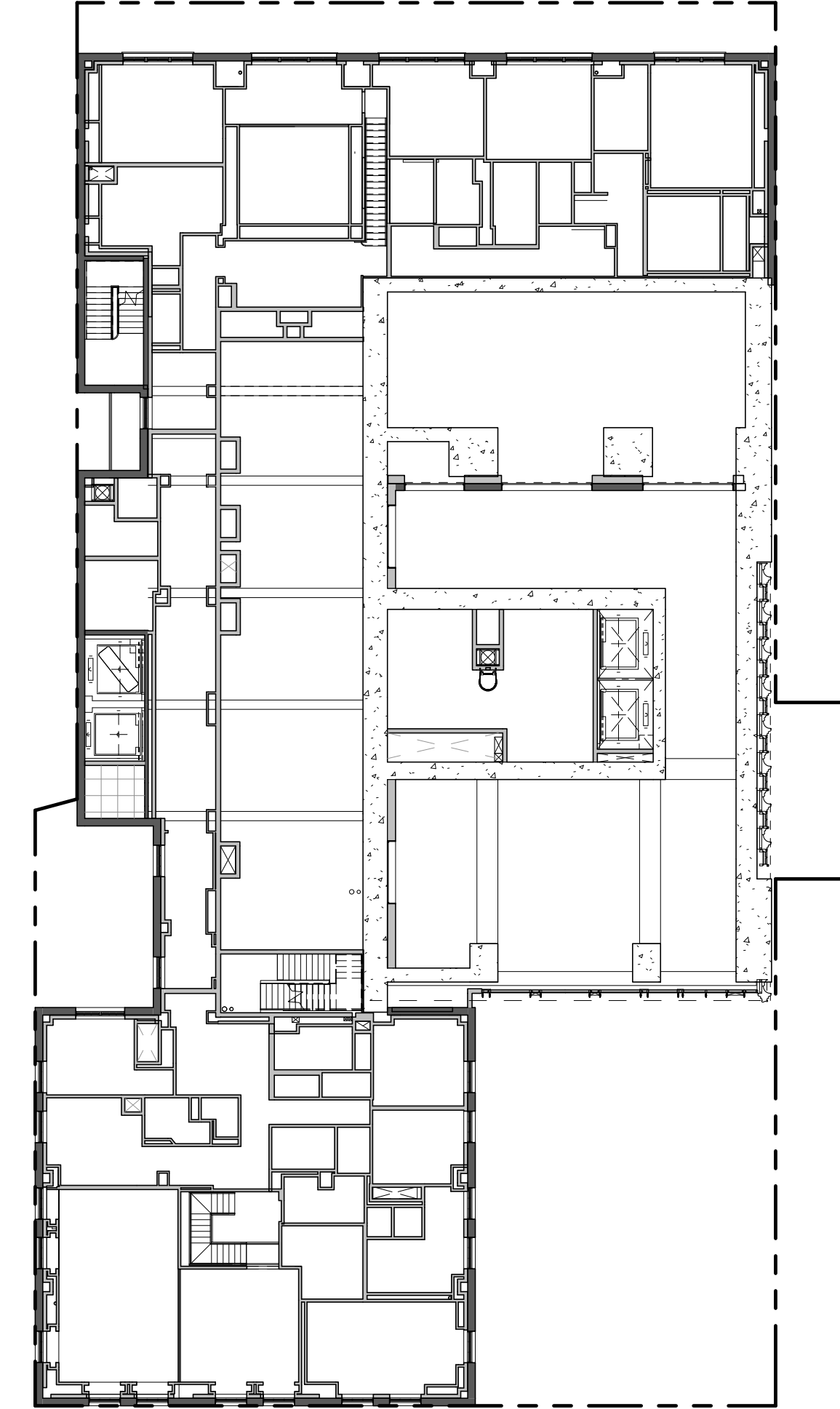
KEY

	EXISTING COMMERCIAL TO REMAIN
	PROPOSED CONVERTED RESIDENTIAL
	MECHANICAL



USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	8552 SF

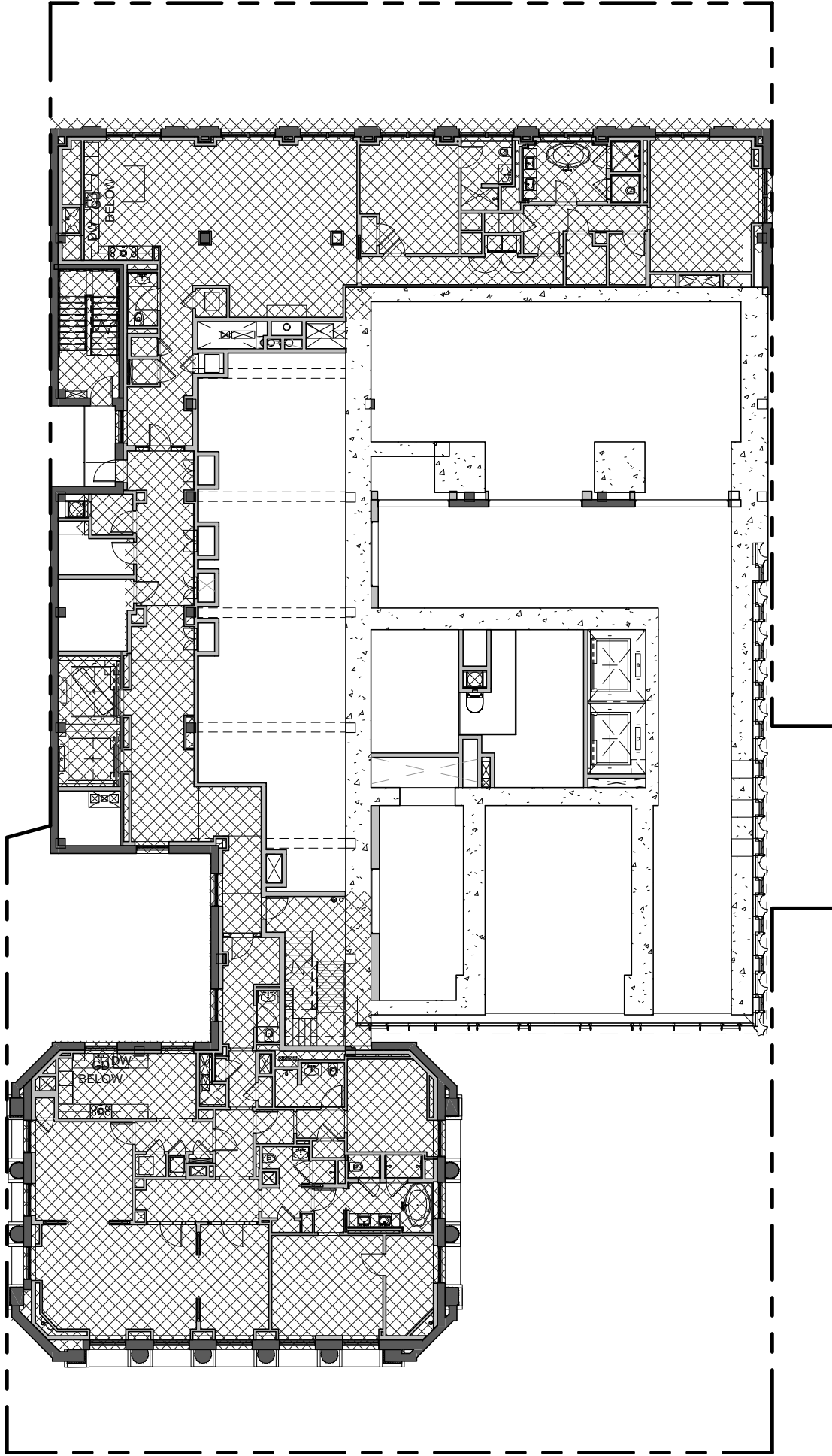
LEVEL 10 1" = 20'-0" 2



NOTE: ALL FLOORS REMOVED

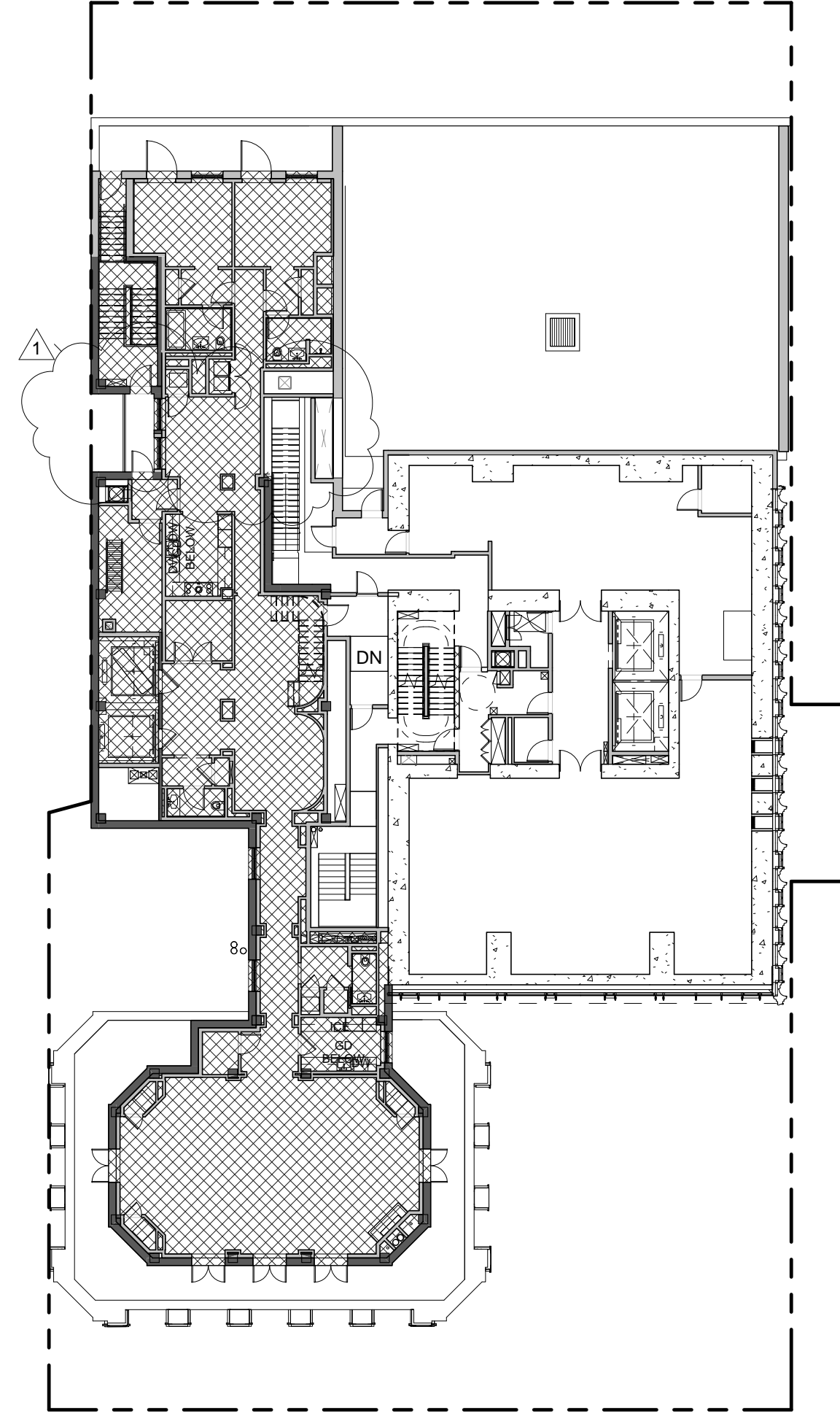
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	8567 SF

LEVEL 12 1" = 20'-0" 4



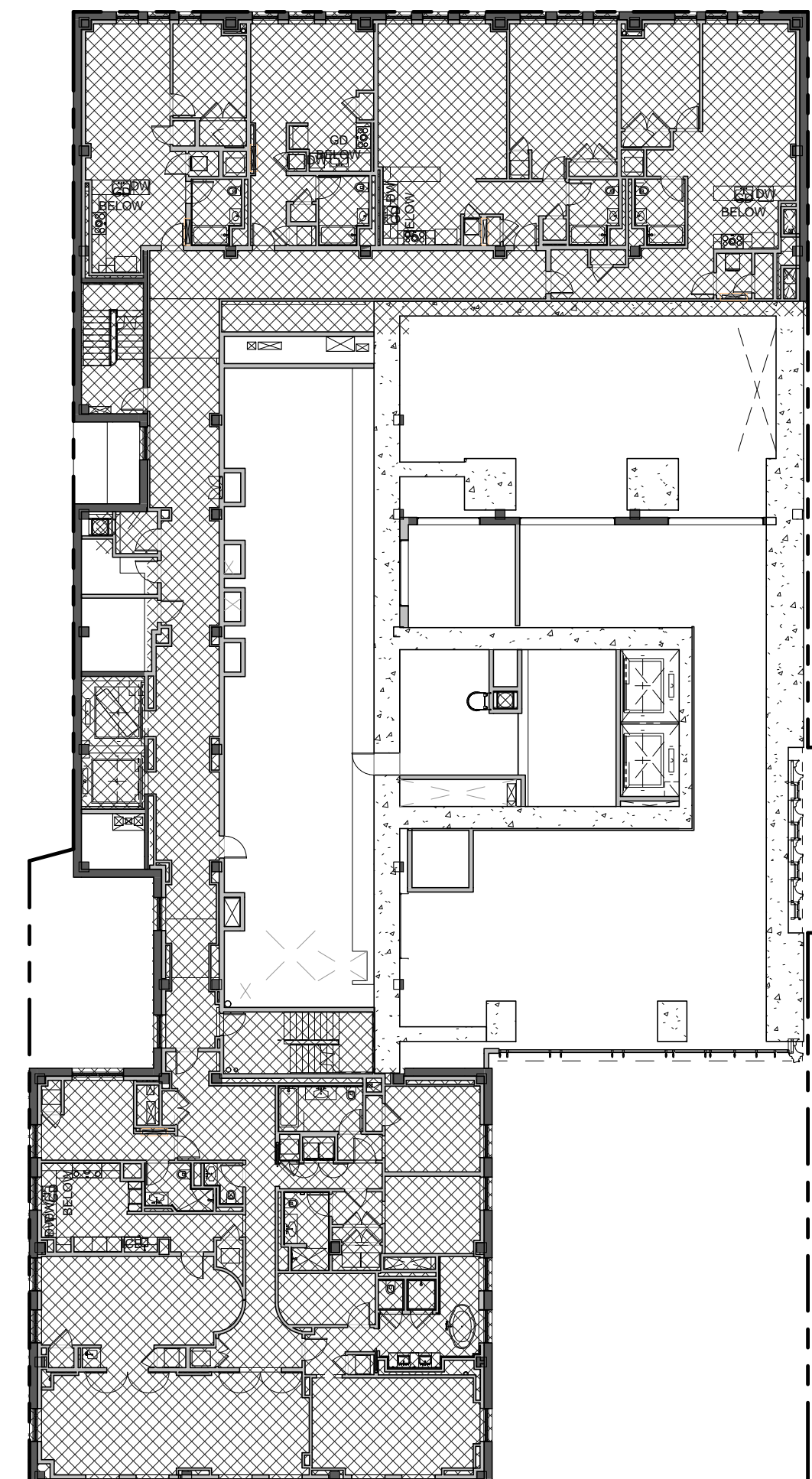
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	6748 SF

LEVEL 14 1" = 20'-0" 6



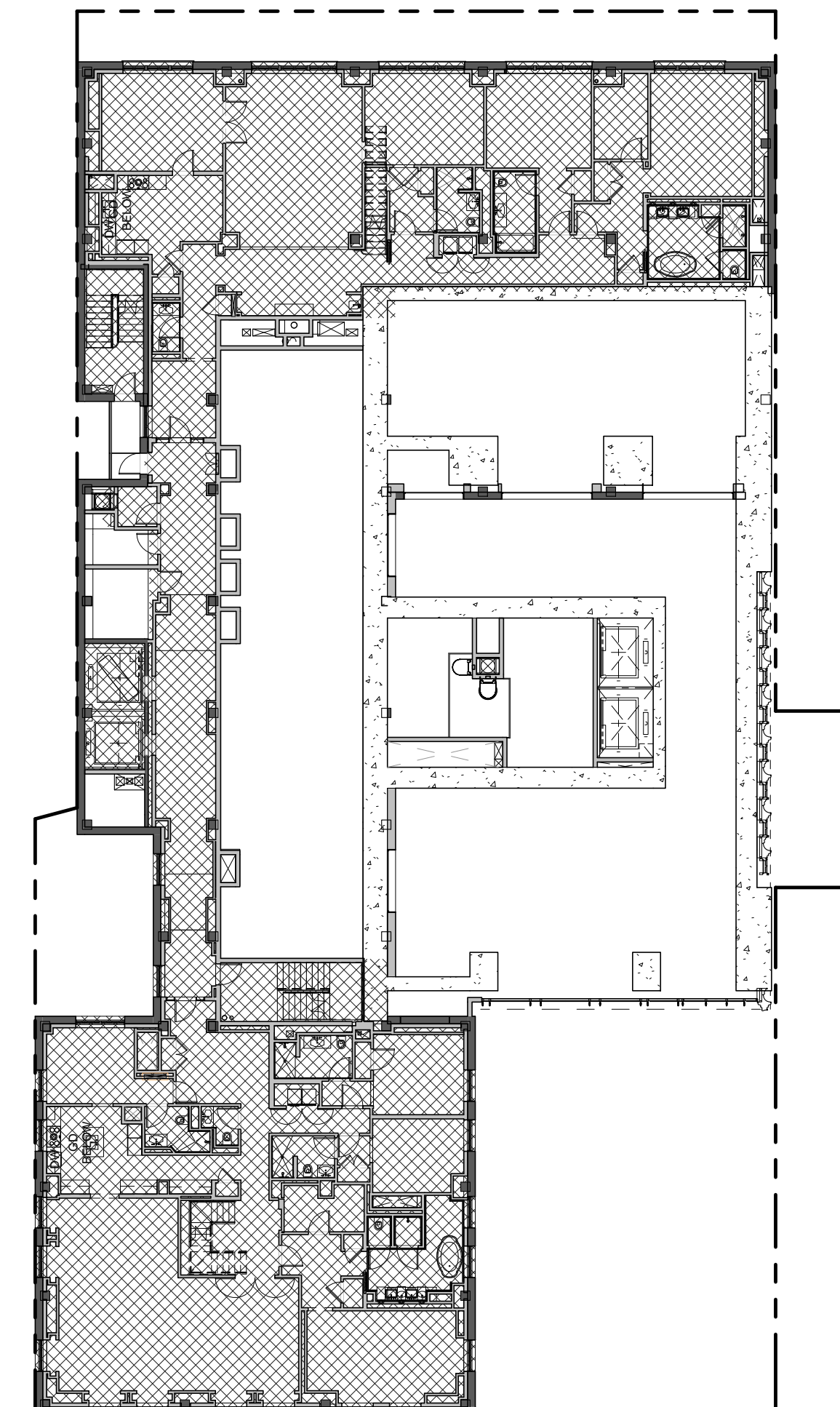
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	4536 SF

LEVEL 16.0 1" = 20'-0" 8



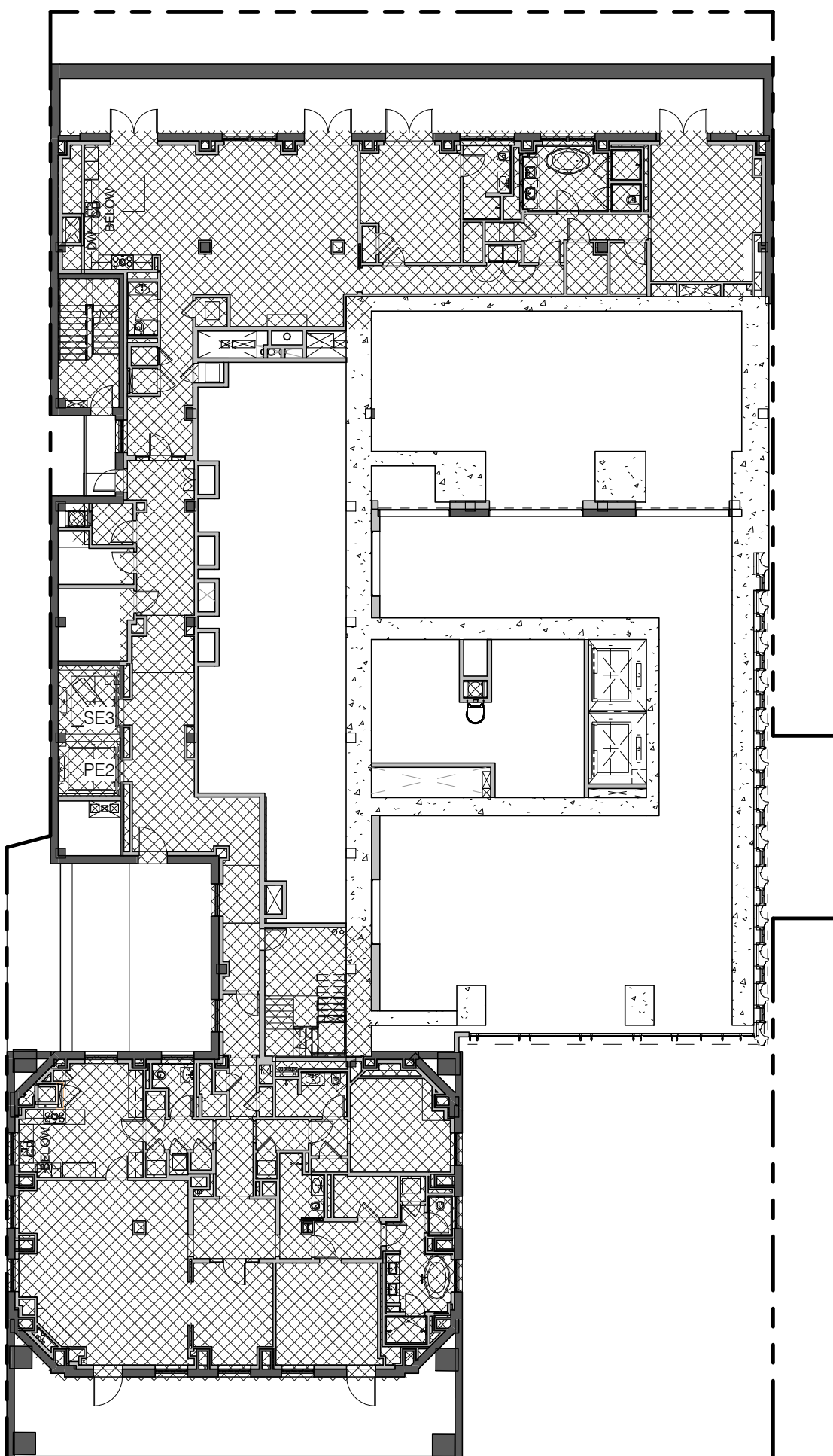
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	9407 SF

LEVEL 9 1" = 20'-0" 1



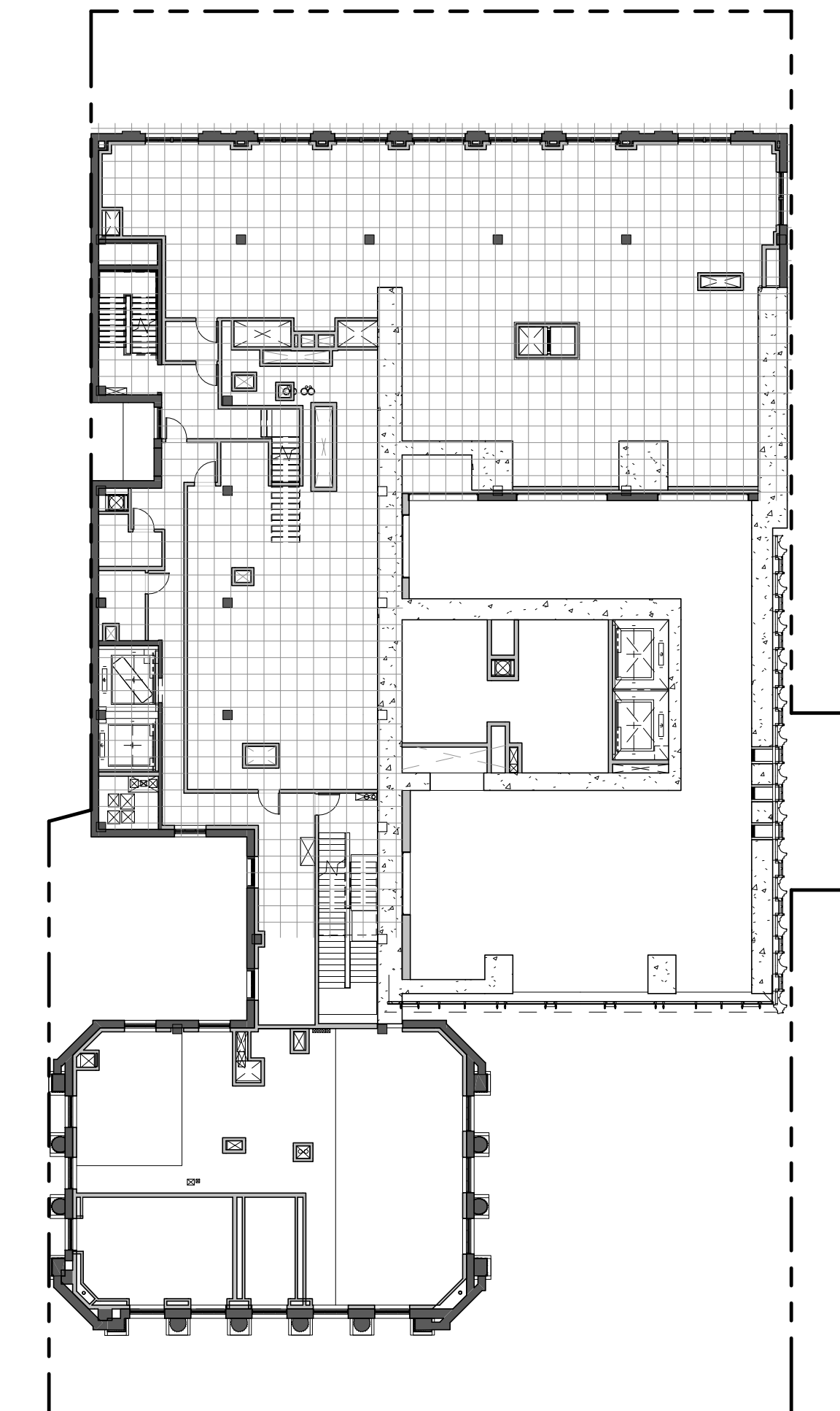
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	8567 SF

LEVEL 11 1" = 20'-0" 3



USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	6894 SF

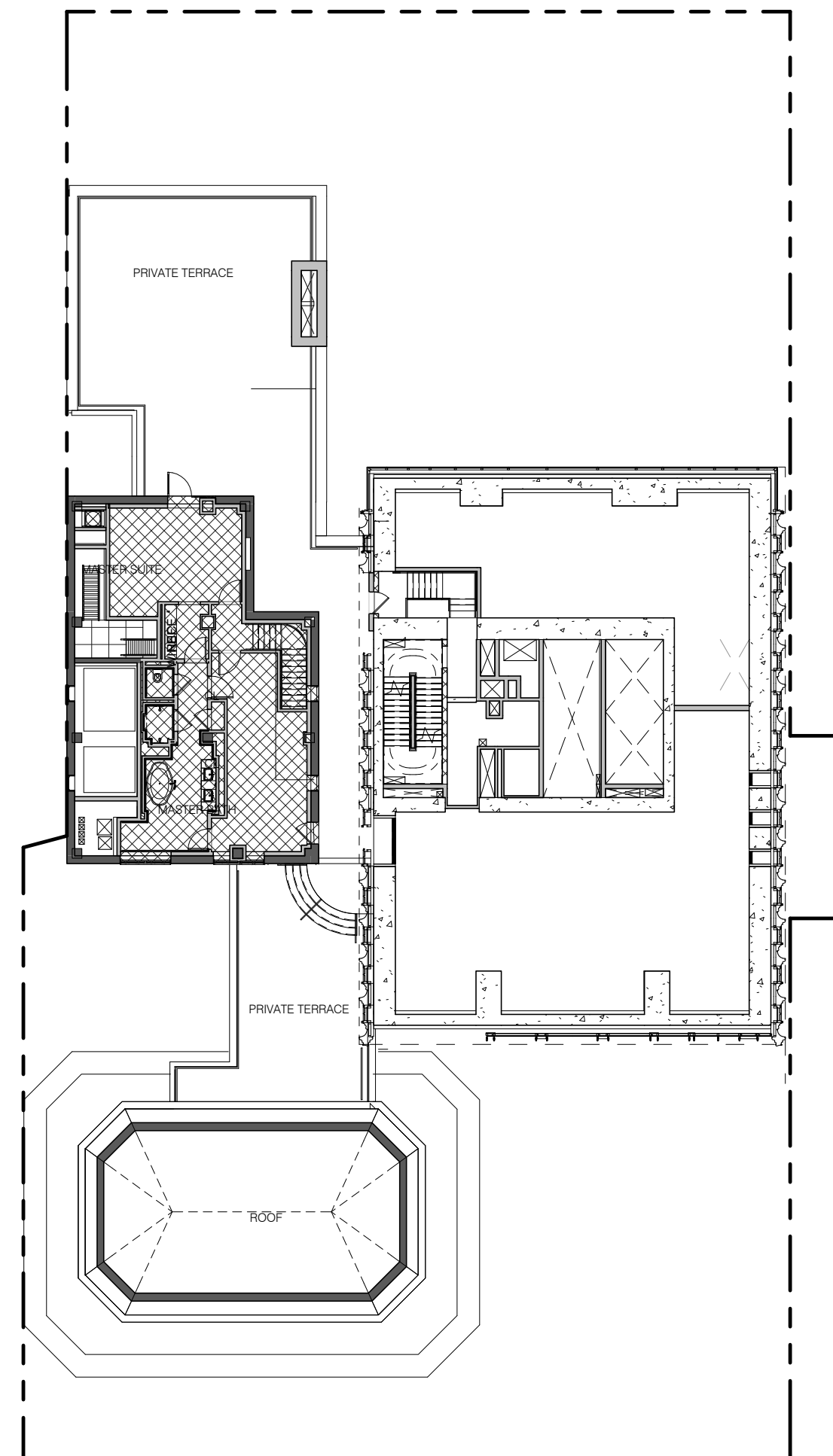
AREA BOUNDARY EXAMPLE - STEINWAY UNITS 1" = 20'-0" 5



NOTE: ALL MECHANICAL LEVEL

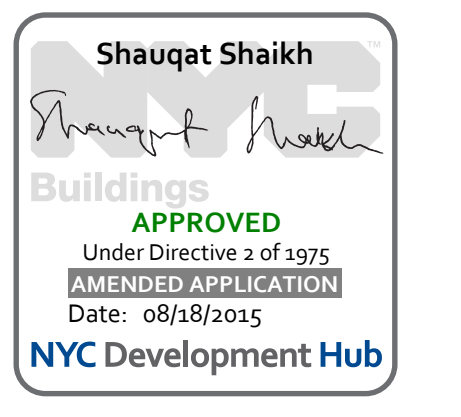
USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	1187 SF

LEVEL 15 1" = 20'-0" 7

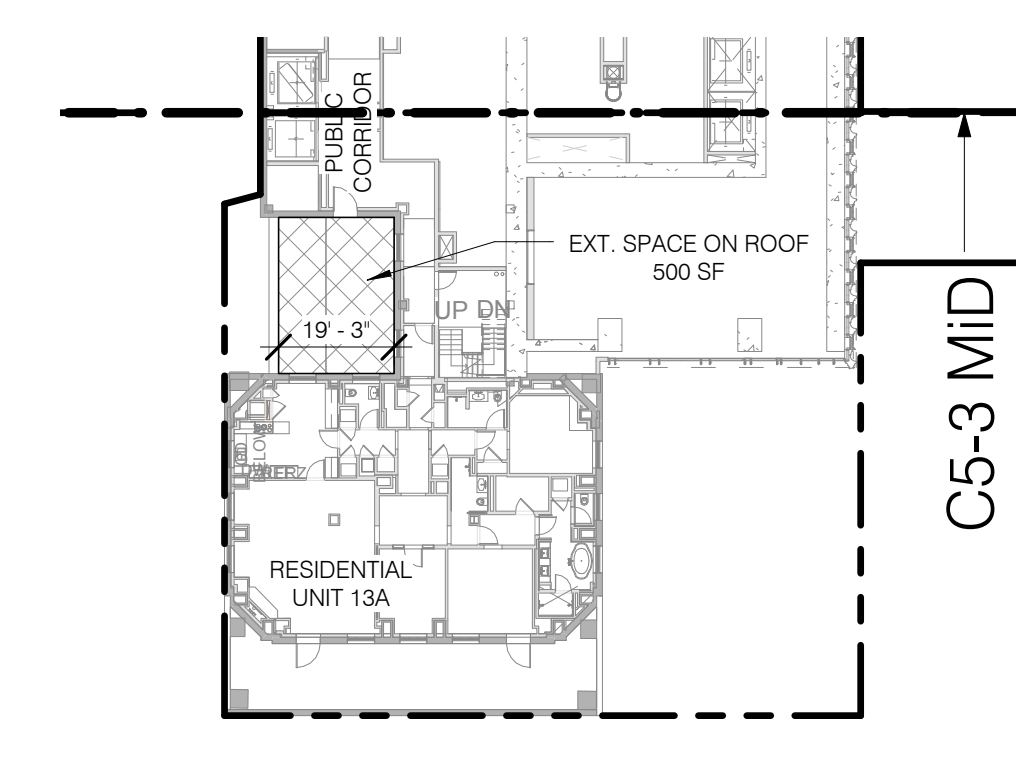
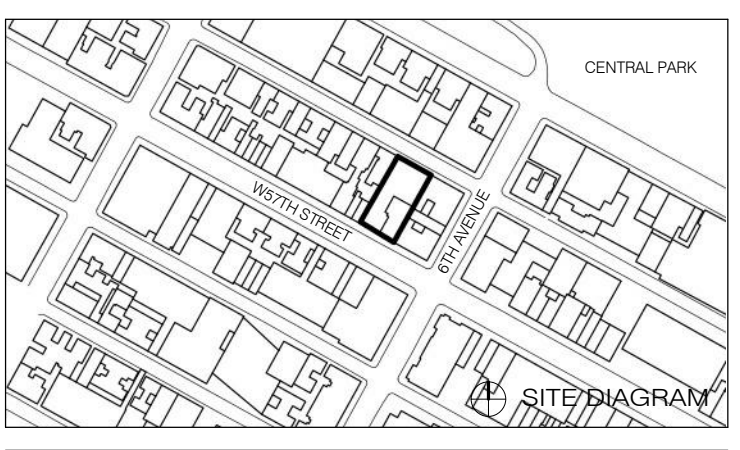


USE	AREA (sqft)
PROPOSED CONVERTED RESIDENTIAL	1187 SF

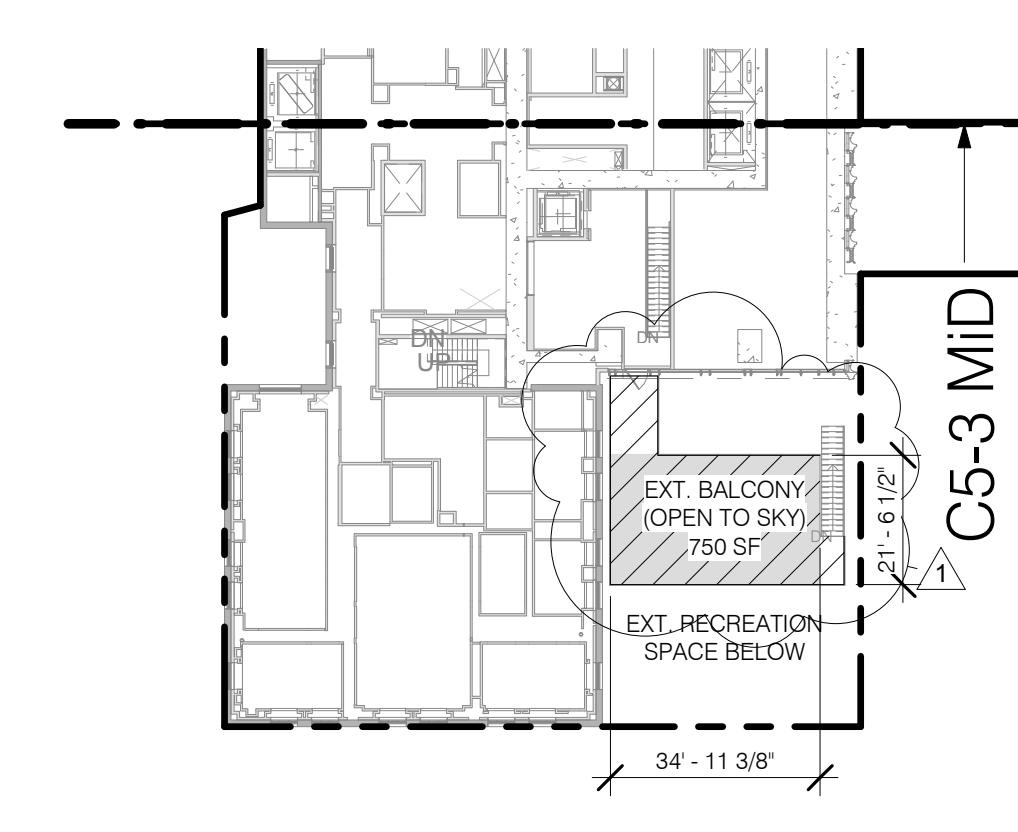
LEVEL 17.0 1" = 20'-0" 9



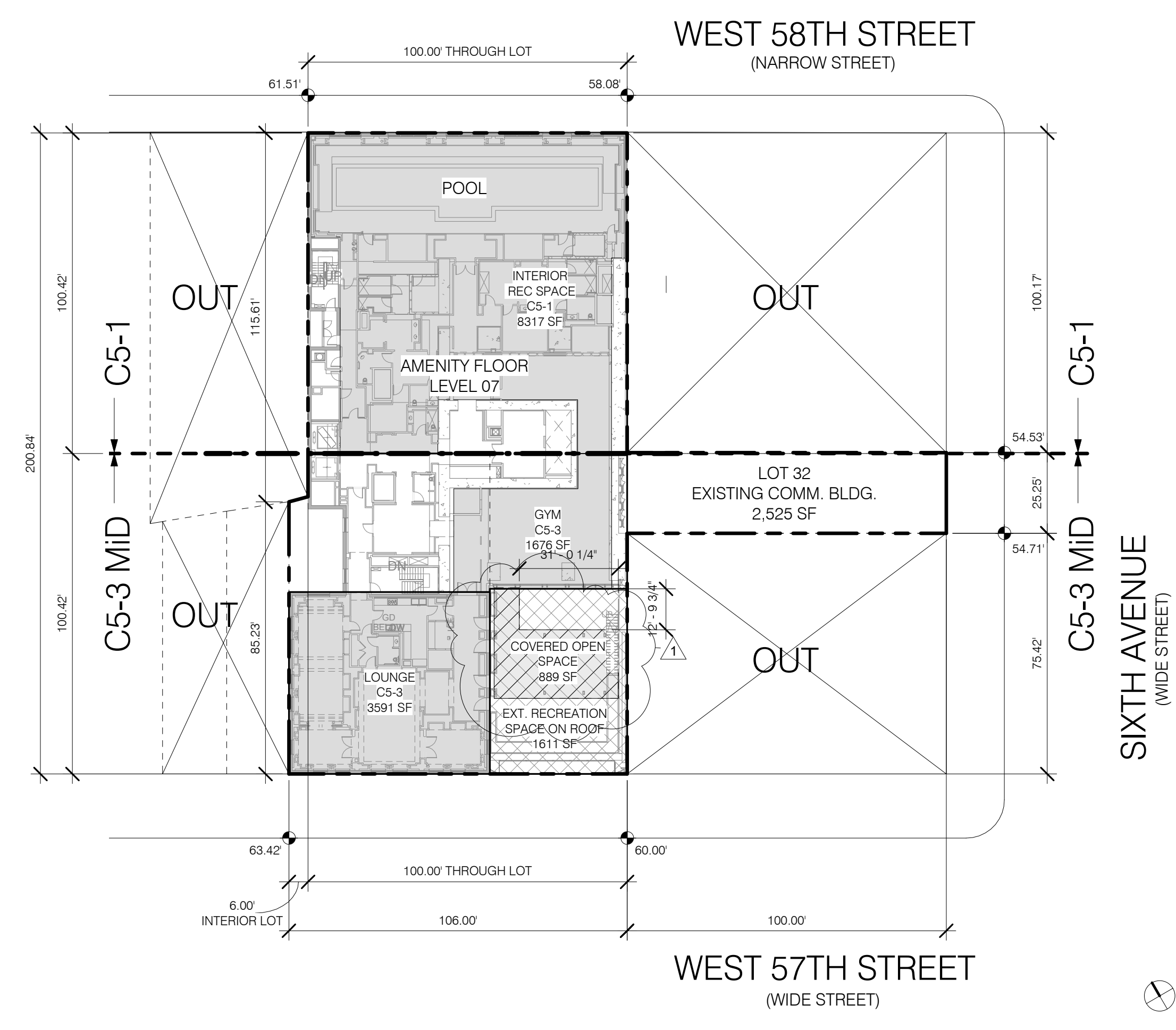
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



LEVEL 13 REC SPACE DIAGRAM 1/32" = 1'-0" 5



LEVEL 7 MEZZ REC SPACE DIAGRAM 1/32" = 1'-0" 4



**SEC 81-241**

REC SPACE TOTAL

EXTERIOR (ROOF)	2861 SF	C5-3
COVERED OPEN SPACE PARTIALLY UNENCLOSED	889 SF	
INTERIOR	5267 SF	
<b>TOTAL</b>	<b>9017 SF</b>	

- LEGEND**
- EXTERIOR SHARED RESIDENTIAL RECREATIONAL SPACE
  - PARTIALLY ENCLOSED RESIDENTIAL RECREATIONAL SPACE
  - INTERIOR RESIDENTIAL RECREATIONAL

**ZONING CALCULATIONS**

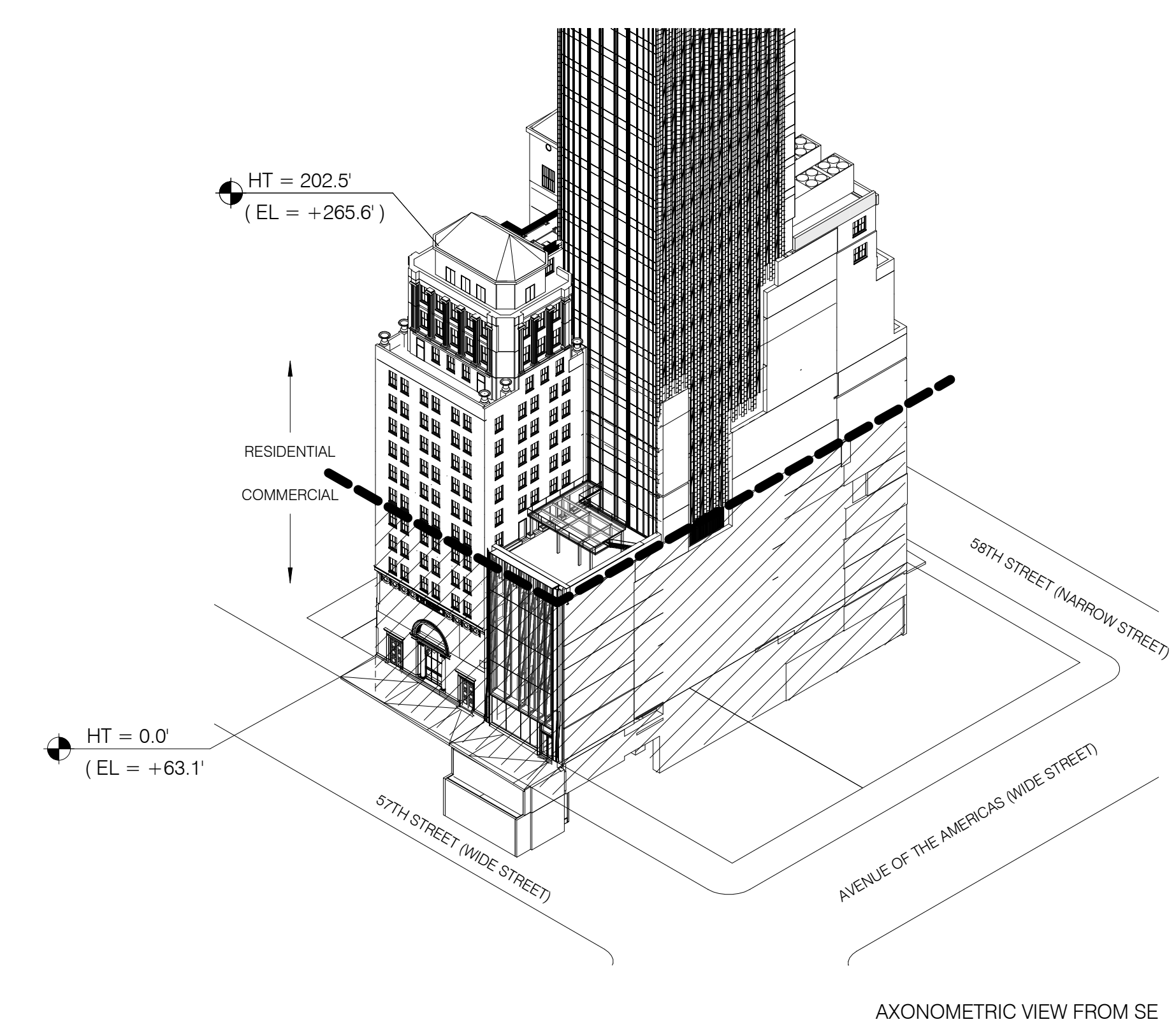
**81-241 E Residential Recreation Space**  
Required: 16.25 SF per d.u.  
Number of d.u.'s provided in C5-3 zone: 47 (some units partially in C5-3)

47 x 16.25 SF = 764 SF  
Minimum 5,000 SF: 1986  
50% Minimum Open to sky: 2500 SF  
25% Minimum Partially Enclosed or Open: 1250 SF

Provided: See Diagram Z-112

Open to sky: 2500 SF (Complies)  
Partially Enclosed or Open: 1250 SF (Complies)  
Enclosed: 5267 SF (Complies)  
Total Recreational Space: 9017 SF (Complies)

LEVEL 7 RECREATIONAL SPACE DIAGRAM 1/32" = 1'-0" 3



**ARTICLE 1 CHAPTER 5 - RESIDENTIAL CONVERSION**

- 15-00 Existing building being converted to residential under Article 1 Chapter 5 14 DU in conversion
- 15-023 A. Notice to residential tenants in mixed use buildings Client to notify prospective residential occupants that the DU are in building containing commercial units (N/A)
- 15-024 B. Notice of Filing Within 10 days of filing for permit, duplicate copy must be sent to DCP (Complies)
- 15-025 C. Double Glazed Windows All DU in buildings containing one or more uses and converted under Art. 1 Ch. 5 must have double glazing on all windows (Complies)
- 15-111 D. Permitted Dwellings Maximum DU shall be determined in accordance with the applicable district regulations
 

23-22 DU factor for R10 equivalent	700
Floor area in existing building (remaining)	114,863
DU permitted	147
DU provided	14

 (Complies)
- 15-112 LIGHT AND AIR PROVISIONS b) Every DU shall meet the light and air requirements of Section 277 of the Multiple Dwelling Law (Complies, see sections) c) Width to depth Where more than one DU per story the average width of each shall be at least 1/4 the depth (Complies, see plans)
- 15-12 OPEN SPACE EQUIVALENT At least 30% of the Gross Roof area of a building containing 15 DU shall be provided for recreational use accessible to all occupants in the building, up to maximum 50% DU in conversion portion of building = 14 (not required)

**ART 1 CHAPTER 5 FLOOR AREA SCHEDULE...**

Level	EXISTING COMMERCIAL TO REMAIN	PROPOSED CONVERTED RESIDENTIAL	TOTAL
SUB-CELLAR	0 SF	0 SF	0 SF
CELLAR	7298 SF	4848 SF	12146 SF
GROUND (63.1' MBD)	6677 SF	9342 SF	16019 SF
LEVEL 2	775 SF	0 SF	775 SF
LEVEL 3	13752 SF	0 SF	13752 SF
LEVEL 4	6839 SF	0 SF	6839 SF
LEVEL 5	6090 SF	0 SF	6090 SF
LEVEL 6	0 SF	0 SF	0 SF
LEVEL 7	0 SF	13349 SF	13349 SF
LEVEL 8	0 SF	0 SF	0 SF
LEVEL 9	0 SF	9407 SF	9407 SF
LEVEL 10	0 SF	8562 SF	8562 SF
LEVEL 11	0 SF	8567 SF	8567 SF
LEVEL 12	0 SF	0 SF	0 SF
LEVEL 13	0 SF	6894 SF	6894 SF
LEVEL 14	0 SF	6748 SF	6748 SF
LEVEL 15	0 SF	0 SF	0 SF
LEVEL 16.0	0 SF	4536 SF	4536 SF
LEVEL 17.0	0 SF	1187 SF	1187 SF
Grand total	41430 SF	73432 SF	114863 SF

NOTE: MECHANICAL AND OPEN TO BELOW AREAS NOT INCLUDED

1	3.27.15	DOB PAA
1	5.1.14	DOB FILING SET
NO.	DATE	REVISION

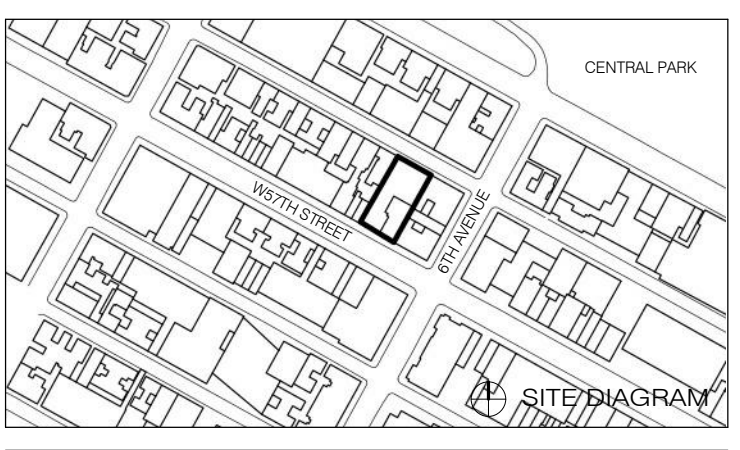
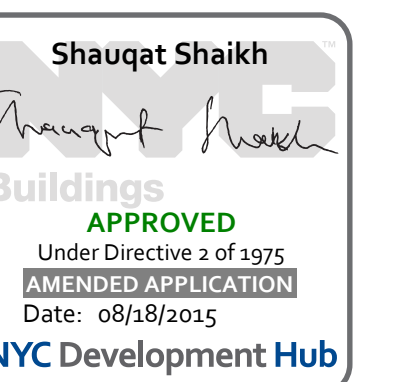
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DRAWING TITLE

**ART. 1 CH. 5 CALCULATIONS & C5-3 MID RECREATIONAL SPACE**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	shap	
CHECKED BY	DLG	
DOB NO.	121302008	
DRAWING NUMBER	Z-112.01	





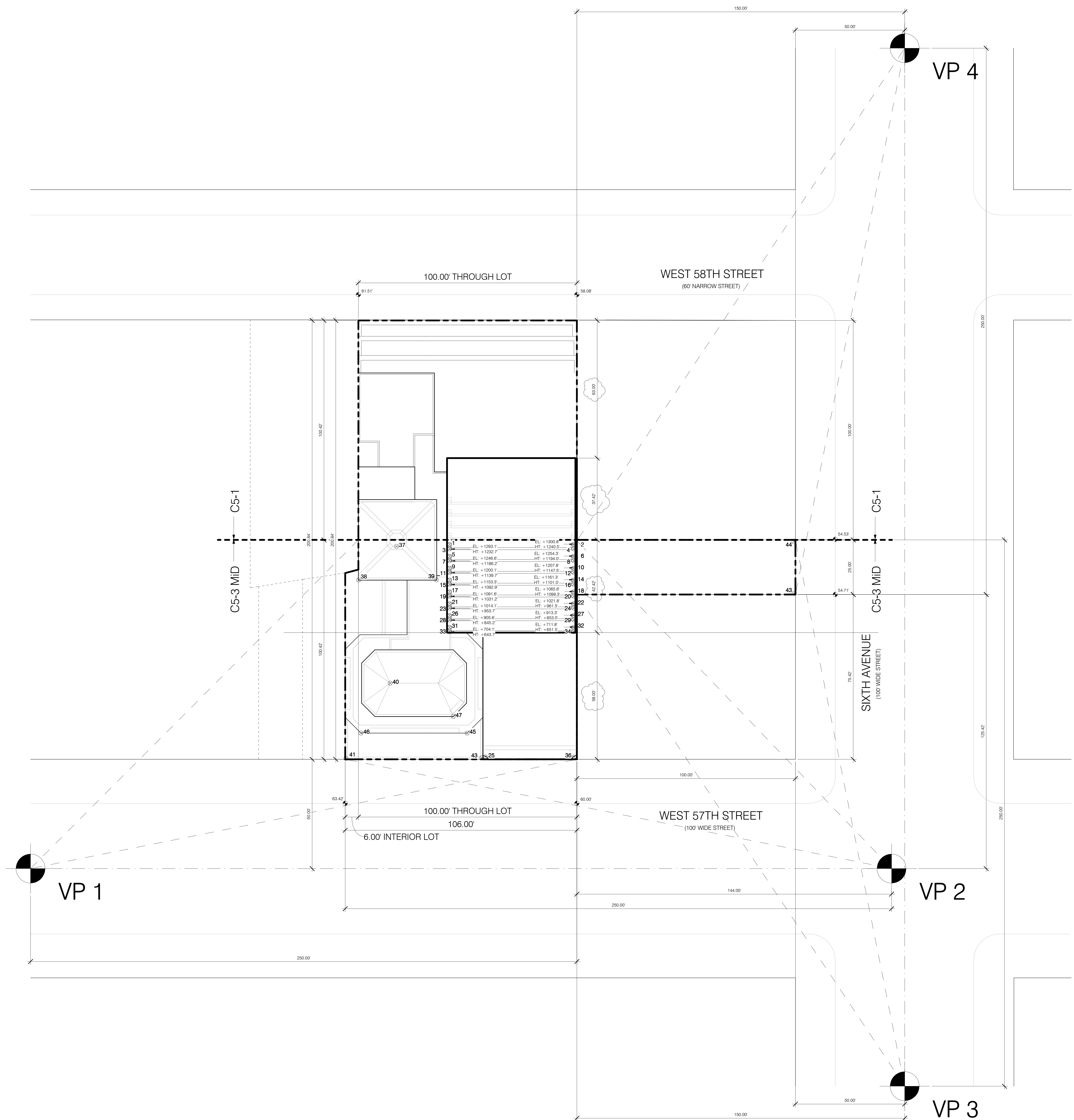
1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION

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DRAWING TITLE

**HEIGHT & SETBACK (MIDTOWN SPECIAL DISTRICT)**

SEAL & SIGNATURE	DATE	06/21/15
PROJECT NO.	130907	
DRAWN BY	SHAP	
CHECKED BY	DLG	
DOB NO.	121332968	
DRAWING NUMBER	Z-115.01	



81-274 CALCULATION OF DAYLIGHT SCORE

<b>West 57th Street</b>	<b>Lot Line Length =</b>	<b>106.00</b>
VP 1	73.39%	
VP 2	74.20%	
Average	73.80%	
<b>Sixth Ave</b>	<b>Lot Line Length =</b>	<b>25.00</b>
VP 3	100.00% adjusted	103.39%
VP 4	100.00% adjusted	101.33%
Average	100.00%	
Overall Score	$\frac{(73.80 \times 106) + (100 \times 25)}{106 + 25}$	
Overall Score	<b>78.80%</b>	<b>FULL COMPLIANCE</b>

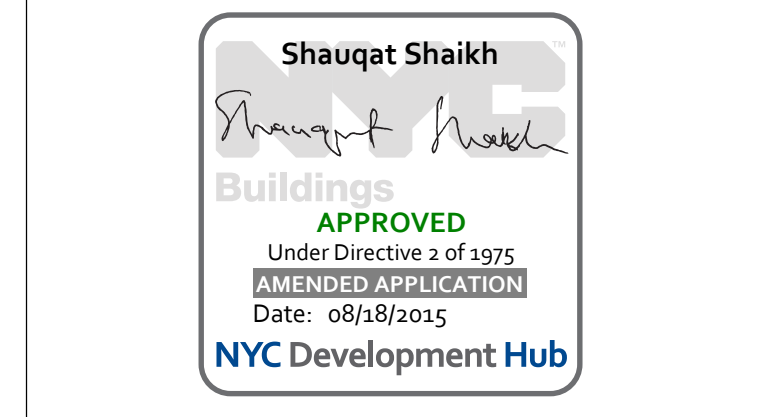
ARCHITECT	SHAP ARCHITECTS, P.C. 220 BROADWAY - 11TH FLOOR NEW YORK, NY 10005 TEL: 212 693 3000
STRUCTURAL ENGINEER	SHAPIRO HANCOCK 220 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 697 5888
MEP ENGINEER	JACOBS, BALK & BOLLES 400 WEST STREET, 20TH FLOOR NEW YORK, NY 10006 TEL: 212 693 3000
CIVIL ENGINEER	AWR ENGINEERING, P.C. 400 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10006 TEL: 212 693 3000
ACOUSTICIST	LONGMAN LANDSEY 40 WEST 46TH STREET, 4TH FLOOR NEW YORK, NY 10006 TEL: 212 693 3000
INTERIORS	STUDIO JENSEN 300 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 693 3000
PAVING	SHAPIRO HANCOCK 220 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 697 5888
VERTICAL TRANSPORTATION	SHAPIRO HANCOCK 220 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 697 5888
RESTORATION	JAN HED FORKORNY ASSOCIATES 40 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10006 TEL: 212 693 3000
GEOTECH	LONGMAN LANDSEY 40 WEST 46TH STREET, 4TH FLOOR NEW YORK, NY 10006 TEL: 212 693 3000
LIGHTING	CONSERVATIVE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 693 3000



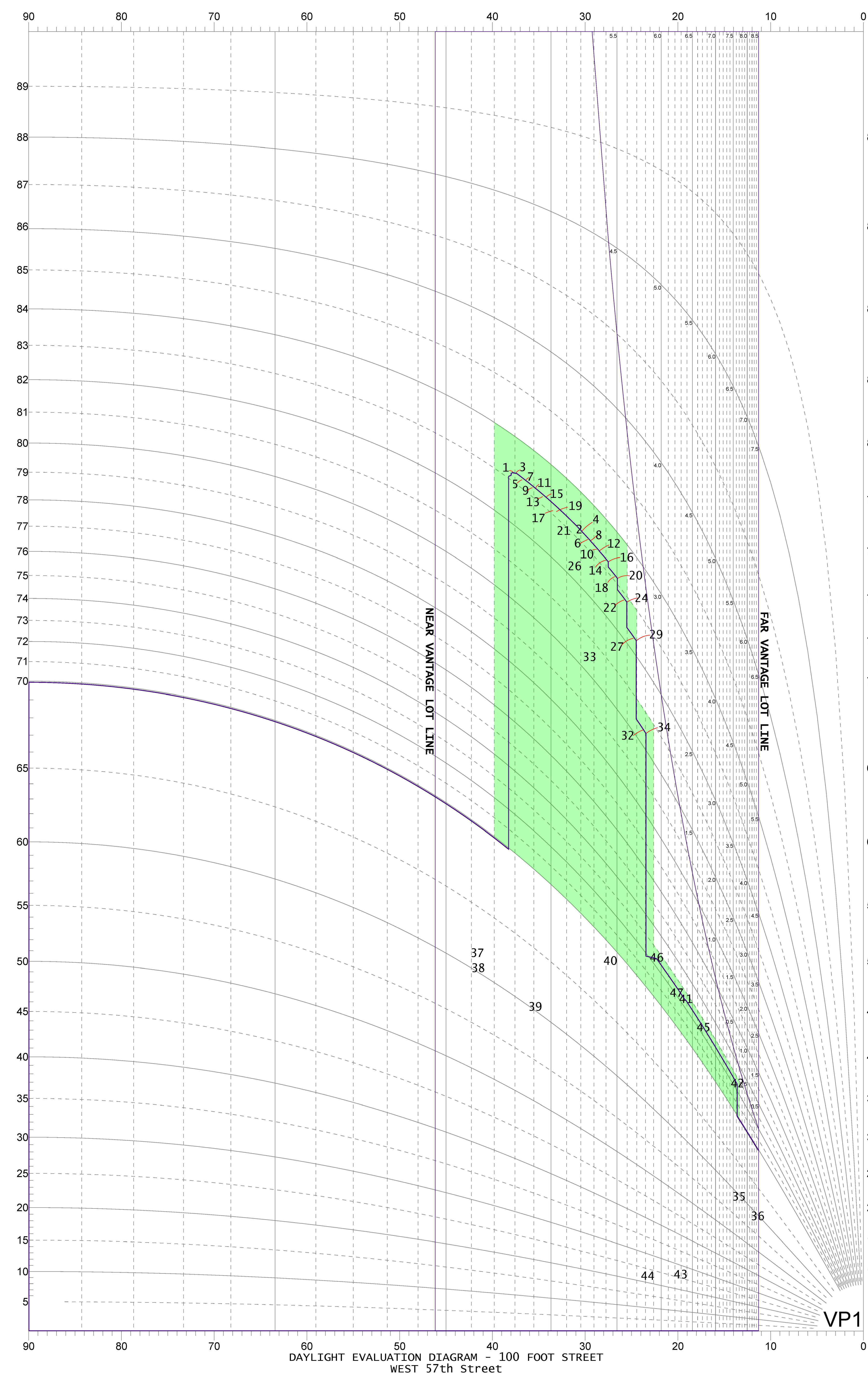
PROPERTY MARKETS GROUP  
220 BROADWAY - 11TH FLOOR  
NEW YORK, NY 10005  
TEL: 212 693 3000

CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



**Section 81-273(d) West 57th Street -VP 1**

Far Lot Line -50.00 250.00 -0.20 11.3  
Near Lot Line -150.00 144.00 -1.04 46.2

Pt	Dist[s]	Dist[D]	Tan[S/D]	Angle	[H]	[S]	Tan[H/S]	Angle
1	147.67	190.58	0.77	37.8	1,240.46	147.67	8.40	83.2
2	147.67	249.33	0.59	30.6	1,240.46	147.67	8.40	83.2
3	145.92	190.58	0.77	37.4	1,232.74	145.92	8.45	83.2
4	145.92	249.33	0.59	30.3	1,232.74	145.92	8.45	83.2
5	142.26	190.58	0.75	36.7	1,193.96	142.26	8.39	83.2
6	142.26	249.33	0.57	29.7	1,193.96	142.26	8.39	83.2
7	140.50	190.58	0.74	36.4	1,186.24	140.50	8.44	83.2
8	140.50	249.33	0.56	29.4	1,186.24	140.50	8.44	83.2
9	136.84	190.58	0.72	35.7	1,147.46	136.84	8.39	83.2
10	136.84	249.33	0.55	28.8	1,147.46	136.84	8.39	83.2
11	135.09	190.58	0.71	35.3	1,139.74	135.09	8.44	83.2
12	135.09	249.33	0.54	28.4	1,139.74	135.09	8.44	83.2
13	131.42	190.58	0.69	34.6	1,100.96	131.42	8.38	83.2
14	131.42	249.33	0.53	27.8	1,100.96	131.42	8.38	83.2
15	129.67	190.58	0.68	34.2	1,092.88	129.67	8.43	83.2
16	129.67	249.33	0.52	27.5	1,092.88	129.67	8.43	83.2
17	126.01	190.58	0.66	33.5	1,038.96	126.01	8.25	83.1
18	126.01	249.33	0.51	26.8	1,038.96	126.01	8.25	83.1
19	124.25	190.58	0.65	33.1	1,031.24	124.25	8.30	83.1
20	124.25	249.33	0.50	26.5	1,031.24	124.25	8.30	83.1
21	120.59	190.58	0.63	32.3	961.46	120.59	7.97	82.9
22	120.59	249.33	0.48	25.8	961.46	120.59	7.97	82.9
23	118.84	190.58	0.62	31.9	953.74	118.84	8.03	82.9
24	118.84	249.33	0.48	25.5	953.74	118.84	8.03	82.9
26	115.17	190.58	0.60	31.1	852.96	115.17	7.41	82.3
27	115.17	249.33	0.46	24.8	852.96	115.17	7.41	82.3
28	113.42	190.58	0.60	30.8	845.24	113.42	7.45	82.4
29	113.42	249.33	0.45	24.5	845.24	113.42	7.45	82.4
31	109.76	190.58	0.58	29.9	651.46	109.76	5.94	80.4
32	109.76	249.33	0.44	23.8	651.46	109.76	5.94	80.4
33	108.00	190.58	0.57	29.5	643.74	108.00	5.96	80.5
34	108.00	249.33	0.43	23.4	643.74	108.00	5.96	80.5
35	50.00	209.50	0.24	13.4	85.00	50.00	1.70	59.5
36	50.00	247.46	0.20	11.4	85.00	50.00	1.70	59.5
37	147.44	165.84	0.89	41.6	271.38	147.44	1.84	61.5
38	132.01	149.00	0.89	41.5	231.46	132.01	1.75	60.3
39	132.01	185.85	0.71	35.4	231.46	132.01	1.75	60.3
40	84.85	164.51	0.52	27.3	220.44	84.85	2.60	68.9
41	50.00	144.00	0.35	19.1	159.14	50.00	3.18	72.6
42	50.00	207.01	0.24	13.6	159.14	50.00	3.18	72.6
43	125.42	350.00	0.36	19.7	61.70	125.42	0.49	26.2
44	150.42	350.00	0.43	23.3	61.70	150.42	0.41	22.3
45	62.00	199.81	0.31	17.2	196.74	62.00	3.17	72.5
46	62.00	151.20	0.41	22.3	196.74	62.00	3.17	72.5
47	70.87	193.29	0.37	20.1	219.66	70.87	3.10	72.1

**Scoring Summary (Vantage point 1)**

Section	Description	Score
81-274(b)	Squares above 70°	-21.50
81-274(c)	Squares below 70°	0.00
81-274(d)	Profile Encroachment penalty	0.00
Total Blockage		-21.50
81-274(e)	Available Daylight Squares	80.80
81-274(f)	Remaining daylight	59.30
81-274(g)	Daylight score	<b>73.39%</b>

DAYLIGHT EVALUATION DIAGRAM - 100 FOOT STREET WEST 57th Street

1	3/27/15	DOB PAA
2	5/1/14	DOB PLING SET
NO.	DATE	REVISION

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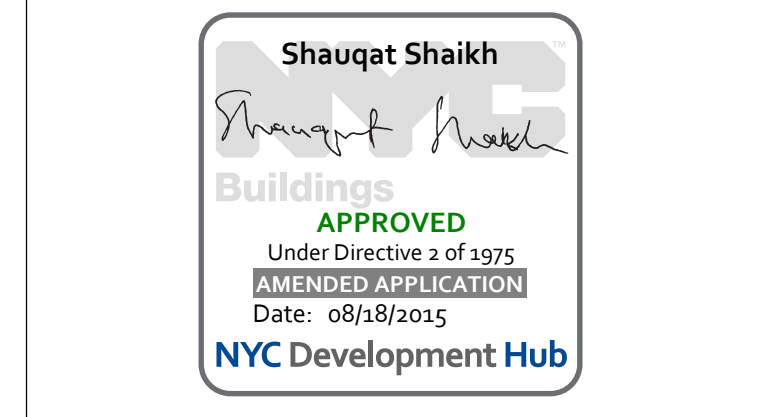
DRAWING TITLE

**DAYLIGHT EVALUATION DIAGRAM -VP1**

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130007	
DRAWN BY	SHAP	
CHECKED BY	DLG	
DOB NO.	121332066	
DRAWING NUMBER	<b>Z-116.01</b>	



DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

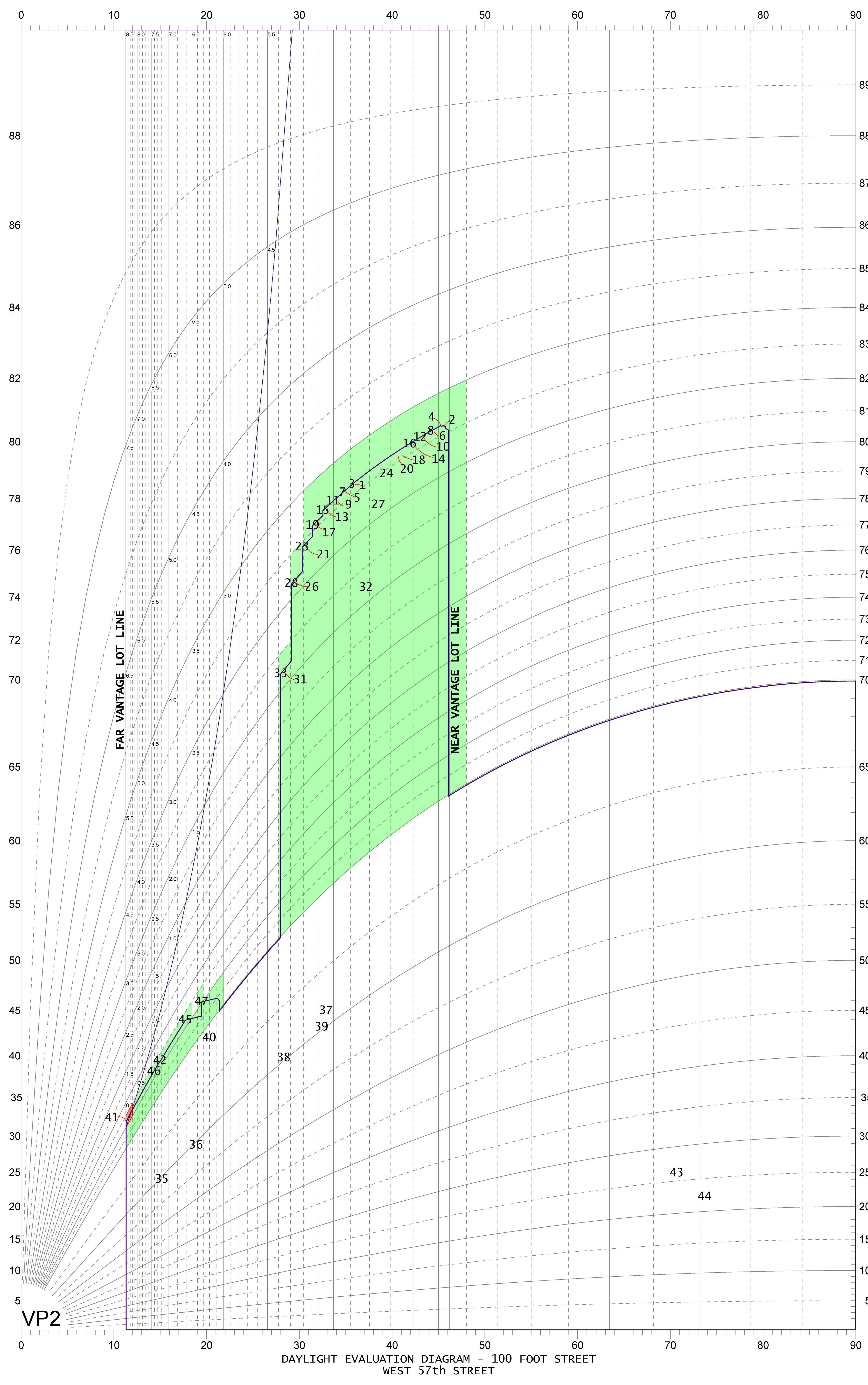


1	3/27/15	DOB PAA
2	5/1/14	DOB PLING SET
NO.	DATE	REVISION
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DRAWING TITLE

**DAYLIGHT EVALUATION DIAGRAM -VP2**

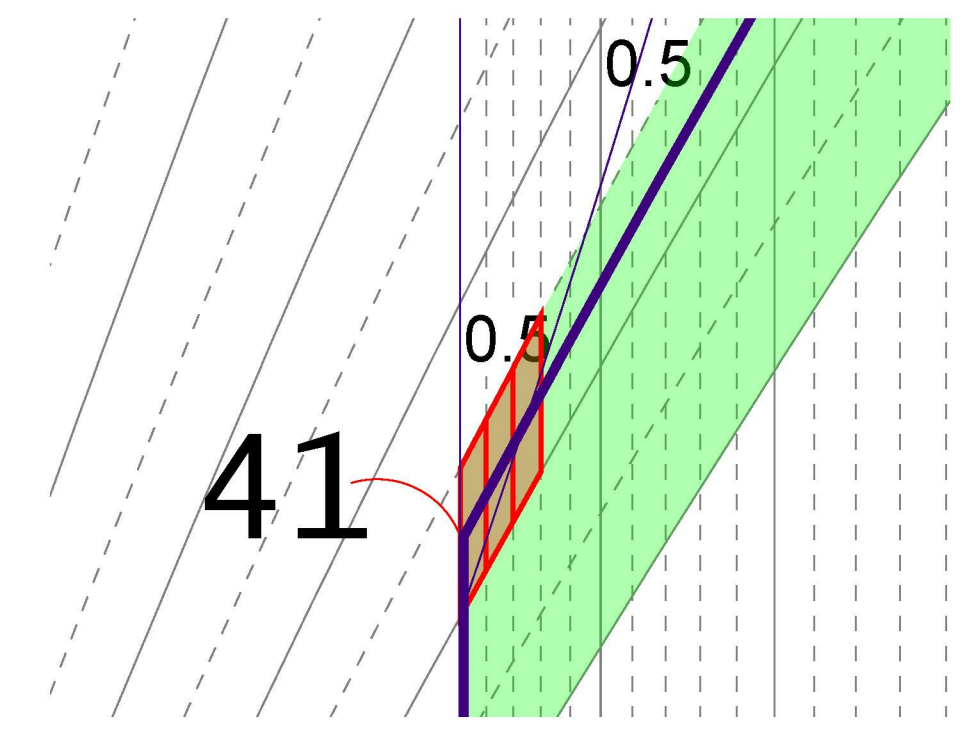
SEAL & SIGNATURE: [Signature] DATE: 3/27/15  
PROJECT NO: 130607  
DRAWN BY: SHAP  
CHECKED BY: DLG  
DOB NO: 121332968  
DRAWING NUMBER: Z-117.01



**Section 81-273(d) w 57th Street VP 2**  
Far Lot Line 50.00 250.00 0.20 11.3  
Near Lot Line 150.00 144.00 1.04 46.2

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle [H]	[S]	Tan[H/S]	Angle
1	147.67	203.42	0.73	36.0	1,240.46	147.67	8.40
2	147.67	144.67	1.02	45.6	1,240.46	147.67	8.40
3	145.92	203.42	0.72	35.7	1,232.74	145.92	8.45
4	145.92	144.67	1.01	45.2	1,232.74	145.92	8.45
5	142.26	203.42	0.70	35.0	1,193.96	142.26	8.39
6	142.26	144.67	0.98	44.5	1,193.96	142.26	8.39
7	140.50	203.42	0.69	34.6	1,186.24	140.50	8.44
8	140.50	144.67	0.97	44.2	1,186.24	140.50	8.44
9	136.84	203.42	0.67	33.9	1,147.46	136.84	8.39
10	136.84	144.67	0.95	43.4	1,147.46	136.84	8.39
11	135.09	203.42	0.66	33.6	1,139.74	135.09	8.44
12	135.09	144.67	0.93	43.0	1,139.74	135.09	8.44
13	131.42	203.42	0.65	32.9	1,100.96	131.42	8.38
14	131.42	144.67	0.91	42.3	1,100.96	131.42	8.38
15	129.67	203.42	0.64	32.5	1,092.88	129.67	8.43
16	129.67	144.67	0.90	41.9	1,092.88	129.67	8.43
17	126.01	203.42	0.62	31.8	1,038.96	126.01	8.25
18	126.01	144.67	0.87	41.1	1,038.96	126.01	8.25
19	124.25	203.42	0.61	31.4	1,031.24	124.25	8.30
20	124.25	144.67	0.86	40.7	1,031.24	124.25	8.30
21	120.59	203.42	0.59	30.7	961.46	120.59	7.97
22	120.59	144.67	0.83	39.8	961.46	120.59	7.97
23	118.84	203.42	0.58	30.3	953.74	118.84	8.03
24	118.84	144.67	0.82	39.4	953.74	118.84	8.03
26	115.17	203.42	0.57	29.5	852.96	115.17	7.41
27	115.17	144.67	0.80	38.5	852.96	115.17	7.41
28	113.42	203.42	0.56	29.1	845.24	113.42	7.45
29	113.42	144.67	0.78	38.1	845.24	113.42	7.45
31	109.76	203.42	0.54	28.3	651.46	109.76	5.94
32	109.76	144.67	0.76	37.2	651.46	109.76	5.94
33	108.00	203.42	0.53	28.0	643.74	108.00	5.96
34	108.00	144.67	0.75	36.7	643.74	108.00	5.96
35	50.00	184.50	0.27	15.2	85.00	50.00	1.70
36	50.00	146.54	0.34	18.8	85.00	50.00	1.70
37	147.44	228.16	0.65	32.9	271.38	147.44	1.84
38	132.01	245.00	0.54	28.3	231.46	132.01	1.75
39	132.01	208.15	0.63	32.4	231.46	132.01	1.75
40	84.85	229.49	0.37	20.3	220.44	84.85	2.60
41	50.00	250.00	0.20	11.3	159.14	50.00	3.18
42	50.00	186.99	0.27	15.0	159.14	50.00	3.18
43	125.42	44.00	2.85	70.7	61.70	125.42	0.49
44	150.42	44.00	3.42	73.7	61.70	150.42	0.41
45	62.00	194.19	0.32	17.7	196.74	62.00	3.17
46	62.00	242.80	0.26	14.3	196.74	62.00	3.17
47	70.87	200.71	0.35	19.4	219.66	70.87	3.10

**DETAIL**



**Profile Penalties**  
0.3 x 0.50 = 0.15  
(3 Boxes @ 0.5)

**Scoring Summary (Vantage point 2)**

Section	Description	Score
81-274(b)	Squares above 70°	-20.70
81-274(c)	Squares below 70°	0.00
81-274(d)	Profile Encroachment penalty	-0.15
<b>Total Blockage</b>		<b>-20.85</b>
81-274(e)	Available Daylight Squares	80.80
81-274(f)	Remaining daylight	59.95
81-274(g)	<b>Daylight Score</b>	<b>74.20%</b>



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

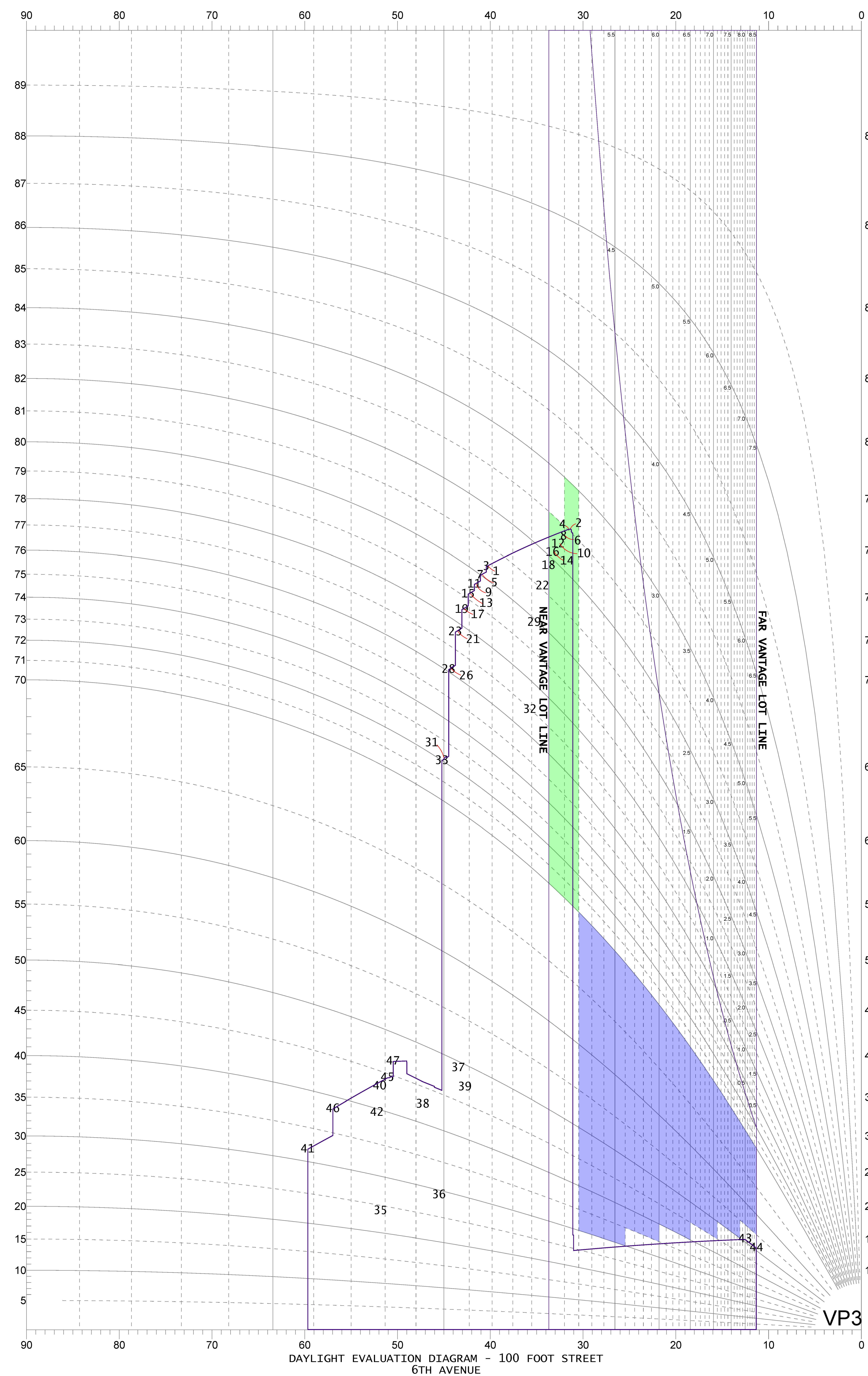


1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

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DRAWING TITLE  
**DAYLIGHT EVALUATION DIAGRAM - VP3**

SEAL & SIGNATURE: [Signature] DATE: 3.27.15  
PROJECT NO: 130007  
DRAWN BY: SHpP  
CHECKED BY: DLG  
DOB NO: 121302006  
DRAWING NUMBER: **Z-118.01**



**Section 81-273(d) 6th Ave vp 3**  
Far Lot Line -50.00 250.00 -0.20 11.3  
Near Lot Line -150.00 225.00 -0.67 33.7

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle [H]	[S]	Tan[H/S]	Angle
1	209.42	247.25	0.85	40.3	1,240.46	209.42	5.92 80.4
2	150.67	247.25	0.61	31.4	1,240.46	150.67	8.23 83.1
3	209.42	245.50	0.85	40.5	1,232.74	209.42	5.89 80.4
4	150.67	245.50	0.61	31.5	1,232.74	150.67	8.18 83.0
5	209.42	241.84	0.87	40.9	1,193.96	209.42	5.70 80.1
6	150.67	241.84	0.62	31.9	1,193.96	150.67	7.92 82.8
7	209.42	240.08	0.87	41.1	1,186.24	209.42	5.66 80.0
8	150.67	240.08	0.63	32.1	1,186.24	150.67	7.87 82.8
9	209.42	236.42	0.89	41.5	1,147.46	209.42	5.48 79.7
10	150.67	236.42	0.64	32.5	1,147.46	150.67	7.62 82.5
11	209.42	234.67	0.89	41.7	1,139.74	209.42	5.44 79.6
12	150.67	234.67	0.64	32.7	1,139.74	150.67	7.56 82.5
13	209.42	231.00	0.91	42.2	1,100.96	209.42	5.26 79.2
14	150.67	231.00	0.65	33.1	1,100.96	150.67	7.31 82.2
15	209.42	229.25	0.91	42.4	1,092.88	209.42	5.22 79.2
16	150.67	229.25	0.66	33.3	1,093.24	150.67	7.26 82.2
17	209.42	225.59	0.93	42.9	1,038.96	209.42	4.96 78.6
18	150.67	225.59	0.67	33.7	1,038.96	150.67	6.90 81.7
19	209.42	223.83	0.94	43.1	1,031.24	209.42	4.92 78.5
20	150.67	223.83	0.67	33.9	1,031.24	150.67	6.84 81.7
21	209.42	220.17	0.95	43.6	961.46	209.42	4.59 77.7
22	150.67	220.17	0.68	34.4	961.46	150.67	6.38 81.1
23	209.42	218.42	0.96	43.8	953.74	209.42	4.55 77.6
24	150.67	218.42	0.69	34.6	953.74	150.67	6.33 81.0
25	209.42	214.75	0.98	44.3	852.96	209.42	4.07 76.2
26	150.67	214.75	0.70	35.1	852.96	150.67	5.66 80.0
27	209.42	213.00	0.98	44.5	845.24	209.42	4.04 76.1
28	150.67	213.00	0.71	35.3	845.24	150.67	5.61 79.9
29	209.42	209.34	1.00	45.0	651.46	209.42	3.11 72.2
30	150.67	209.34	0.72	35.7	651.46	150.67	4.32 77.0
31	209.42	207.58	1.01	45.3	643.74	209.42	3.07 72.0
32	150.67	207.58	0.73	36.0	643.74	150.67	4.27 76.8
33	190.50	149.58	1.27	51.9	85.00	190.50	0.45 24.0
34	152.54	149.58	1.02	45.6	85.00	152.54	0.56 29.1
35	234.16	247.02	0.95	43.5	271.38	234.16	1.16 49.2
36	251.00	231.59	1.08	47.3	231.46	251.00	0.92 42.7
37	214.15	231.59	0.92	42.8	231.46	214.15	1.08 47.2
38	235.49	184.43	1.28	51.9	220.44	235.49	0.94 43.1
39	256.00	149.58	1.71	59.7	159.14	256.00	0.62 31.9
40	192.99	149.58	1.29	52.2	159.14	192.99	0.82 39.5
41	50.00	225.00	0.22	12.5	61.70	50.00	1.23 51.0
42	50.00	250.00	0.20	11.3	61.70	50.00	1.23 51.0
43	200.19	161.58	1.24	51.1	196.74	200.19	0.98 44.5
44	248.80	161.58	1.54	57.0	196.74	248.80	0.79 38.3
45	206.71	170.45	1.21	50.5	219.66	206.71	1.06 46.7

Scoring Summary (vantage point 3)

Section	Description	Score
81-274(b)	Squares above 70'	-2.70
81-274(c)	Squares below 70'	5.07
81-274(d)	Profile Encroachment penalty	0.00
	Total Blockage	2.37
81-274(e)	Available Daylight Squares	70.00
81-274(f)	Remaining daylight	72.37
81-274(g)	Daylight score	<b>103.39%</b>

ARCHITECT

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230 BROADWAY - 11TH FLOOR  
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TEL: 212 869 8500

STRUCTURAL ENGINEER

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228 EAST 47TH STREET  
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TEL: 212 867 5886

MEP ENGINEER

JARVIS, BAIAM & BOLLER  
40 WING STREET, 10TH FLOOR  
NEW YORK, NY 10003  
TEL: 212 693 8833

CIVIL ENGINEER

AWRIF ENGINEERING, P.C.  
40 WING STREET, 10TH FLOOR  
NEW YORK, NY 10003  
TEL: 646 288 8928

ACOUSTICIST

LONGMAN LANDSEY  
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NEW YORK, NY 10019  
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TLORON ZEMFIELD  
30 WALKER STREET  
NEW YORK, NY 10002  
TEL: 212 475 3300

FAÇADE

SHAPIRO WERFIELD  
100 BROADWAY  
NEW YORK, NY 10002  
TEL: 212 254 2025

VERTICAL TRANSPORTATION

VAN DEUSEN & ASSOCIATES  
1 WING STREET, SUITE 200  
LARKSPER, NY 10009  
TEL: 917 288 8870

RESTORATION

JAN HIRSH FOKORNY ASSOCIATES  
30 WEST 57TH STREET, 11TH FLR  
NEW YORK, NY 10019  
TEL: 212 268 6480

GEOTECH

NYCE  
305 WEST 40TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 917 288 4900

LIGHTING

CONSERVATION INTERNATIONAL  
100 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10002  
TEL: 212 255 4463



PROPERTY MARKETS GROUP  
104 WEST 48TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212 869 8500

CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3/27/15	DOB PAA
2	5/1/14	DOB PLUNG SET
NO.	DATE	REVISION

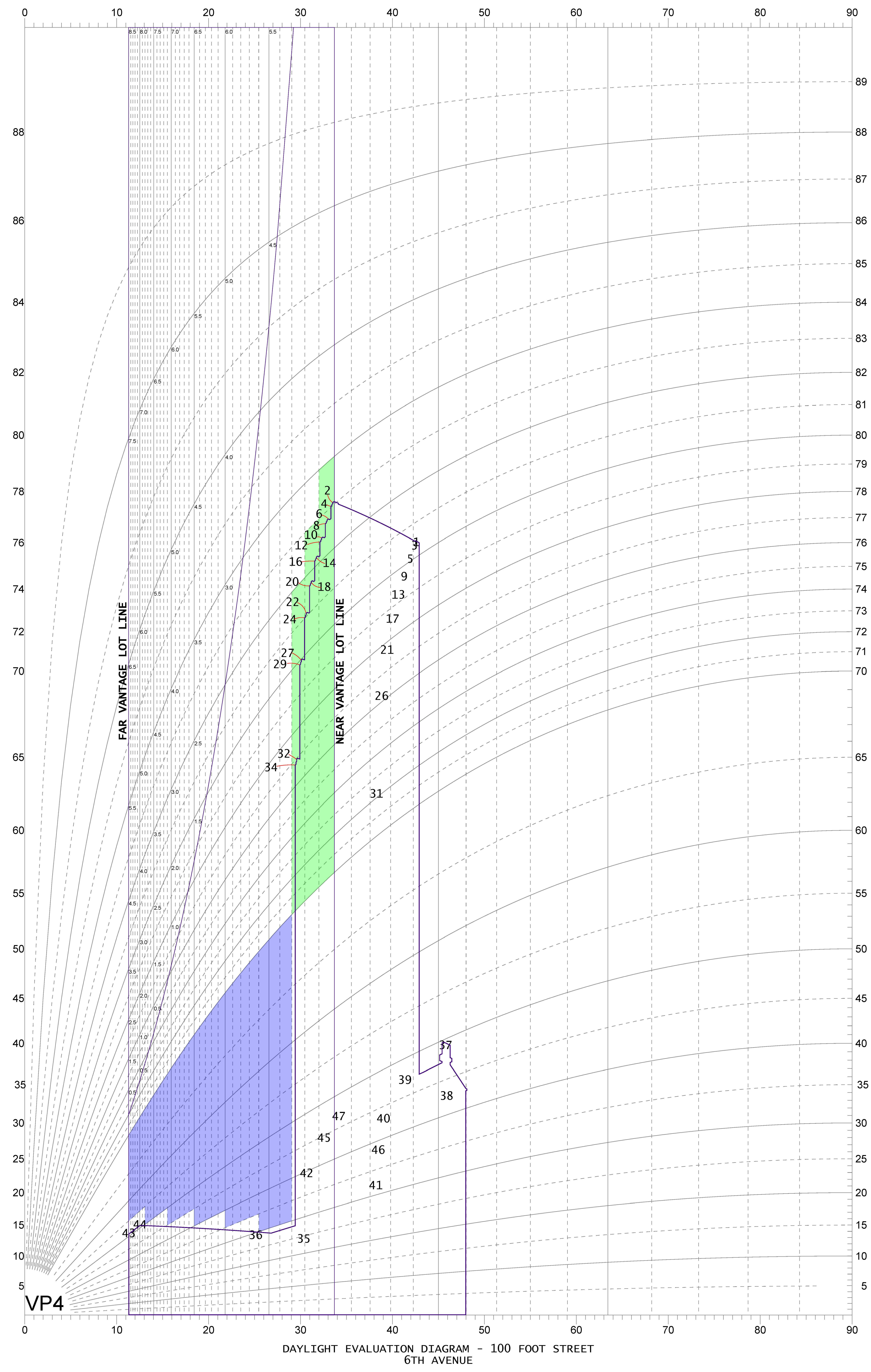
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DRAWING TITLE

**DAYLIGHT EVALUATION DIAGRAM - VP4**

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130007	
DRAWN BY	SHAP	
CHECKED BY	DLG	
DOB NO.	121302006	
DRAWING NUMBER		

**Z-119.01**



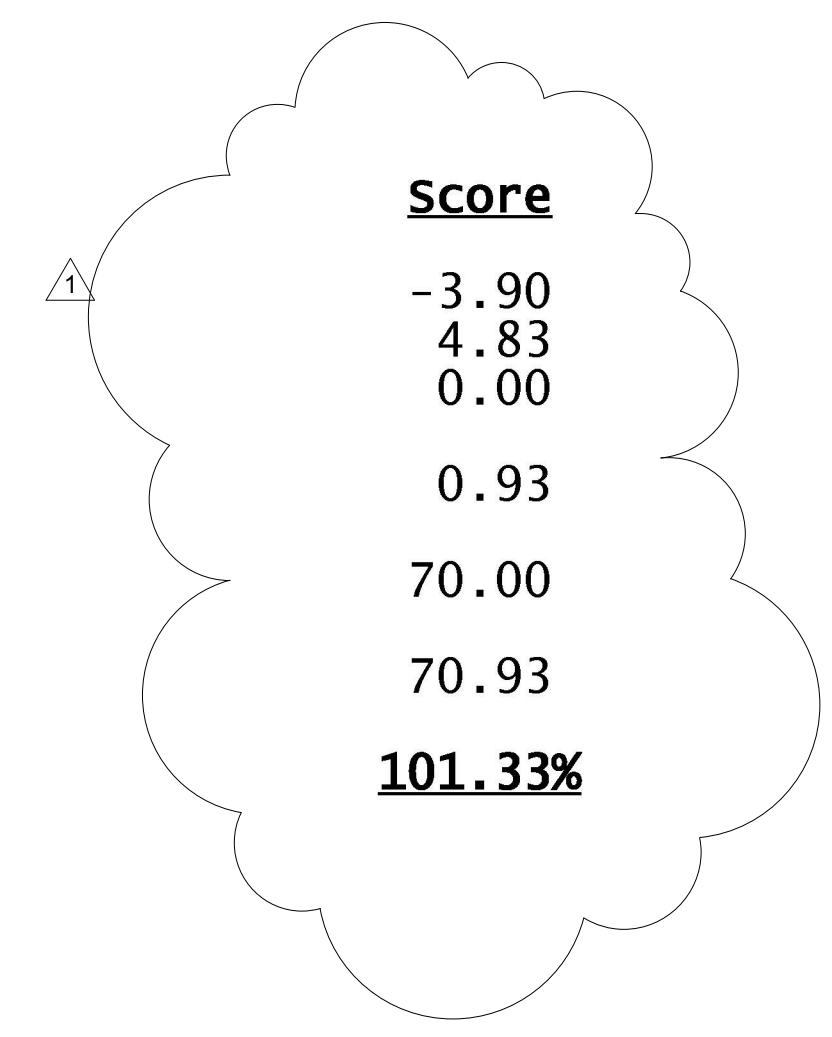
**Section 81-273(d) 6th Ave VP 4**

Far Lot Line	50.00	250.00	0.20	11.3
Near Lot Line	150.00	225.00	0.67	33.7

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle [H]	[S]	Tan[H/S]	Angle	
1	209.42	227.75	0.92	42.6	1,240.46	209.42	5.92	80.4
2	150.67	227.75	0.66	33.5	1,240.46	150.67	8.23	83.1
3	209.42	229.50	0.91	42.4	1,232.74	209.42	5.89	80.4
4	150.67	229.50	0.66	33.3	1,232.74	150.67	8.18	83.0
5	209.42	233.16	0.90	41.9	1,193.96	209.42	5.70	80.1
6	150.67	233.16	0.65	32.9	1,193.96	150.67	7.92	82.8
7	209.42	234.92	0.89	41.7	1,186.24	209.42	5.66	80.0
8	150.67	234.92	0.64	32.7	1,186.24	150.67	7.87	82.8
9	209.42	238.58	0.88	41.3	1,147.46	209.42	5.48	79.7
10	150.67	238.58	0.63	32.3	1,147.46	150.67	7.62	82.5
11	209.42	240.33	0.87	41.1	1,139.74	209.42	5.44	79.6
12	150.67	240.33	0.63	32.1	1,139.74	150.67	7.56	82.5
13	209.42	244.00	0.86	40.6	1,100.96	209.42	5.26	79.2
14	150.67	244.00	0.62	31.7	1,100.96	150.67	7.31	82.2
15	209.42	245.75	0.85	40.4	1,092.88	209.42	5.22	79.2
16	150.67	245.75	0.61	31.5	1,093.24	150.67	7.26	82.2
17	209.42	249.41	0.84	40.0	1,038.96	209.42	4.96	78.6
18	150.67	249.41	0.60	31.1	1,038.96	150.67	6.90	81.7
19	209.42	251.17	0.83	39.8	1,031.24	209.42	4.92	78.5
20	150.67	251.17	0.60	31.0	1,031.24	150.67	6.84	81.7
21	209.42	254.83	0.82	39.4	961.46	209.42	4.59	77.7
22	150.67	254.83	0.59	30.6	961.46	150.67	6.38	81.1
23	209.42	256.58	0.82	39.2	953.74	209.42	4.55	77.6
24	150.67	256.58	0.59	30.4	953.74	150.67	6.33	81.0
26	209.42	260.25	0.80	38.8	852.96	209.42	4.07	76.2
27	150.67	260.25	0.58	30.1	852.96	150.67	5.66	80.0
28	209.42	262.00	0.80	38.6	845.24	209.42	4.04	76.1
29	150.67	262.00	0.58	29.9	845.24	150.67	5.61	79.9
31	209.42	265.66	0.79	38.2	651.46	209.42	3.11	72.2
32	150.67	265.66	0.57	29.6	651.46	150.67	4.32	77.0
33	209.42	267.42	0.78	38.1	643.74	209.42	3.07	72.0
34	150.67	267.42	0.56	29.4	643.74	150.67	4.27	76.8
35	190.50	325.42	0.59	30.3	85.00	190.50	0.45	24.0
36	152.54	325.42	0.47	25.1	85.00	152.54	0.56	29.1
37	234.16	227.98	1.03	45.8	271.38	234.16	1.16	49.2
38	251.00	243.41	1.03	45.9	231.46	251.00	0.92	42.7
39	214.15	243.41	0.88	41.3	231.46	214.15	1.08	47.2
40	235.49	290.57	0.81	39.0	220.44	235.49	0.94	43.1
41	256.00	325.42	0.79	38.2	159.14	256.00	0.62	31.9
42	192.99	325.42	0.59	30.7	159.14	192.99	0.82	39.5
43	50.00	250.00	0.20	11.3	61.70	50.00	1.23	51.0
44	50.00	225.00	0.22	12.5	61.70	50.00	1.23	51.0
45	200.19	313.42	0.64	32.6	196.74	200.19	0.98	44.5
46	248.80	313.42	0.79	38.4	196.74	248.80	0.79	38.3
47	206.71	304.55	0.68	34.2	219.66	206.71	1.06	46.7

Scoring Summary  
(Vantage point 4)

Section	Score
81-274(b) Squares above 70°	-3.90
81-274(c) Squares below 70°	4.83
81-274(d) Profile Encroachment penalty	0.00
Total Blockage	0.93
81-274(e) Available Daylight Squares	70.00
81-274(f) Remaining daylight	70.93
81-274(g) Daylight score	<b>101.33%</b>





**PARTITION GENERAL NOTES**

- PARTITIONS SHALL BE TYPE AS UNLESS NOTED OTHERWISE.
- INSTALL WATER RESISTANT GYP. BD. AT PARTITIONS IN TOILET ROOMS, LOCKER ROOMS AND SHOWER ROOMS, JANITOR CLOSETS AND SMALL WET AREAS.
- INSTALL IMPACT RESISTANT GYP. BD. IN HIGH TRAFFIC LOCATIONS, PUBLIC CORRIDORS AND STAIRS.
- INSTALL TYPE 'Y' FIRE RATED GYP. BD. AT ALL FIRE PARTITIONS.
- ALL PARTITIONS SHALL BE ACCOUSTICALLY RATED UNLESS NOTED OTHERWISE. ALL ELEMENTS OF ACCOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE.
- STC RATINGS PROVIDE ONLY A GENERAL INDICATION OF ACCOUSTIC PERFORMANCE UNDER LABORATORY CONDITIONS. CONSTRUCTION DETAILS IN THE DRAWINGS AND SPECIFICATIONS DEFINE REQUIREMENTS FOR THE WORK.
- SEE SHEET AM-1 FOR PARTITION DETAILS.
- ALL MATERIALS AND INSTALLATION OF RATED ASSEMBLIES SHALL COMPLY WITH TESTING AGENCY REQUIREMENTS LISTED HEREIN.

ALL PARTITIONS TO EXTEND FROM SUPPORTING FROM SLAB TO UNDERSIDE OF STRUCT. U.O.N.  
TYP. MTL. STUD SIZE FOR INTERIOR PARTITIONS TO BE 63MM U.O.N.  
TYP. MTL. STUD GAUGE FOR INTERIOR PARTITIONS TO BE 20 GAUGE U.O.N.

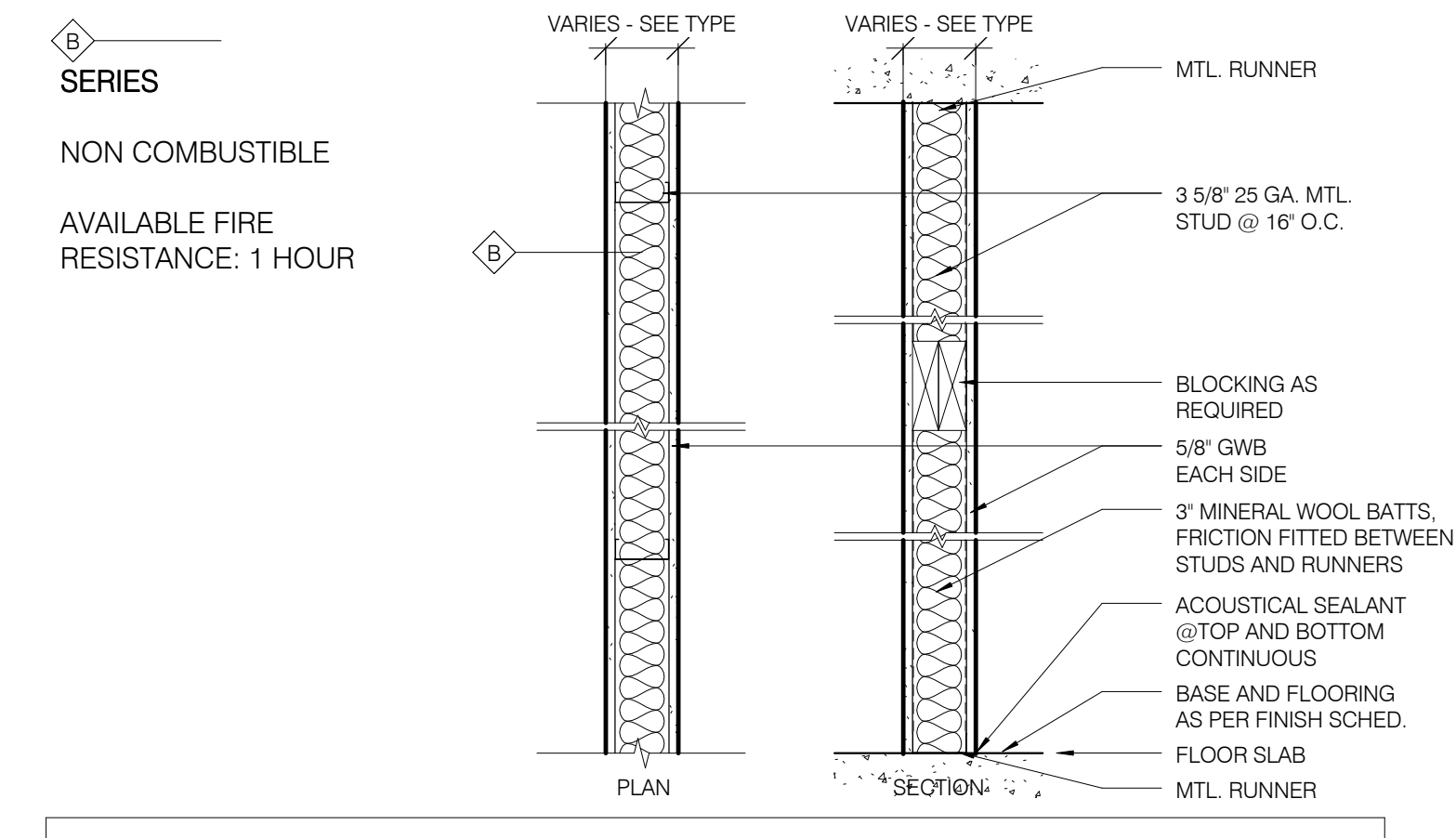
WHERE MANUFACTURERS HEIGHT OR DEFLECTION LIMITATIONS ARE EXCEEDED DUE TO FIELD CONDITIONS, USE HEAVIER GAUGE AND/OR LARGER STUD SIZE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.  
PROVIDE CONTINUOUS SH.T. MTL. BLOCKING (MIN. 3 STUD SPAN) FOR ALL WALL-MTD. FIXTURES, EQUIPMENT AND FITTINGS 152.4MM X 18 GA. MM. U.O.N.

CONTINUOUSLY SEAL ALL PTN. PERIM. EDGES AND ALL PTN. OPNINGS/PENETRATIONS TO MAINTAIN REQUIRED FIRE RESISTANCE AND/OR STC RATINGS AT FIRE RATED AND/OR AC. ISOL.

MAINTAIN CONTINUITY AND INTEGRITY OF HIGHER FIRE RATED ASSEMBLIES AT ALL PARTITION INTERSECTIONS.  
PROVIDE 12.7MM SLIP-JT. AT MTL. STUD PTN. IN TOP CHNL TRACK TO ALLOW FOR FLR. DEFLECTION.  
REFER TO ROOM FINISH SCHEDULE FOR APPLIED FINISHES.

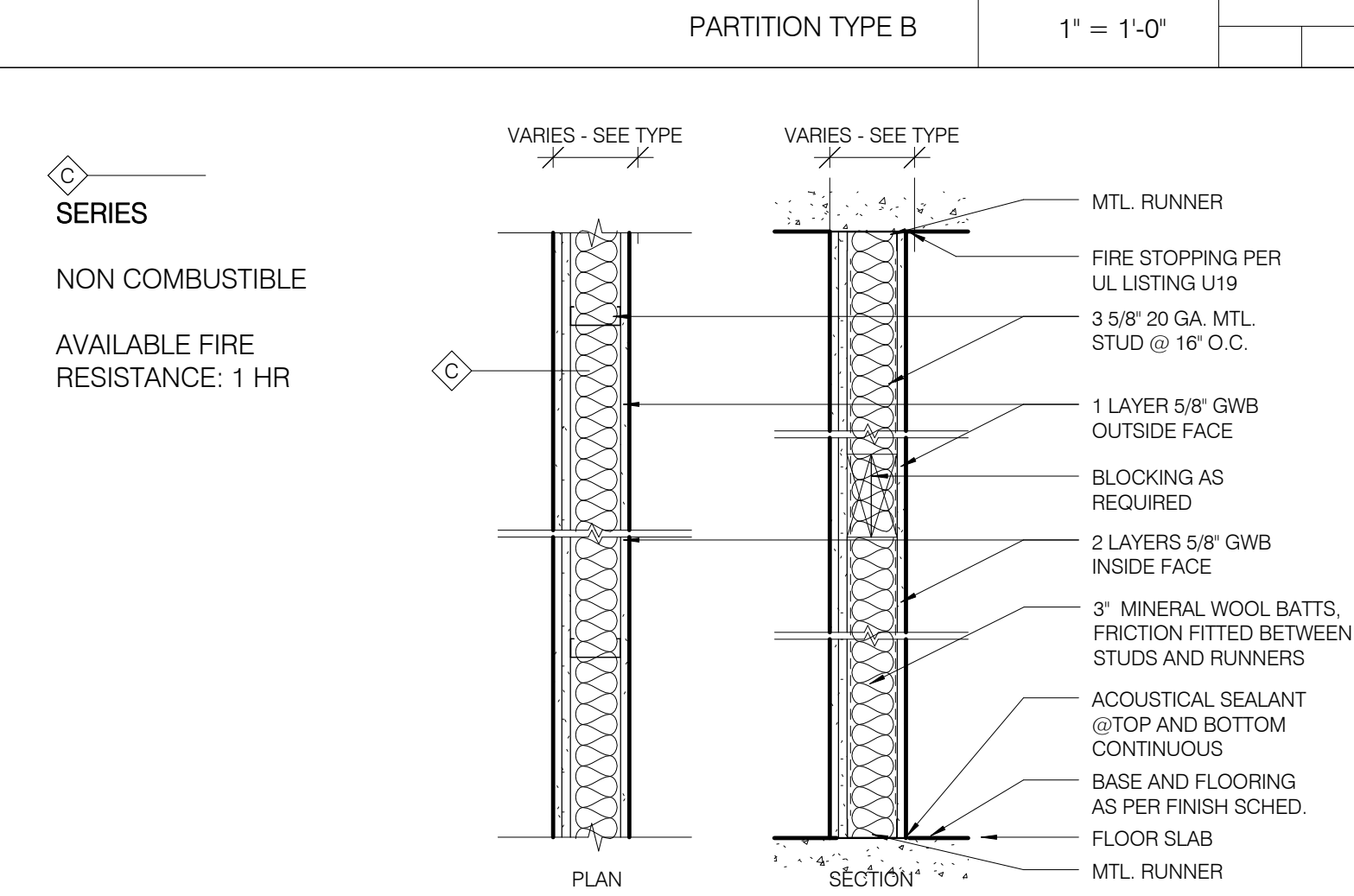
TYPICAL LIGHT GAUGE MTL. LINTEL NOTES AT NON BEARING PTN:  
- ALL LINTEL COMPONENTS TO BE 20 GA. MIN.  
- FOR OPNGS. UP TO 1.8M WIDE DBL. 20.32CM JOISTS  
- FOR OPNGS. UP TO 2.4M WIDE DBL. 20.32CM JOISTS  
- FOR OPNGS. UP TO 3.0M WIDE DBL. 30.48CM JOISTS  
- FOR OPNGS. > 3M WIDE DBL. REFER TO STRUCTURAL DRAWINGS.

- ELECTRICAL OUTLETS BETWEEN ADJACENT DWELLING UNITS IN FIRE RATED DEMISING PARTITIONS WILL BE LOCATED IN SEPARATE STUD CAVITIES. GC TO COORDINATE.
- SEE STRUCTURAL DRAWINGS FOR EXTENT AND DESCRIPTION OF STRUCTURAL INTERIOR WALLS NOT IDENTIFIED BY PARTITION TYPES.
- PARTITION REQUIREMENTS SHOWN ARE CONSIDERED MINIMUM STANDARDS. WHERE CONDITIONS OF THE WORK CAUSE PARTITION TO EXCEED LIMITS RECOMMENDED BY MANUFACTURER, REINFORCE PARTITION.
- PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.
- WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
- TYPICAL FLOOR PLAN DIMENSIONS OF PARTITIONS ARE TO THE NOMINAL FINISH FACE OF GYPSUM BOARD UNLESS NOTED TO THE CENTERLINE OF THE PARTITION.
- WHERE PARTITIONS AND/OR FLURRING MEET, MAINTAIN A FLUSH SURFACE ON THE SIDE WHERE THE FINISH IS STRAIGHT OR CONTINUOUS UNLESS NOTED OTHERWISE.



**PARTITION SCHEDULE - B SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
B2	2 1/2"	3 3/4"	1HR	ULF U494	47 EST	40-44	1 HR REQ'D 1 1/2" MIN INSUL, PROVIDE BRACING WHERE HT EXCEEDS 12'7"
B3	3 5/8"	4 7/8"	1HR	ULF U465	45-49	40-44	1 HR REQ'D 2 1/2" MIN INSUL
B6	6"	7 1/4"	1HR	ULF U465	45-49	40-44	
B8	8"	9 1/4"	1HR	ULF U465	45-49	40-44	

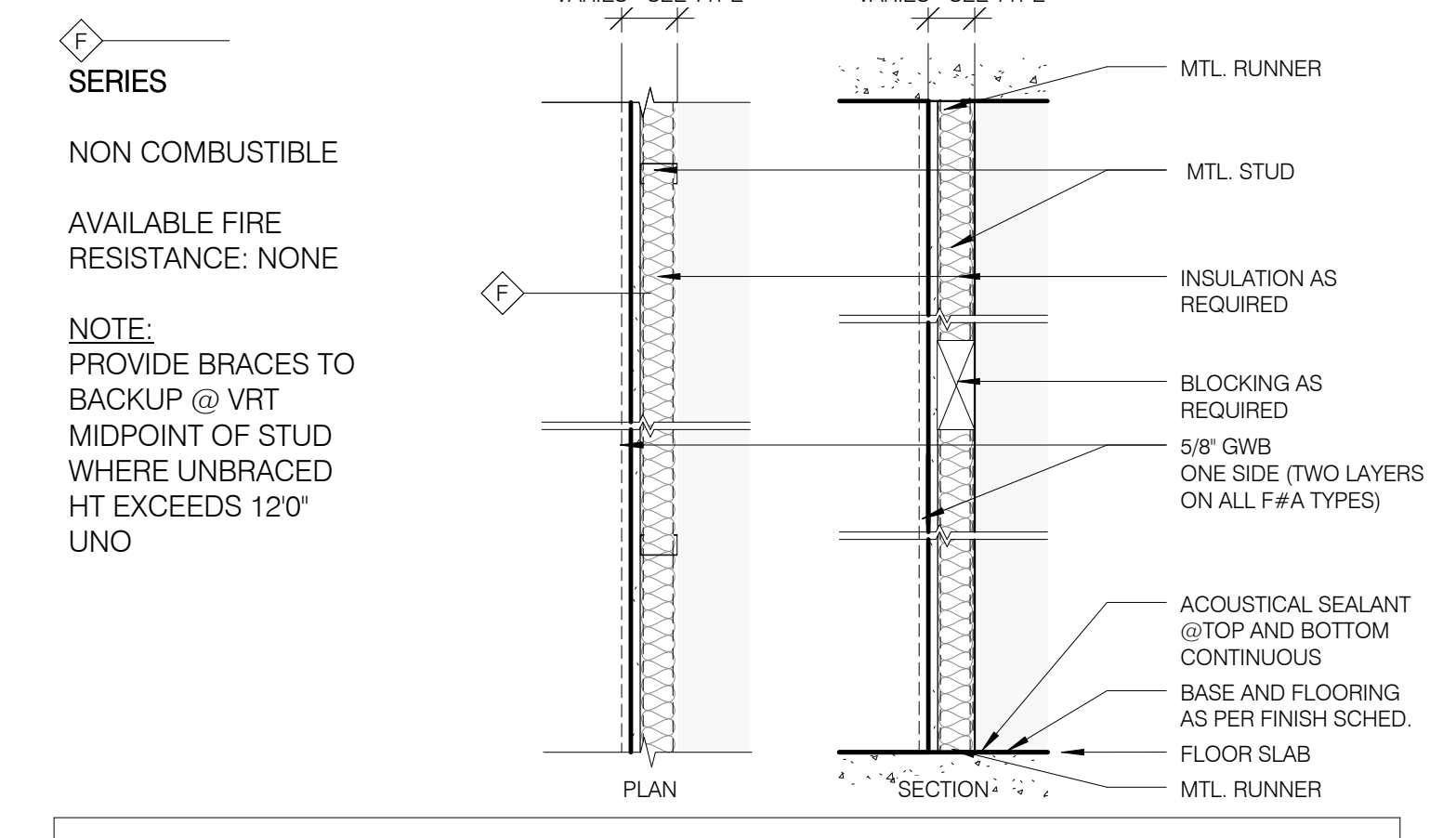


**PARTITION SCHEDULE - C SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
C2	2 1/2"	4 3/8"	1HR	ULF U448	50-54	41 EST	1 HR REQ'D 2 1/2" MIN INSUL, PROVIDE BRACING WHERE HT EXCEEDS 12'7"
C3	3 5/8"	5 1/2"	1HR	ULF U465	50-54	41 EST	
C6	6"	7 7/8"	1HR	ULF U465	50-54	41 EST	
C8	8"	9 7/8"	1HR	ULF U465	50-54	41 EST	

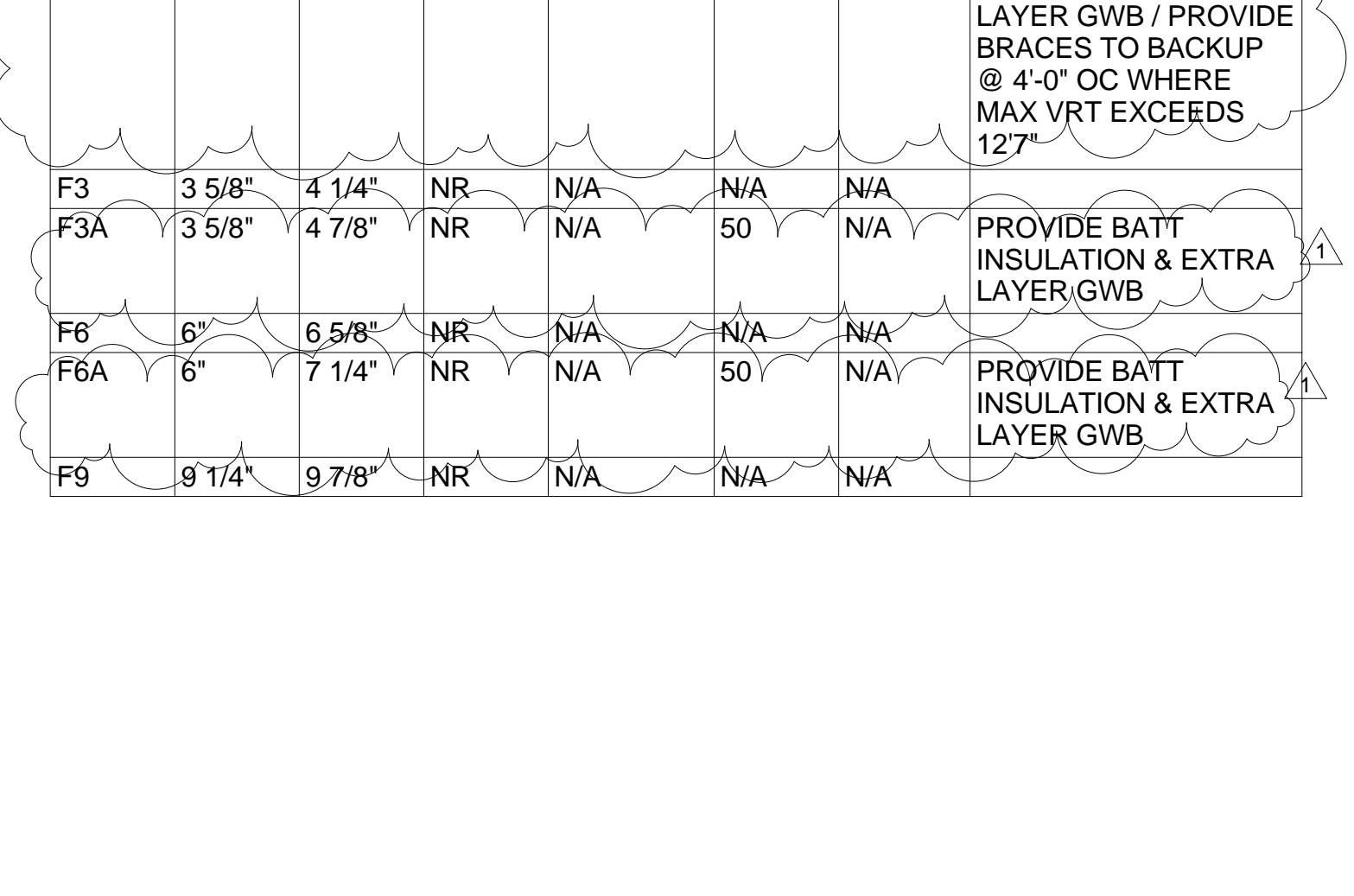
**WALL TYPES KEY**

WALL TYPE	STUD THICKNESS	NO. MARK
W-1	3/8"	GWB-1
W-2	3/8"	C = CEMENT BOARD
W-3	3/8"	X = TYPE X (GWB-3)
W-4	3/8"	M = MOISTURE RESISTANT BOARD (GWB-3)
W-5	3/8"	I = IMPACT RESISTANT BOARD (GWB-4)
W-6	3/8"	ME = MASONRY EQUIVALENT (GWB-4)



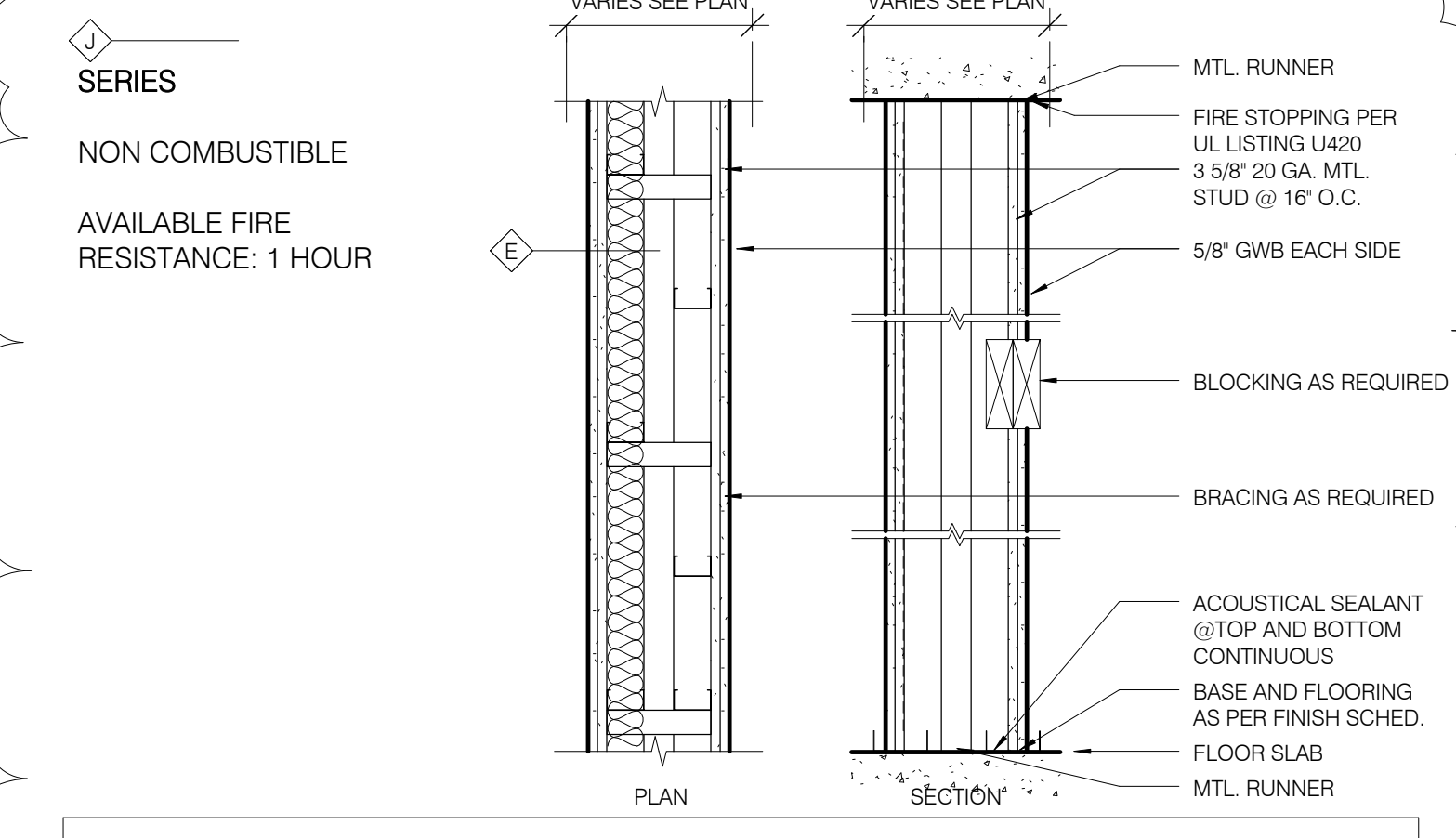
**PARTITION SCHEDULE - F SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
F1	1 1/2"	2 1/8"	NR	N/A	N/A	N/A	PROVIDE BRACES TO BACKUP @ 4'-0" MAX VRT / 2 1/2" INSUL MIN.
F2	2 1/2"	3 1/8"	NR	N/A	N/A	N/A	PROVIDE BRACES TO BACKUP @ 4'-0" OC WHERE MAX VRT EXCEEDS 12'7"
F2A	2 1/2"	3 3/4"	NR	N/A	50	N/A	PROVIDE BATT INSULATION & EXTRA LAYER GWB / PROVIDE BRACES TO BACKUP @ 4'-0" OC WHERE MAX VRT EXCEEDS 12'7"
F3	3 5/8"	4 1/4"	NR	N/A	N/A	N/A	
F3A	3 5/8"	4 7/8"	NR	N/A	50	N/A	
F6	6"	6 5/8"	NR	N/A	N/A	N/A	
F6A	6"	7 1/4"	NR	N/A	50	N/A	
F9	9 1/4"	9 7/8"	NR	N/A	N/A	N/A	



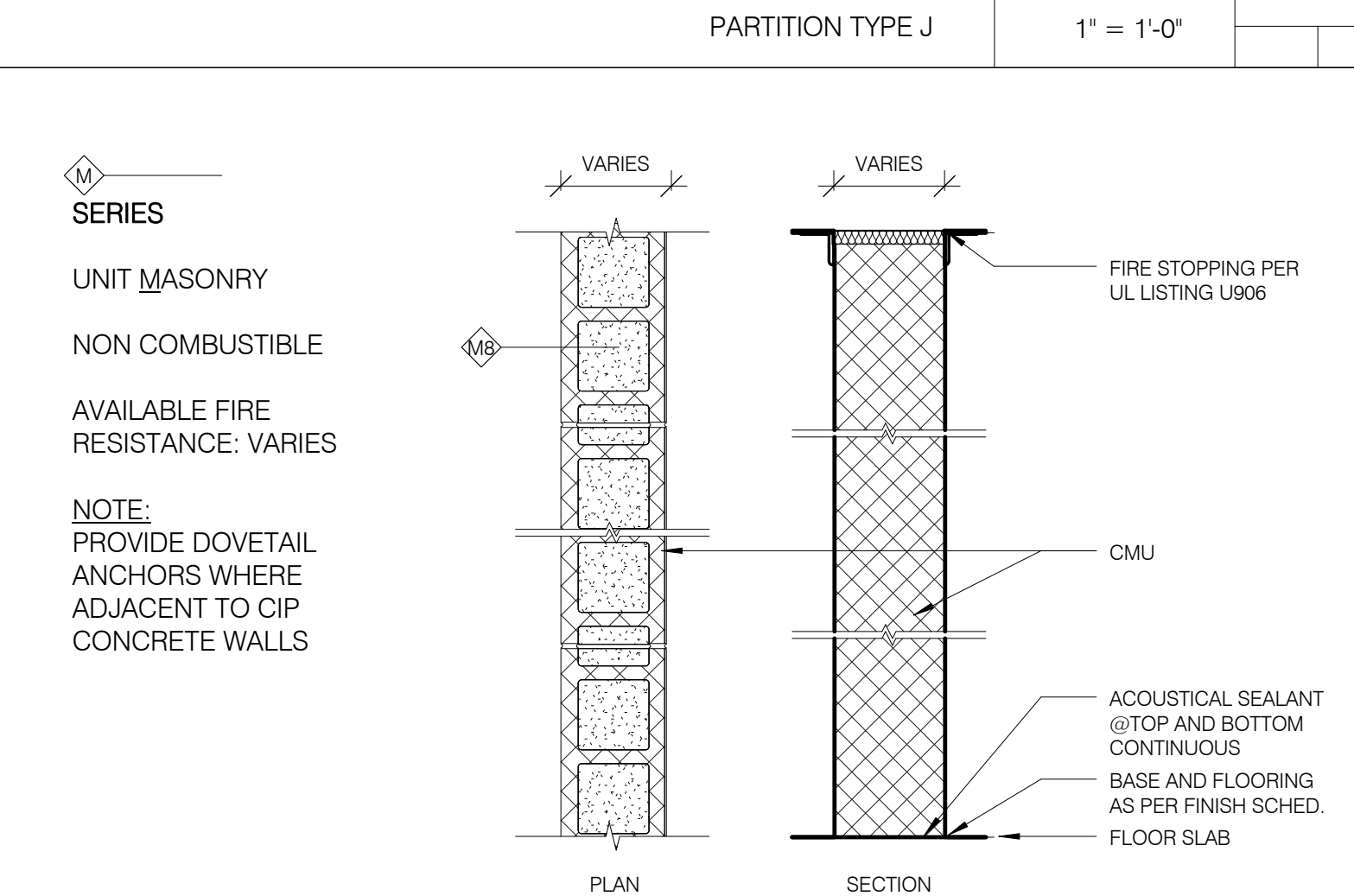
**PARTITION SCHEDULE - M SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
M6	5 5/8"	6"	2HR	ULF U906	N/A	46 EST	3 HR REQ'D SOLID BLOCK
M8	7 5/8"	8"	3HR	ULF U904	N/A	48 EST	



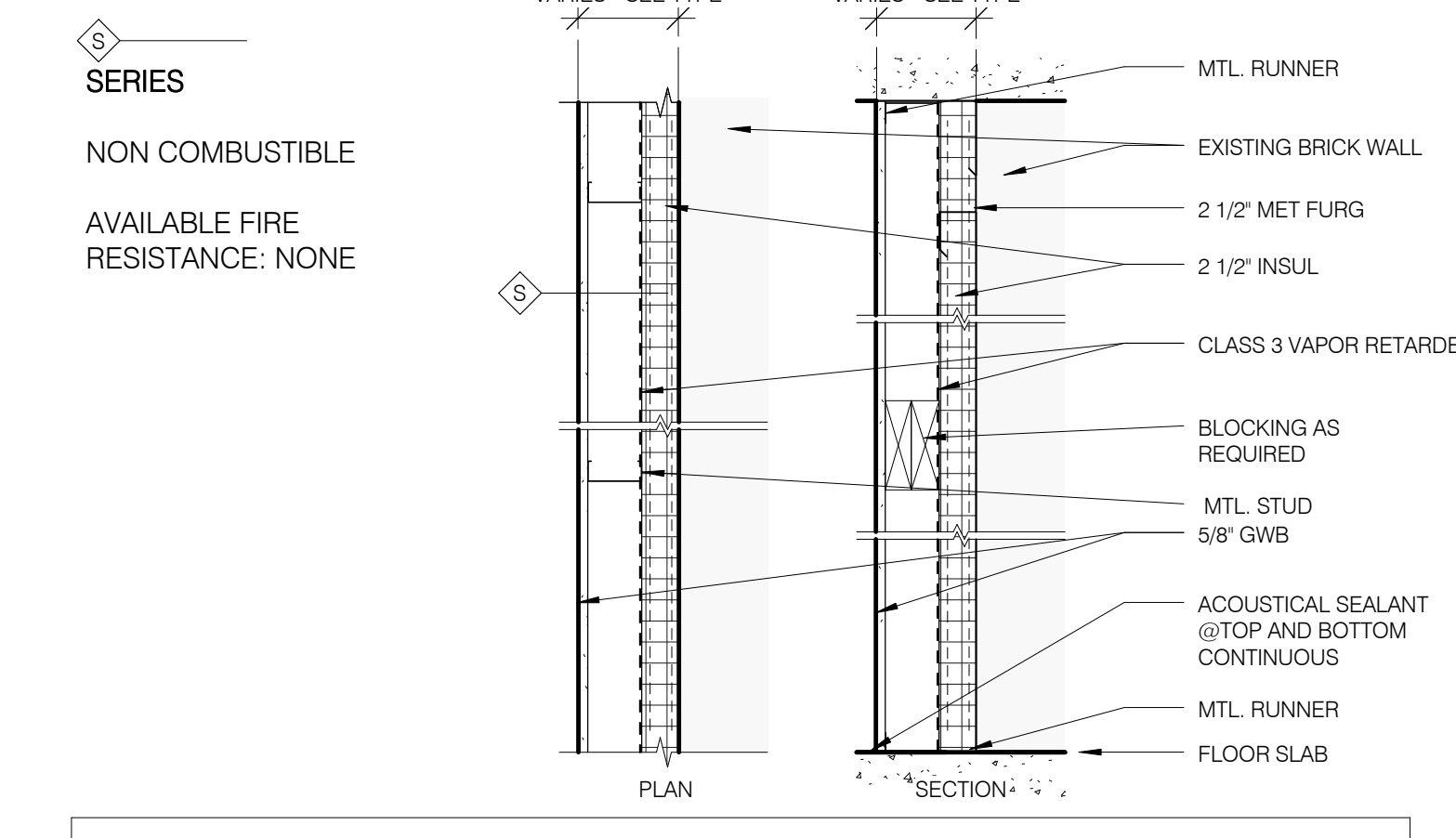
**PARTITION SCHEDULE - J SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
J2	2 1/2"	9 1/2"	2HR	UL #493	50 min	N/A	



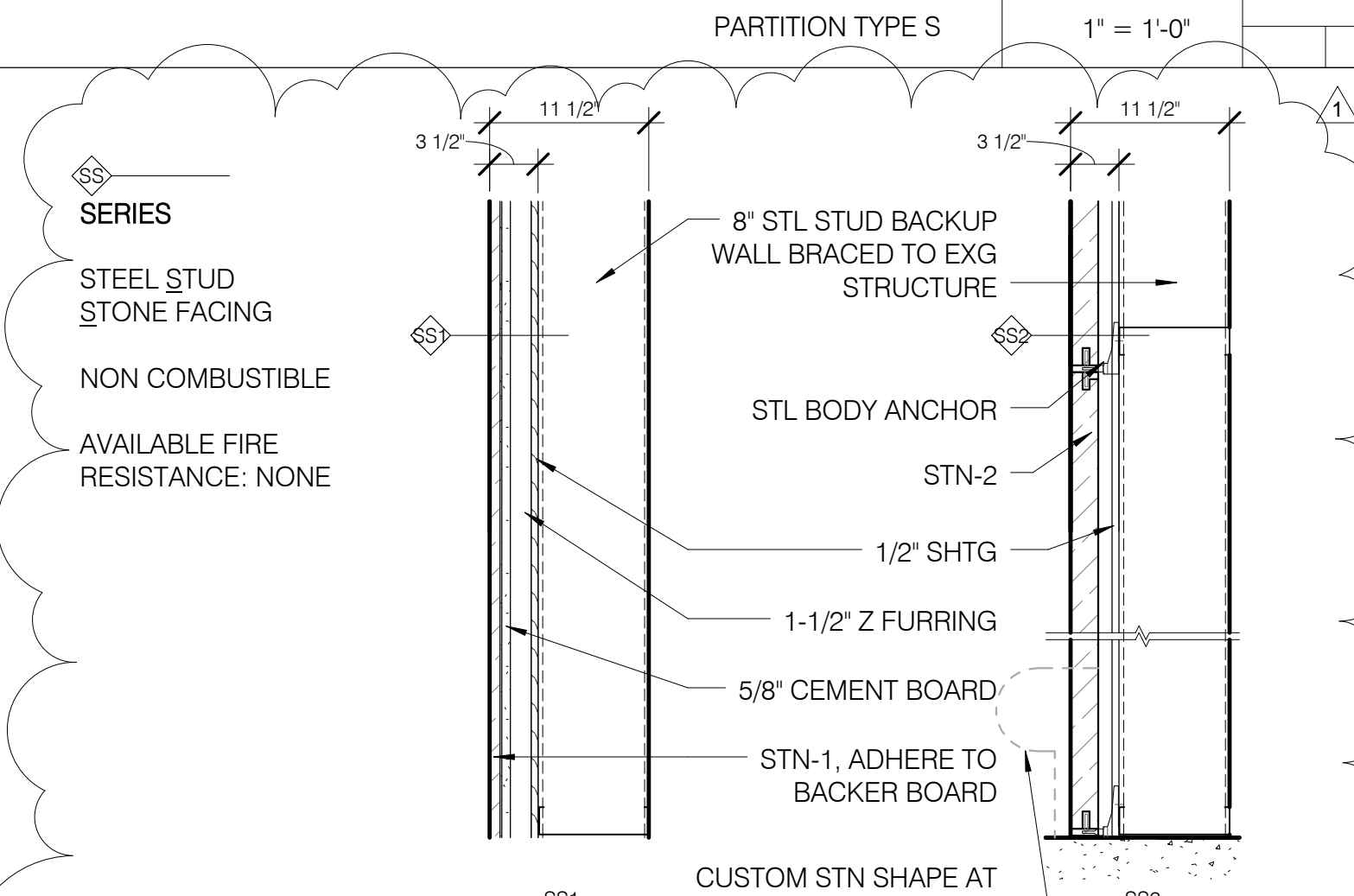
**PARTITION SCHEDULE - SS SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
SS1	8"	11 1/2"	N/A				SEE S-972 FOR STL STUD FRAMING AND BRACING
SS2	8"	11 1/2"	N/A				SEE S-972 FOR STL STUD FRAMING AND BRACING



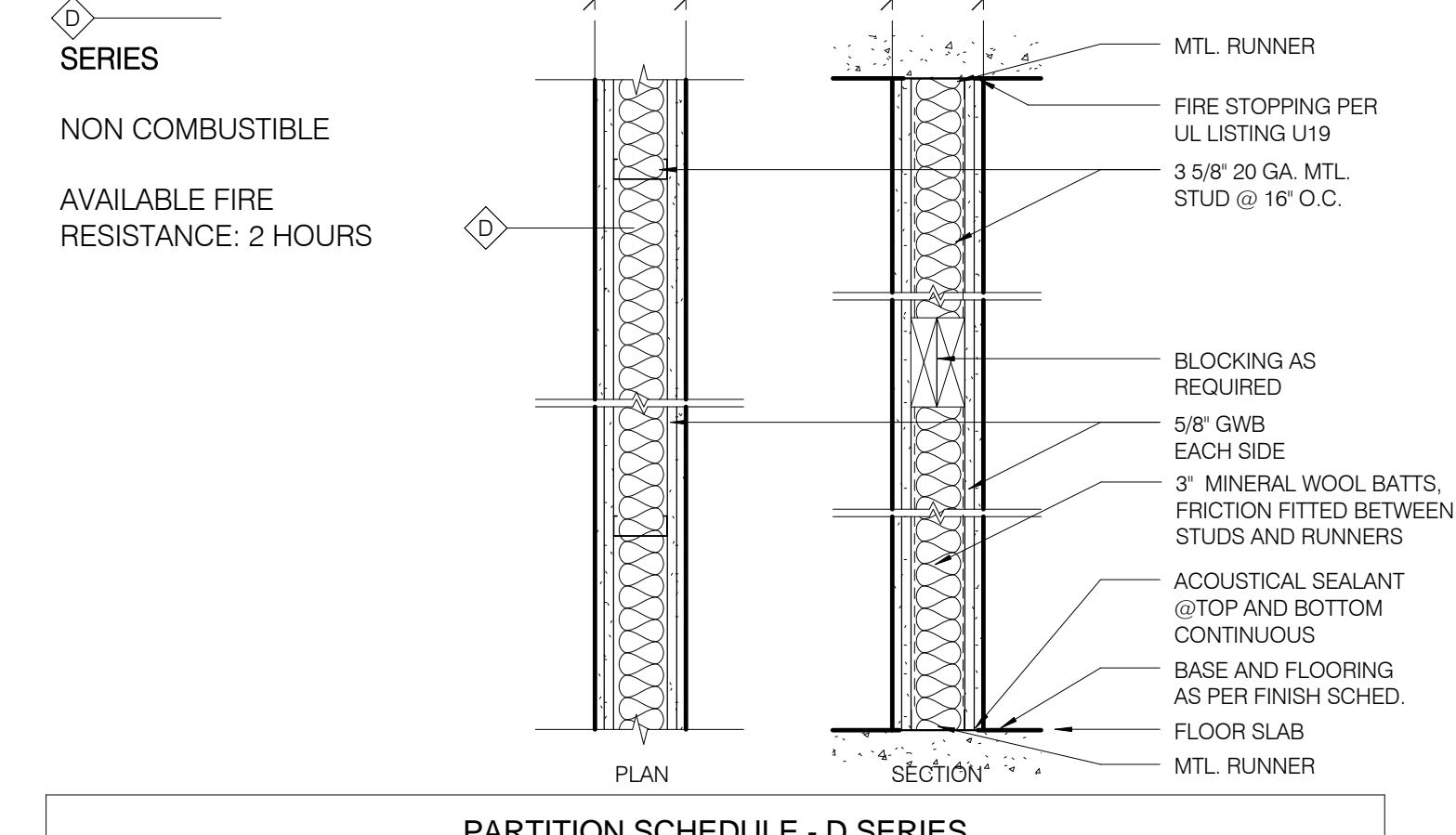
**PARTITION SCHEDULE - S SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
S2	3 5/8"	5 5/8"	NR	N/A	N/A	N/A	2 1/2" MIN MINERAL WOOL INSUL
S3	3 5/8"	6 3/4"	NR	N/A	N/A	N/A	2 1/2" MIN MINERAL WOOL INSUL



**PARTITION SCHEDULE - X SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
X1	0"	5/8"	NR	N/A	N/A	N/A	PROVIDE GWB OVER PARTITION

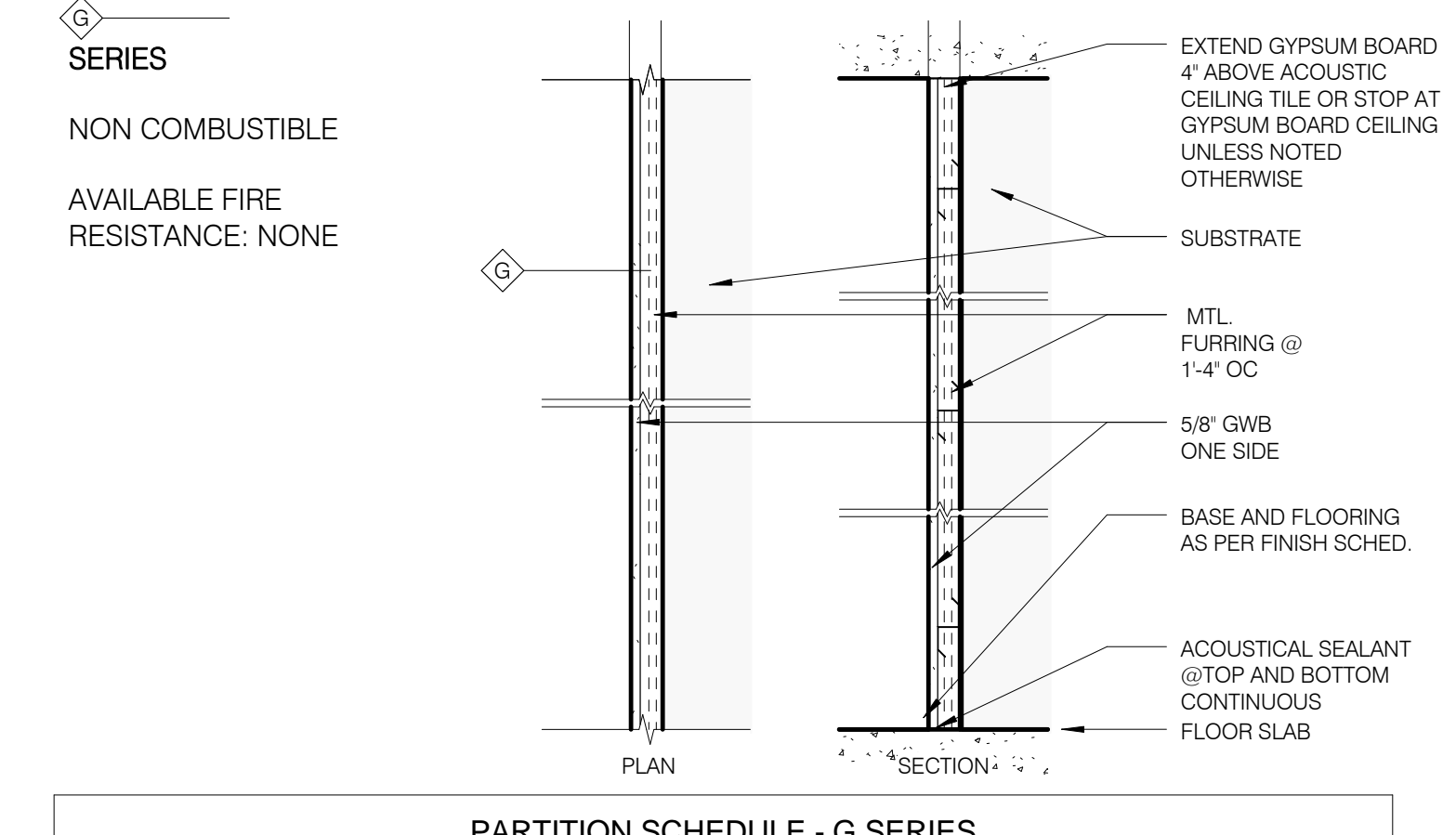


**PARTITION SCHEDULE - D SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
D2	2 1/2"	5"	2HR	ULF U411	50-54	45-49	1 HR REQ'D 2 1/2" MIN INSUL, PROVIDE BRACING WHERE HT EXCEEDS 12'7"
D3	3 5/8"	6 1/8"	2HR	ULF U411	50-54	45-49	
D3-ME	3 5/8"	6 1/8"	2HR	ULF U411	50-54	45-49	MASONRY EQUIVALENT PER NYCBC 1014.01
D6	6"	8 1/2"	2HR	ULF U411	50-54	45-49	

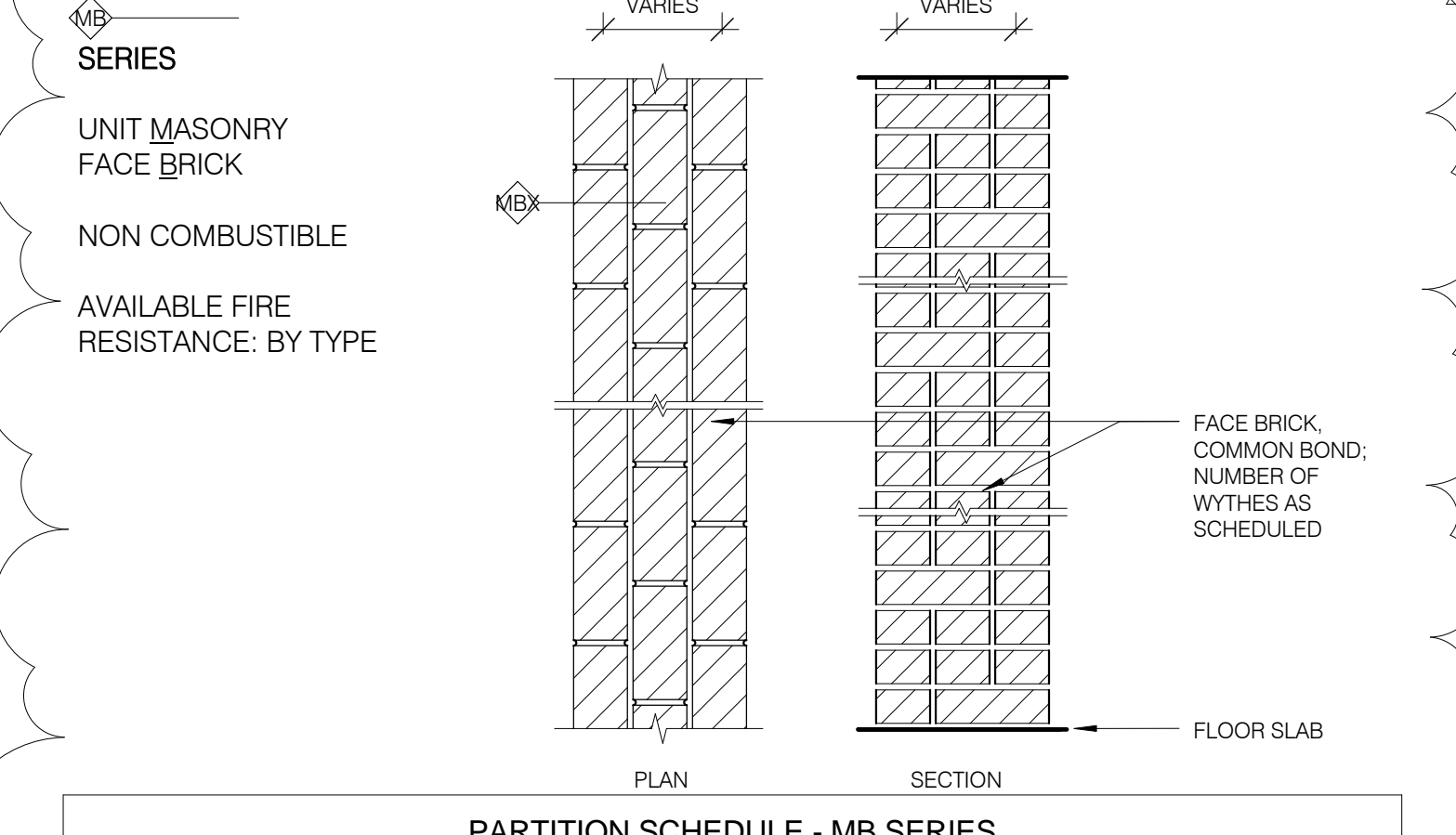
**FIXTURE**

FIXTURE	TYPE	GRAPHIC	GYPSUM BOARD	MINIMUM OVERALL DIM.	MINIMUM STUD DIM.	MINIMUM CLEAR DIM.	MASONRY	MINIMUM UNITS SIZE
WATER CLOSET	WALL MOUNTED SINGLE	[Symbol]	1/2"	1'-2"	3/8"	6"	4"	4"
	WALL MOUNTED SINGLE - STACKED	[Symbol]	1/2"	1'-4"	3/8"	8"	4"	4"
	WALL MOUNTED BACK-TO-BACK	[Symbol]	1/2"	1'-8"	3/8"	1'-3"	4"	4"
URINAL	FLOOR MOUNTED SINGLE	[Symbol]	1/2"	7 1/4"	6"	4"	4"	4"
	FLOOR MOUNTED BACK-TO-BACK	[Symbol]	1/2"	7 1/4"	6"	8"	4"	4"
LAVATORY	WALL MOUNTED SINGLE	[Symbol]	1/2"	1'-6"	3/8"	1'-3"	4"	4"
	WALL MOUNTED BACK-TO-BACK	[Symbol]	1/2"	9 1/4"	6"	8"	4"	4"
EWC	WALL MOUNTED SINGLE	[Symbol]	1/2"	9 1/4"	8"	8"	4"	4"
FLUSHING RIM SINK	WALL MOUNTED SINGLE	[Symbol]	1/2"	9 1/4"	8"	8"	4"	4"
SLOP SINK	FLOOR MOUNTED SINGLE	[Symbol]	1/2"	4 7/8"	3 5/8"	6"	4"	4"
SHOWER	WALL MOUNTED SINGLE	[Symbol]	1/2"	7 1/4"	6"	6"	4"	4"
	WALL MOUNTED DOUBLE	[Symbol]	1/2"	9 1/4"	6"	6"	4"	4"



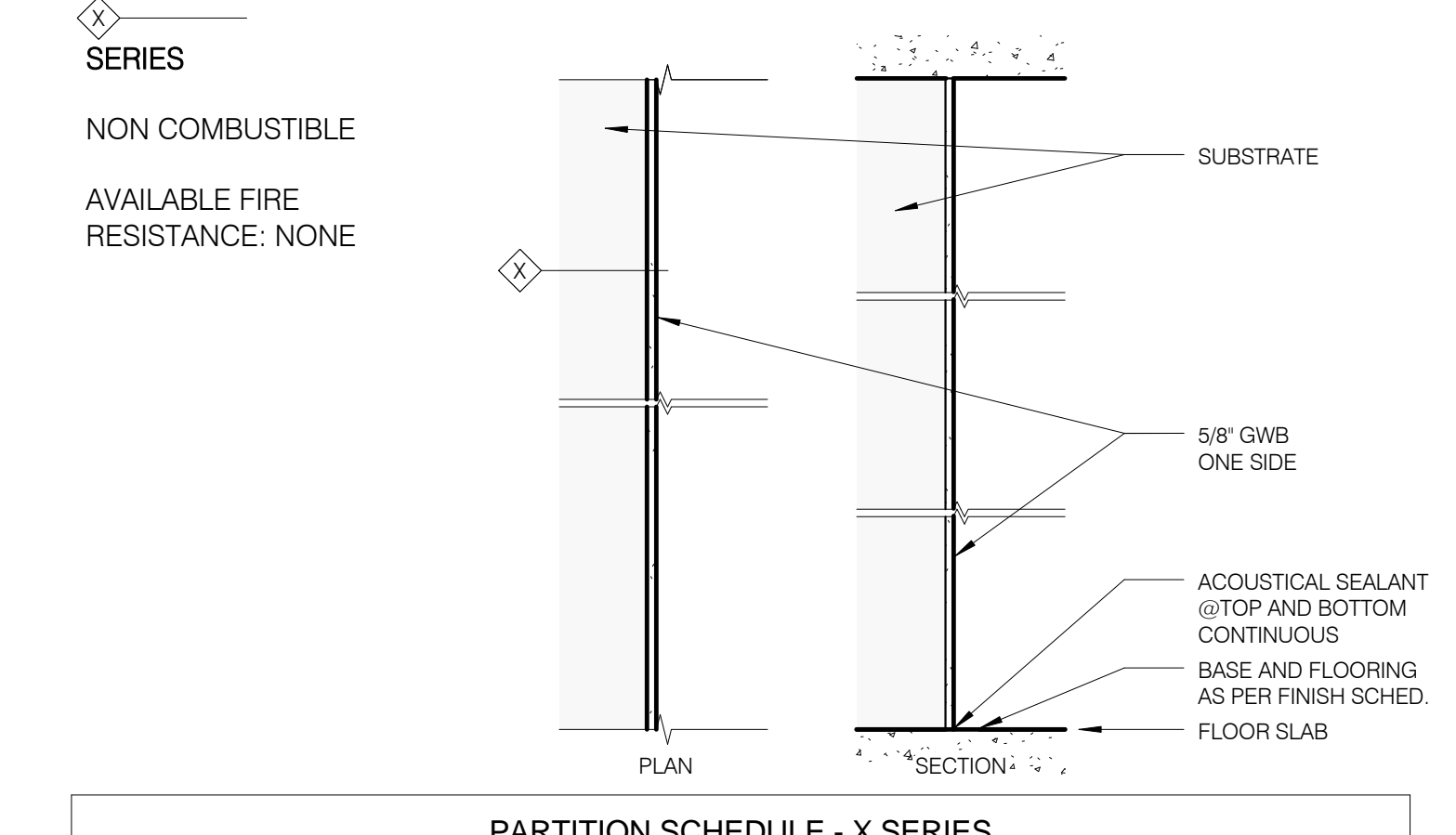
**PARTITION SCHEDULE - G SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
G1	1"	1 5/8"	NR	N/A	N/A	N/A	
G2	2"	2 5/8"	NR	N/A	N/A	N/A	
G3	3"	3 5/8"	NR	N/A	N/A	N/A	
G4	4"	4 5/8"	NR	N/A	N/A	N/A	
G11	7/8"	1 1/2"	NR	N/A	N/A	N/A	7/8" HAT CHANNEL FRG
G15	1 1/2"	2 1/8"	NR	N/A	N/A	N/A	



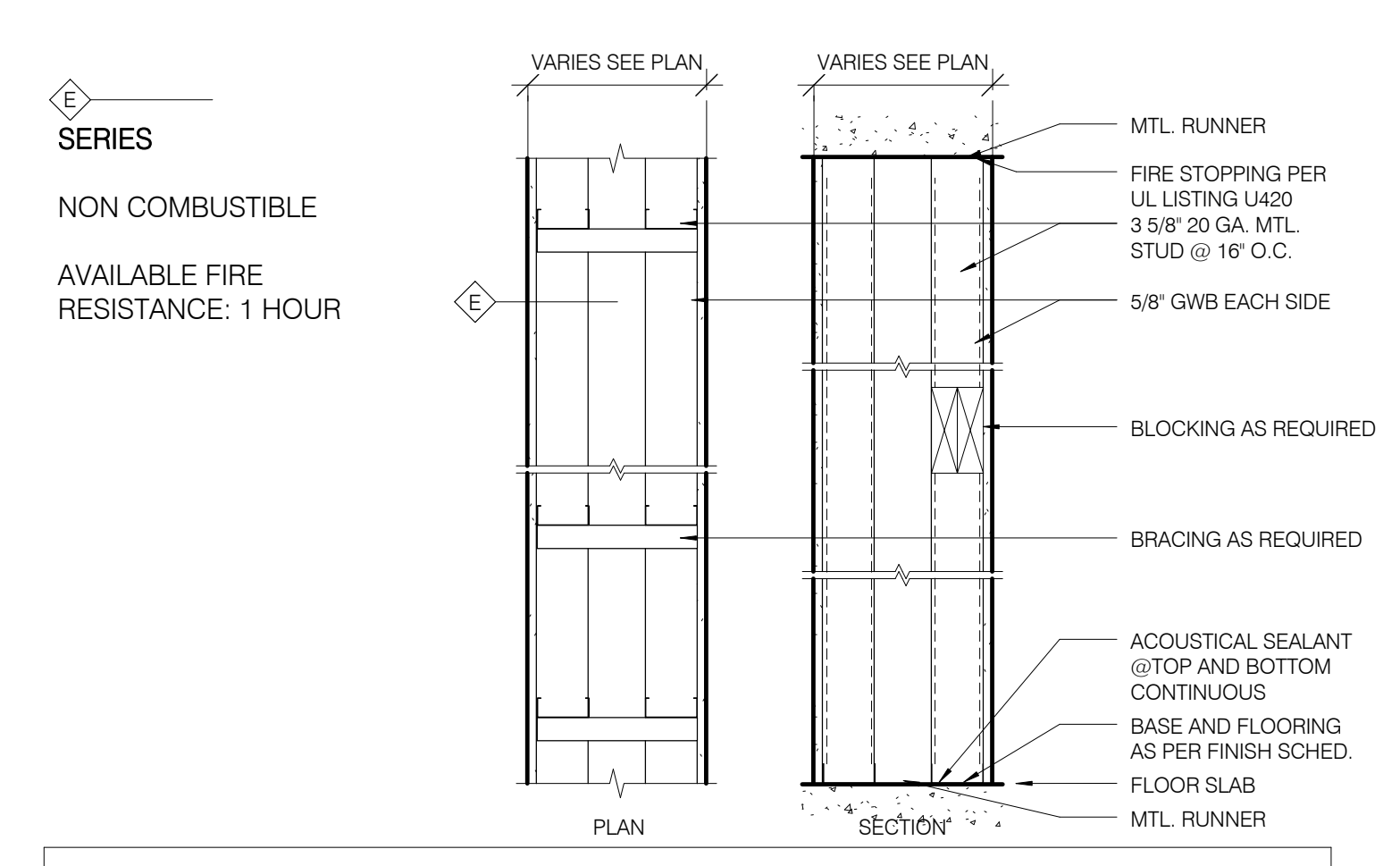
**PARTITION SCHEDULE - MB SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
MB8	7 5/8"	8"	2 HR MIN		N/A	48 EST	2 WYTHES COMMON BRICK
MB12	7 5/8"	12"	2 HR MIN		N/A	50 MIN	3 WYTHES COMMON BRICK



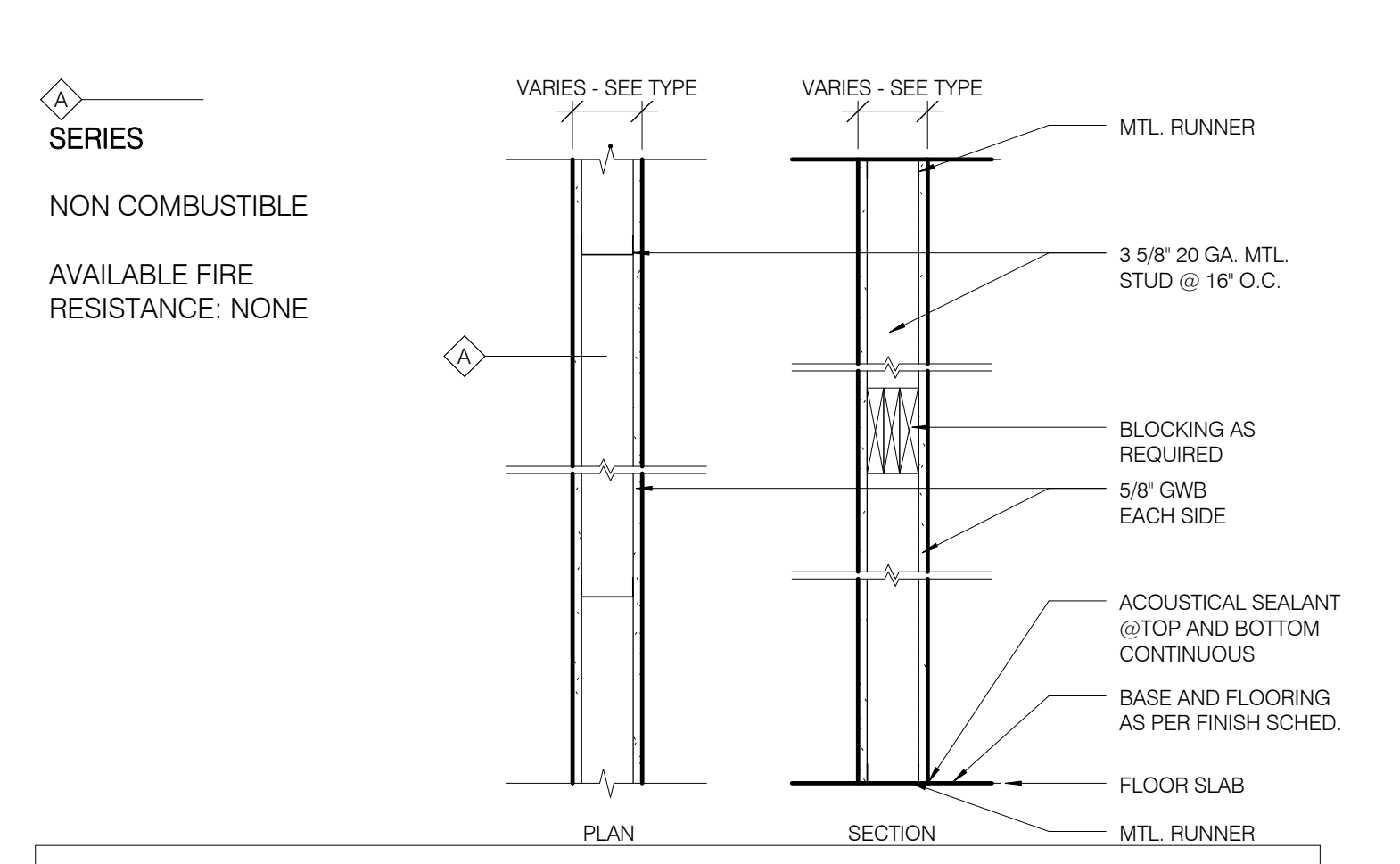
**PARTITION SCHEDULE - XP SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
XP	7/8"	3 5/8"	NR	N/A	N/A	N/A	MILLED CORIAN PANELING OVER MTL STUD WALL - SEE AS10 FOR DETAILS



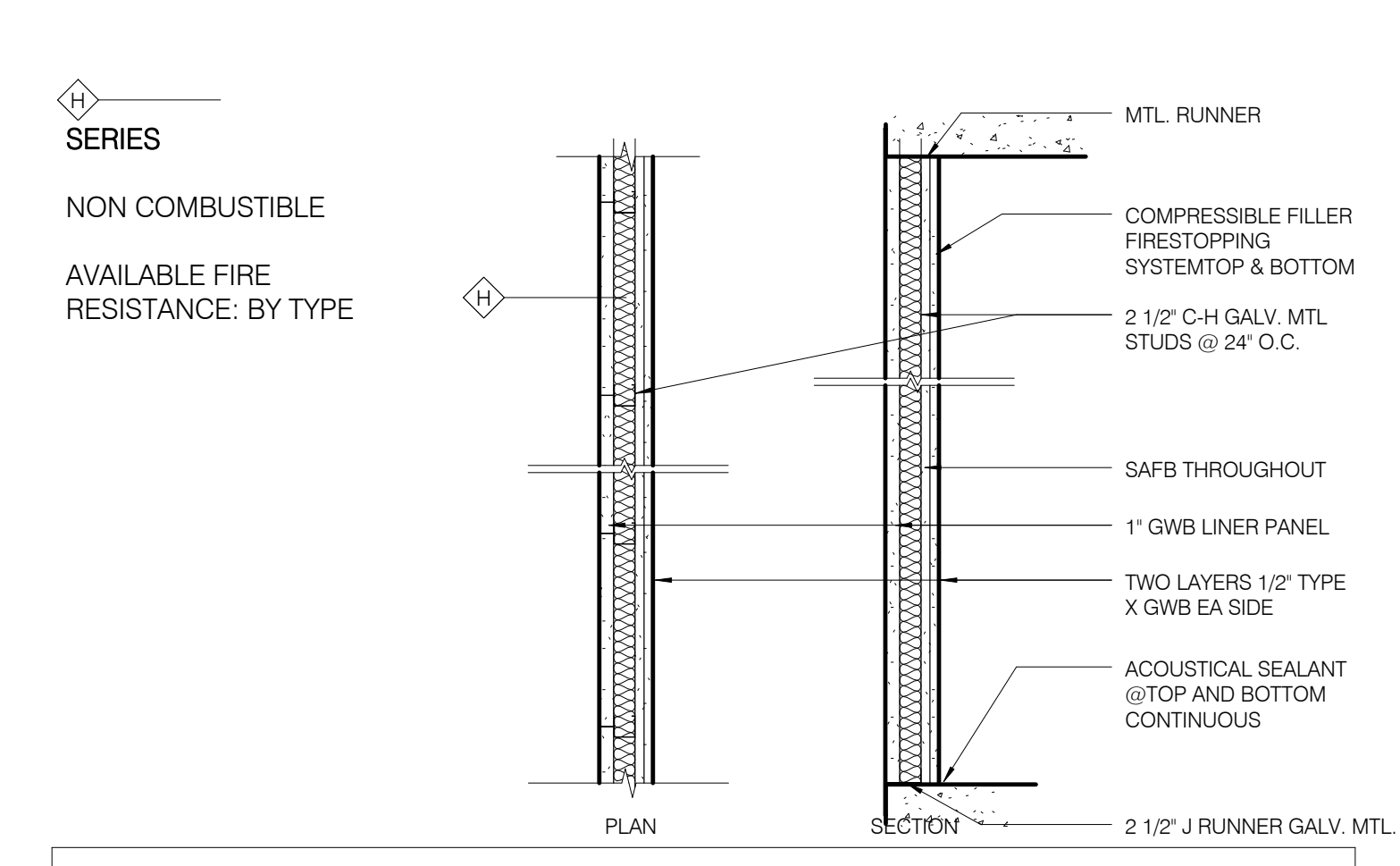
**PARTITION SCHEDULE - E SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
E3	3 5/8"		1HR	ULF U466	50-54	N/A	
E4	4"		1HR	ULF U466	50-54	N/A	
E6	6"		1HR	ULF U466	50-54	N/A	



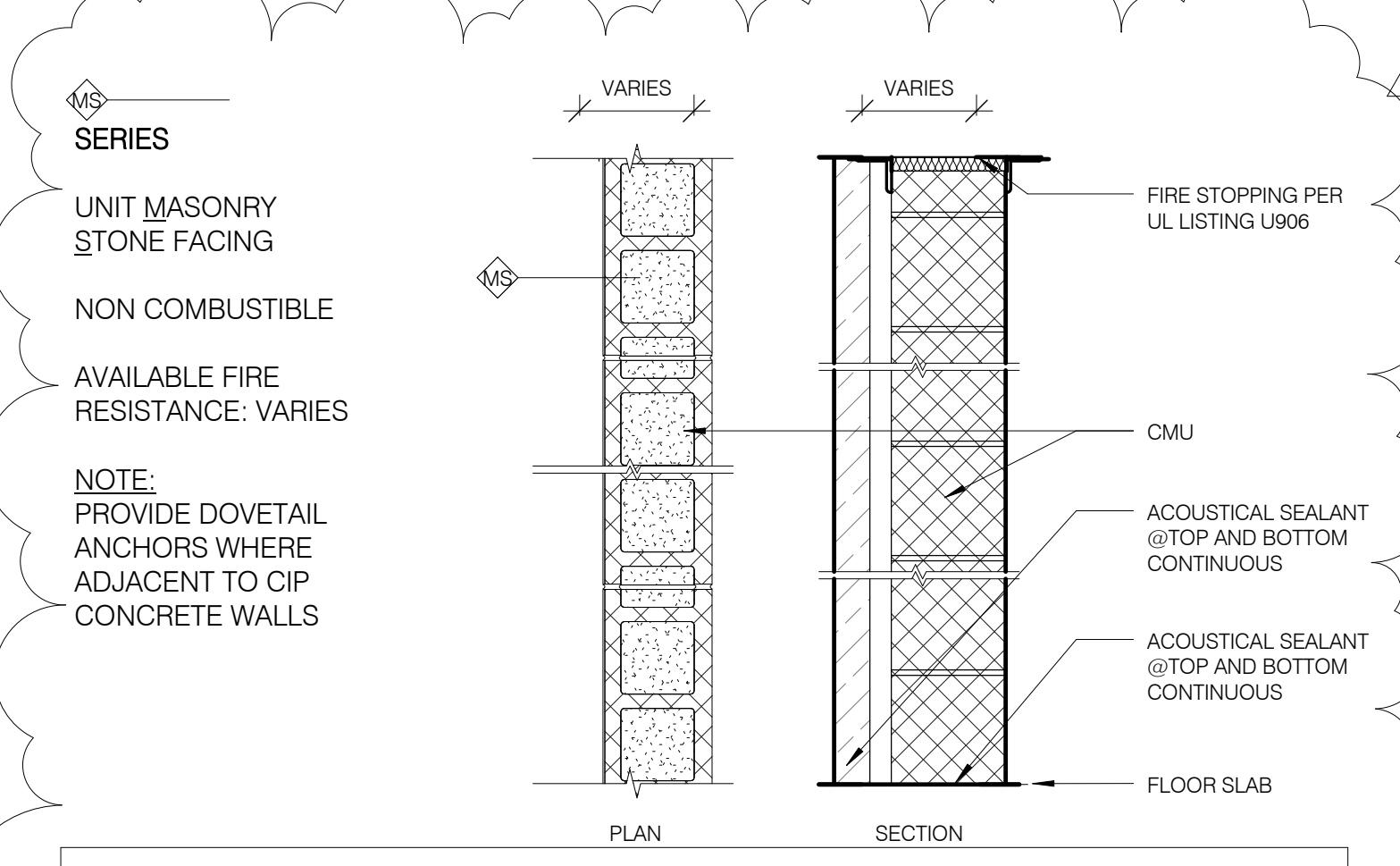
**PARTITION SCHEDULE - A SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
A2	2 1/2"	3 3/4"	NR	N/A	45-49	40-44	PROVIDE BRACING WHERE HEIGHT EXCEEDS 12'7"
A3	3 5/8"	4 7/8"	NR	N/A	45-49	40-44	
A6	6"	7 1/4"	NR	N/A	45-49	40-44	
A6X	6"	7 1/4"	NR	N/A	45-49	40-44	
A8	8"	9 1/4"	NR	N/A	45-49	40-44	
A8X	8"	9 1/4"	NR	N/A	45-49	40-44	



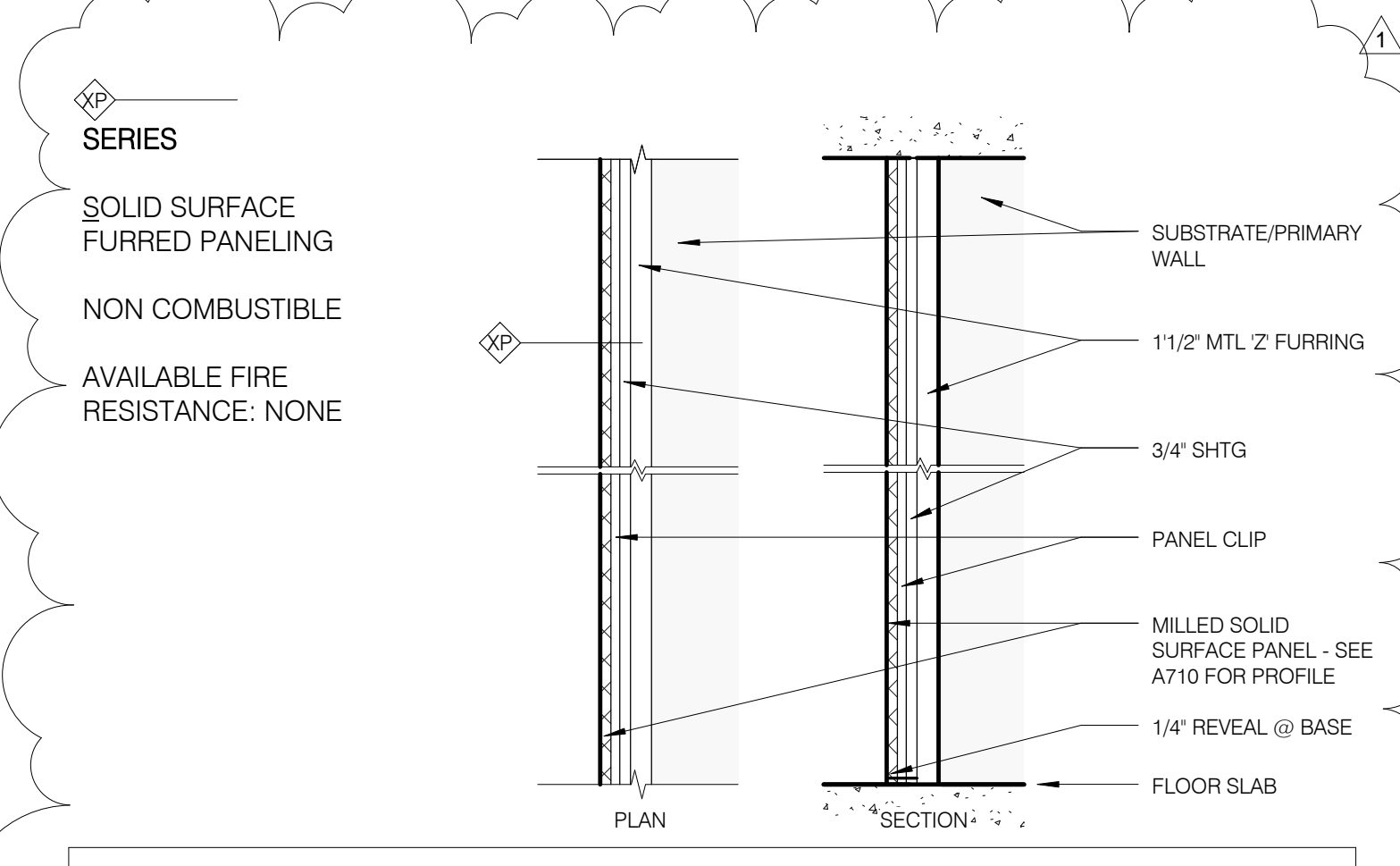
**PARTITION SCHEDULE - H SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
H2	2"	3 3/4"	1HR	ULF U469	35-39	N/A	1 HR REQ'D 2 1/2" MIN INSUL
H4	4"	5 1/4"	2HR	ULF U469	35-39	N/A	
H4-ME	4"	5 1/4"	2HR	ULF U469	35-39	N/A	MASONRY EQUIVALENT PER NYCBC 1014.01
H6	6"	7 1/4"	2HR	ULF U417	35-39	N/A	
H6X	6"	7 1/4"	2HR	ULF U417	35-39	N/A	15 PSF - 20 GA CH STUD @ 24" O.C.



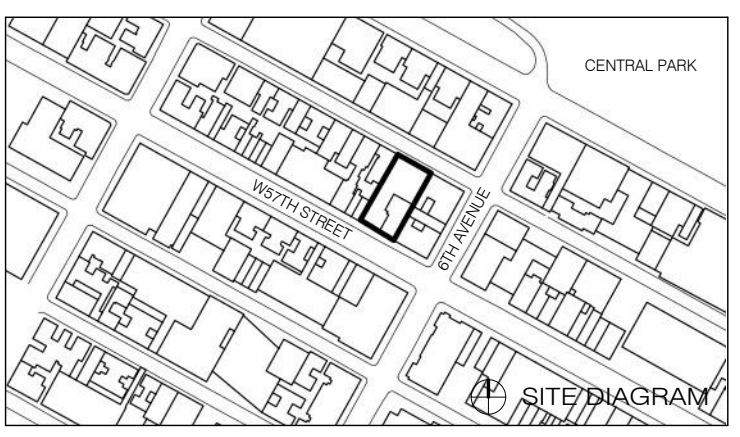
**PARTITION SCHEDULE - MS SERIES**

TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
MS6	5 5/8"	10"	2HR	ULF U906	N/A	46 EST	3 HR REQ'D SOLID BLOCK
MS8	7 5/8"	12"	3HR	ULF U904	N/A	48 EST	



**PARTITION SCHEDULE - J SERIES**

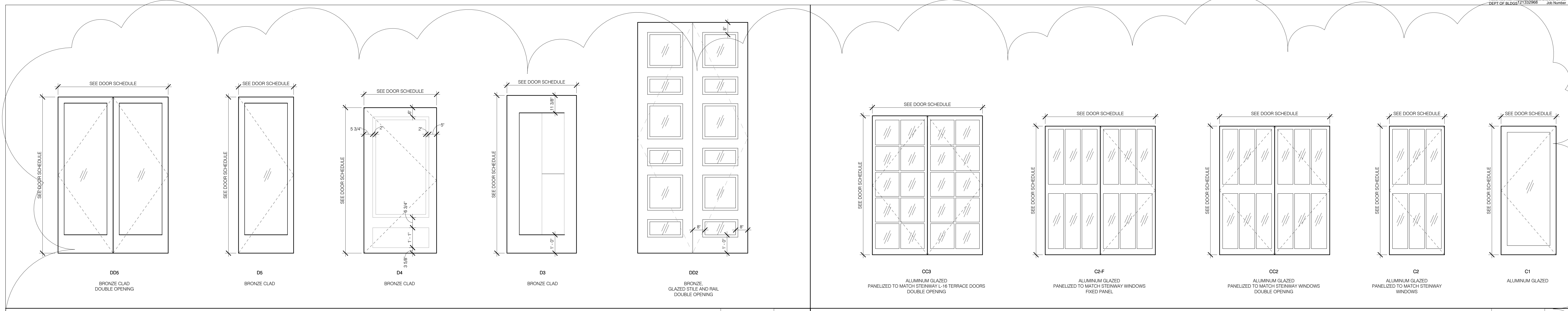
TYPE	STUD WIDTH	PTN WIDTH	RATING	TESTS	STC W/ INSUL	STC W/O INSUL	NOTES
J2	2 1/2"	9 1/2"	2HR	UL #493	50 min	N/A	



1	3.27.15	DOB PAA
1.14		DOB FILING SET
NO.	DATE	REVISION
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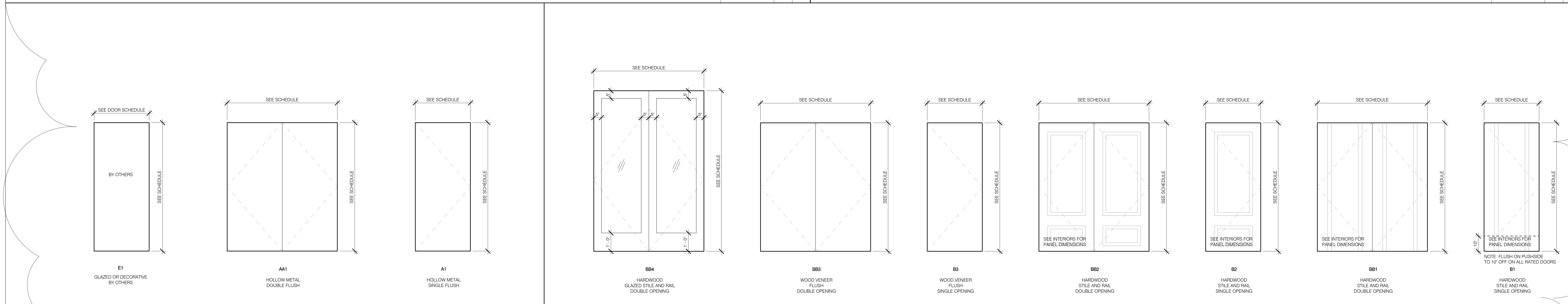
**DOOR FRAMES AND TYPES**

SEAL & SIGNATURE: [Signature] DATE: 3.27.15  
PROJECT NO: 139007  
DRAWN BY: SH&P  
CHECKED BY: SH&P  
DOOR NO: 121332968  
DRAWING NUMBER: A-080.01



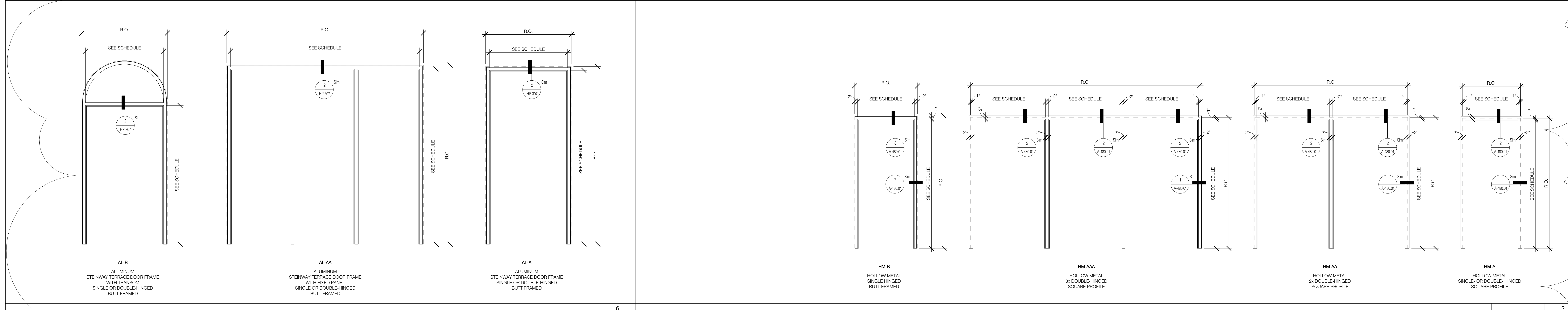
DOOR TYPES - BRONZE 1/2" = 1'-0" 8 A-080.01

DOOR TYPES - ALUMINUM 1/2" = 1'-0" 3 A-080.01



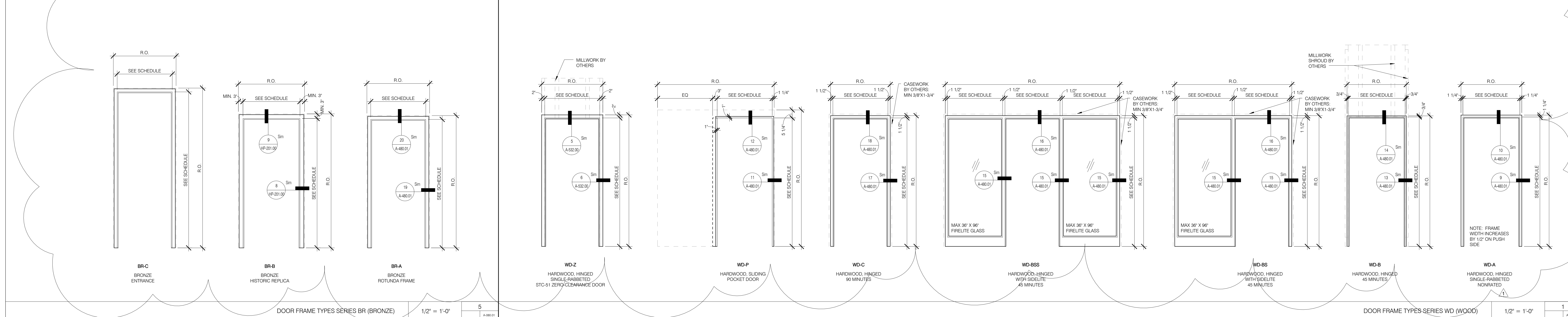
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DOOR TYPES - WOOD 1/2" = 1'-0" 4 A-080.01



DOOR FRAME TYPES SERIES C (ALUMINUM) 1/2" = 1'-0" 6 A-080.01

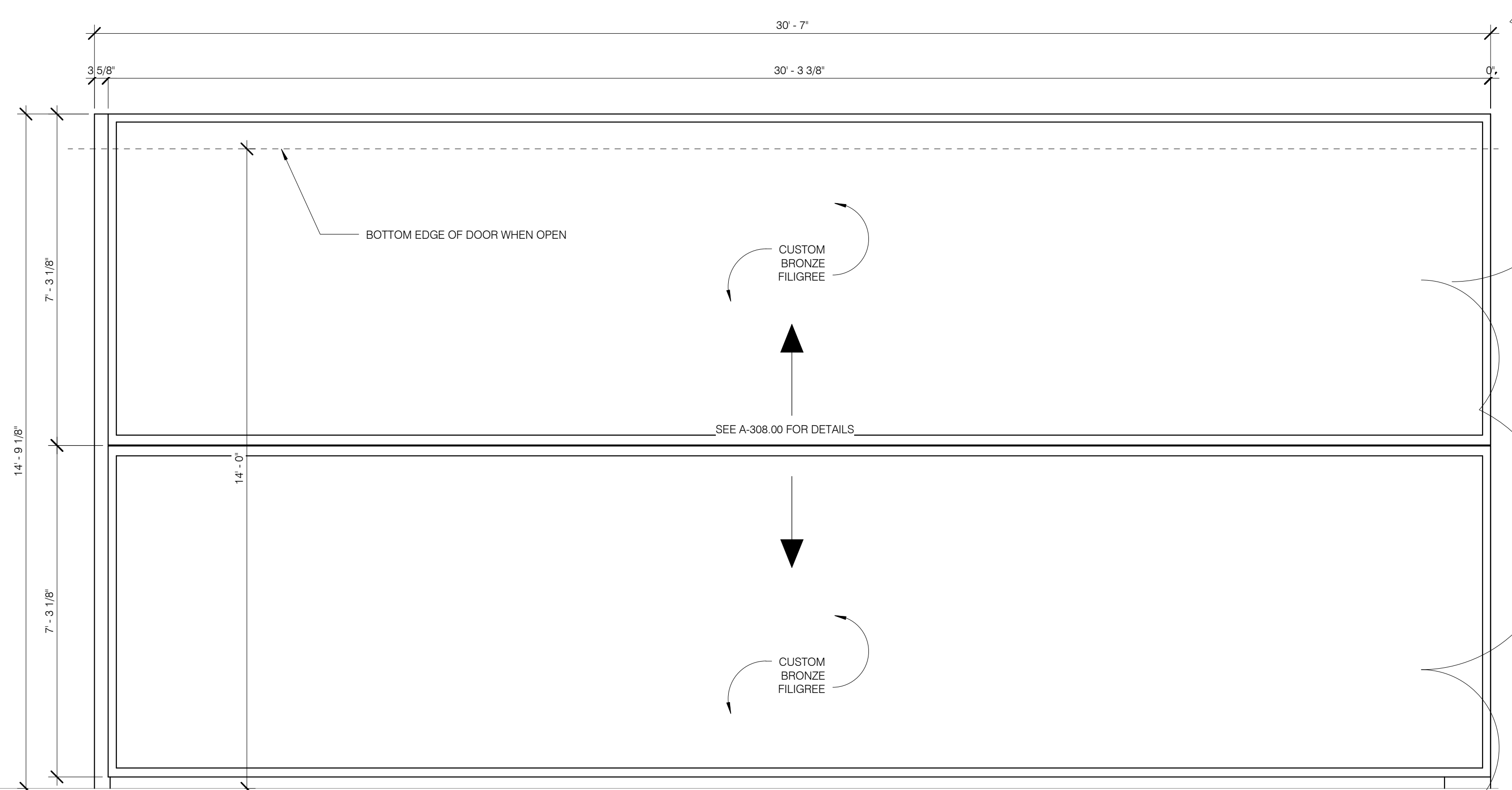
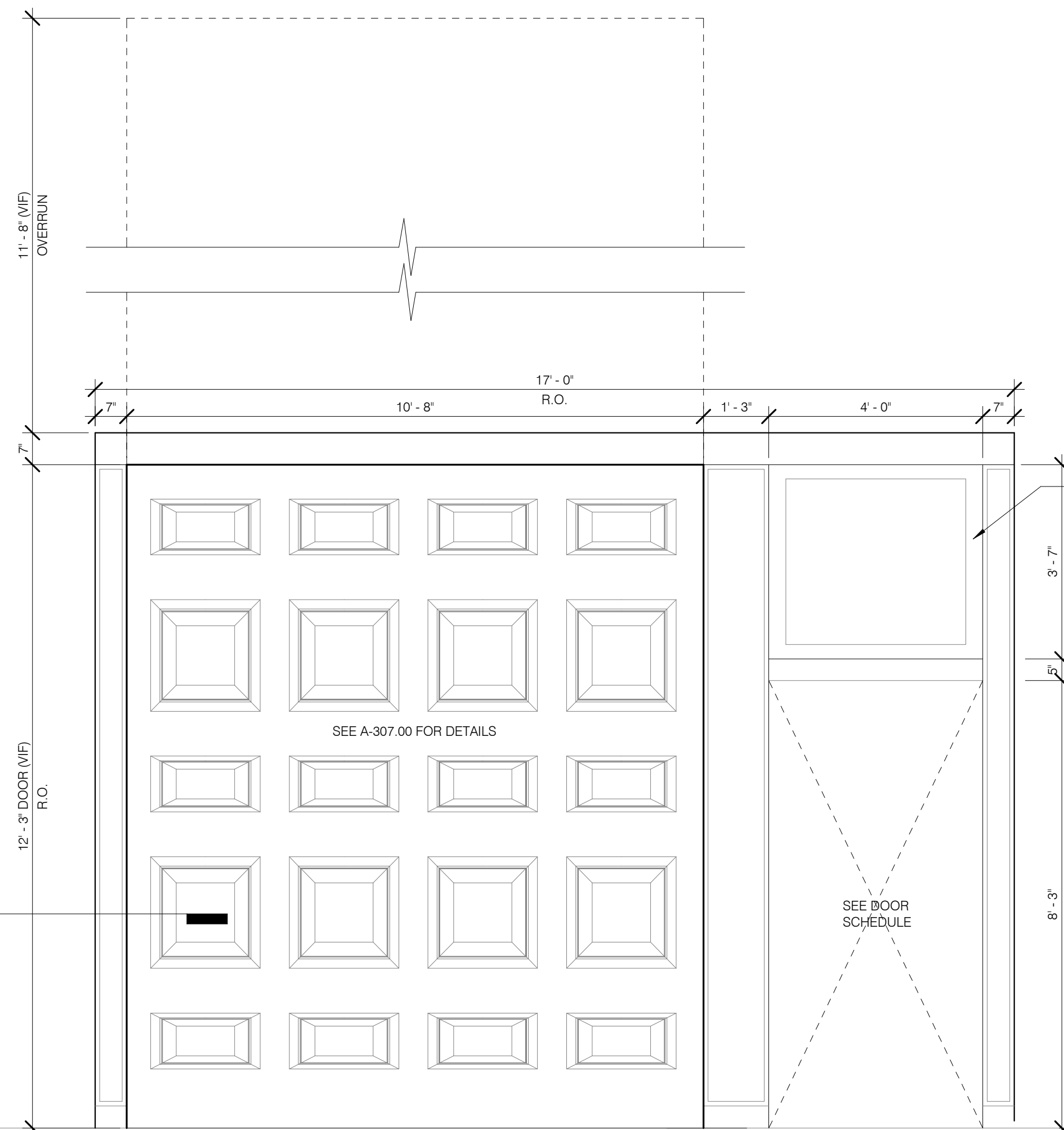
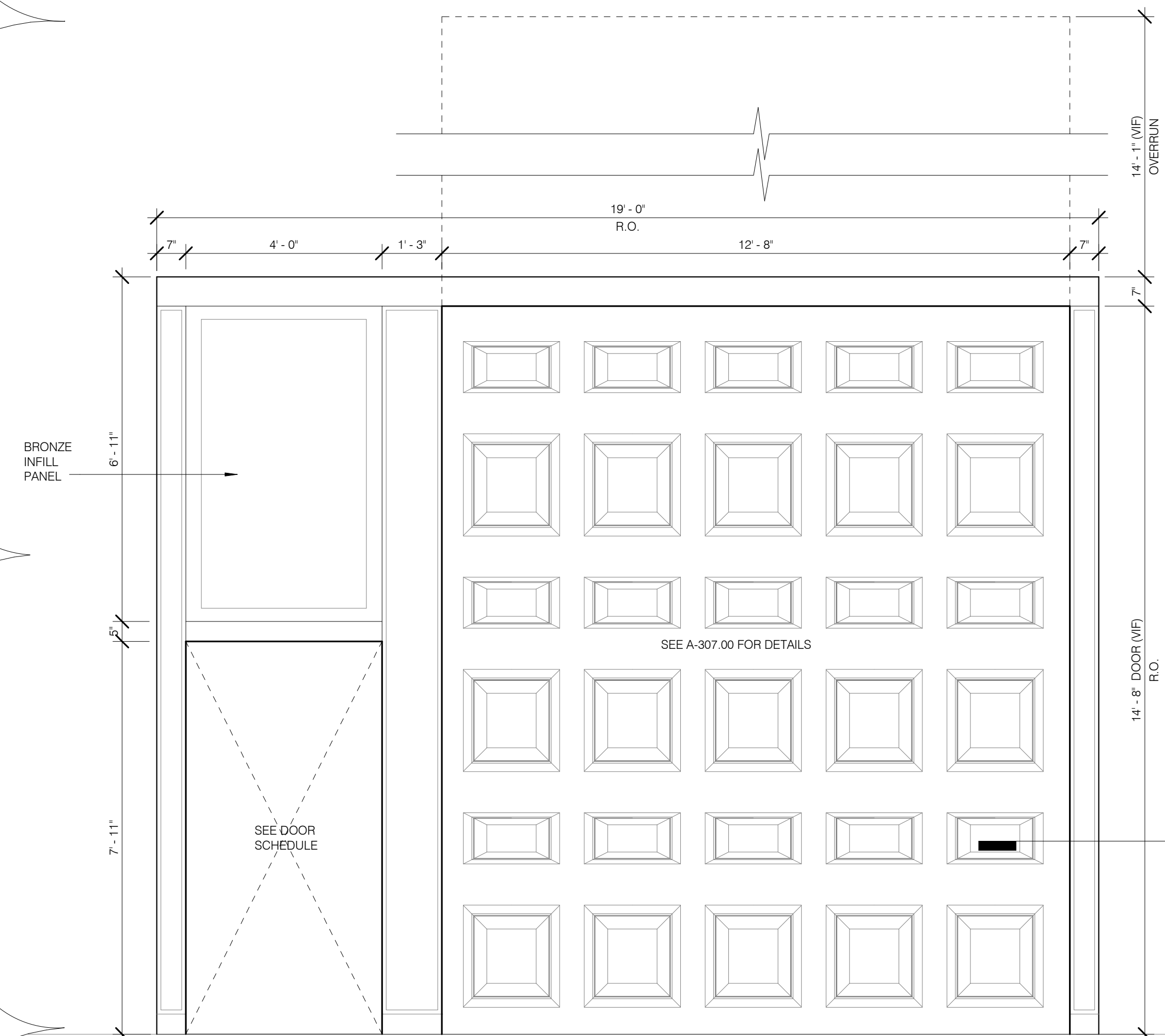
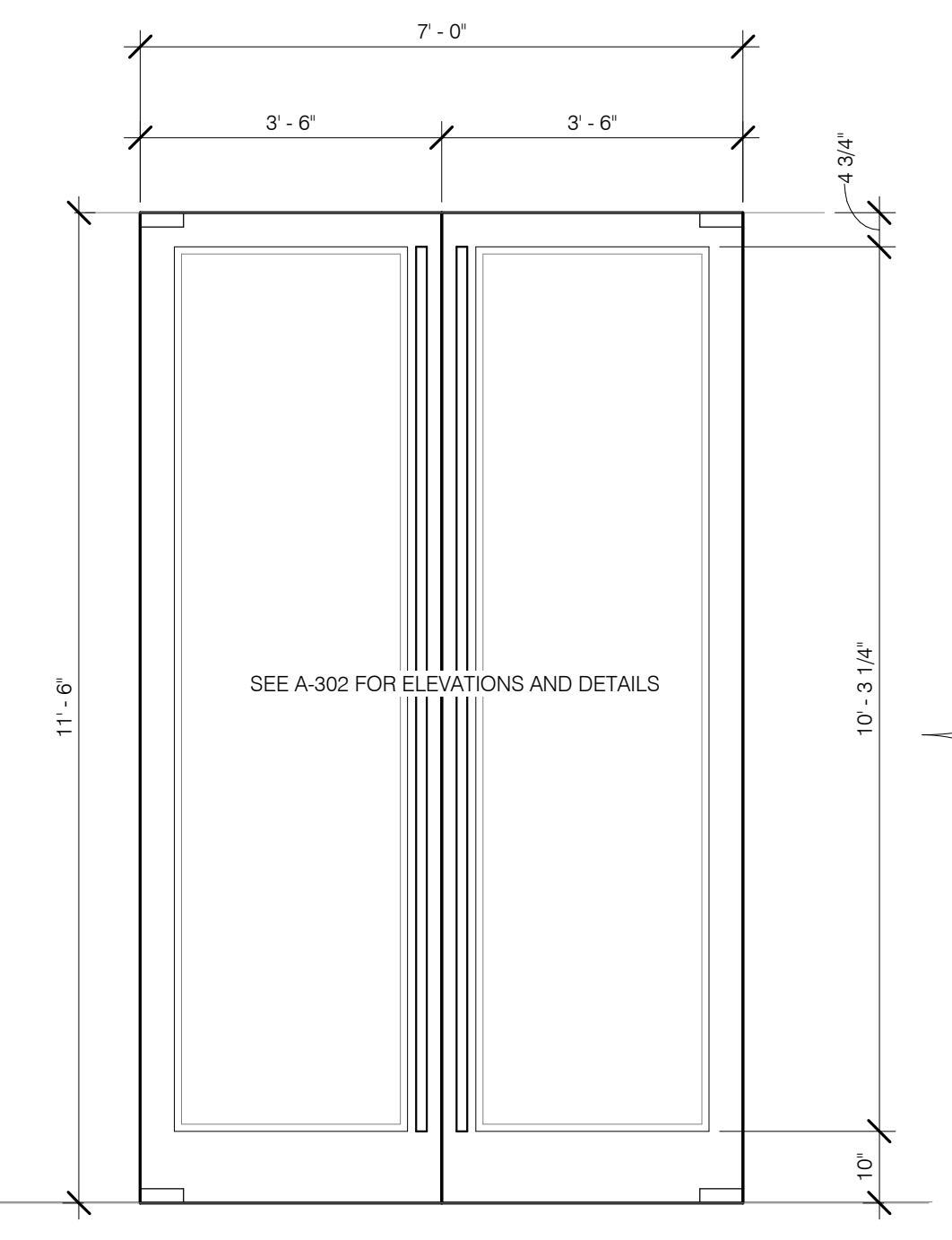
DOOR FRAME TYPES SERIES B (HOLLOW METAL) 1/2" = 1'-0" 2 A-080.01



DOOR FRAME TYPES SERIES BR (BRONZE) 1/2" = 1'-0" 5 A-080.01

DOOR FRAME TYPES SERIES WD (WOOD) 1/2" = 1'-0" 1 A-080.01

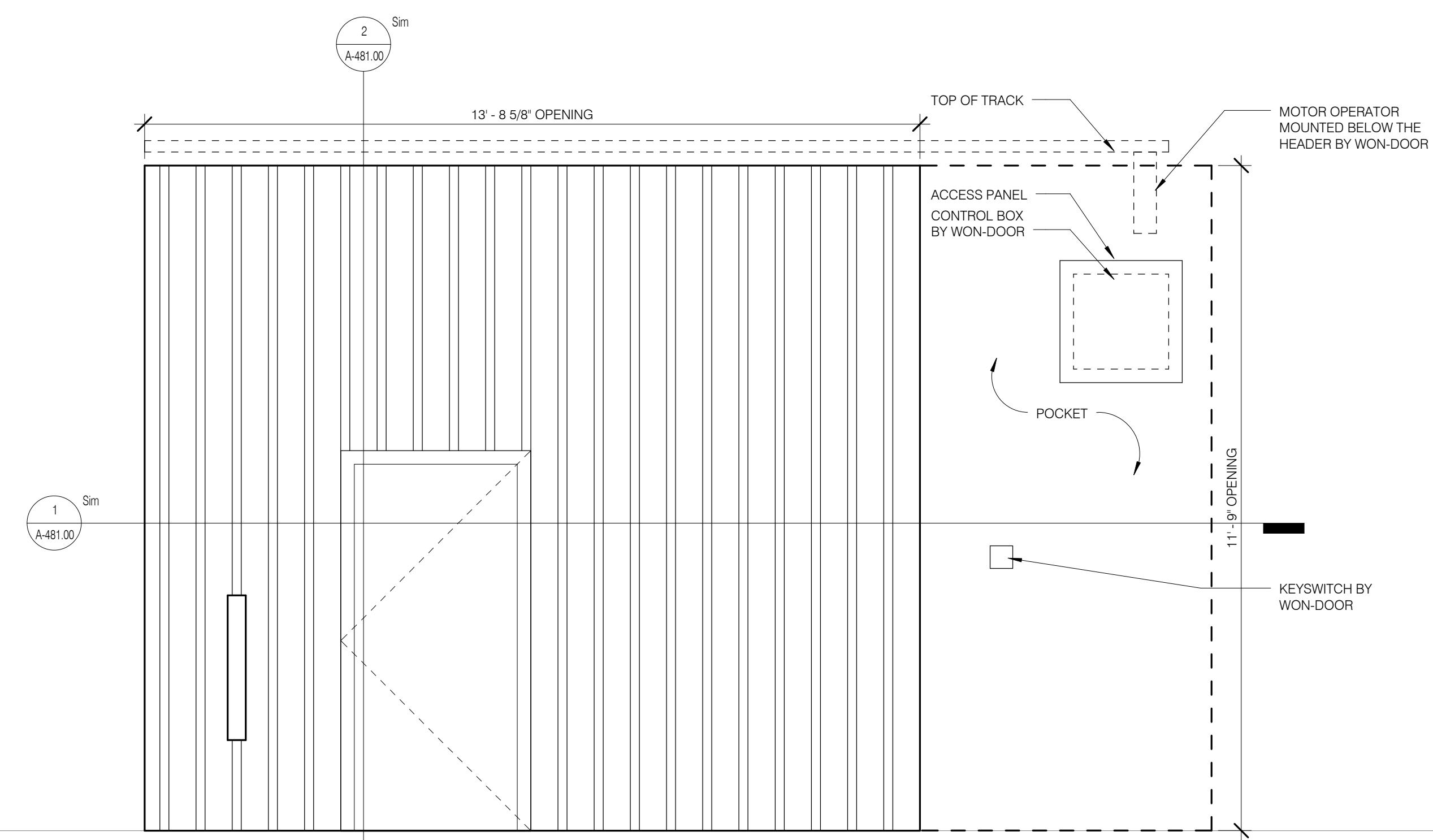
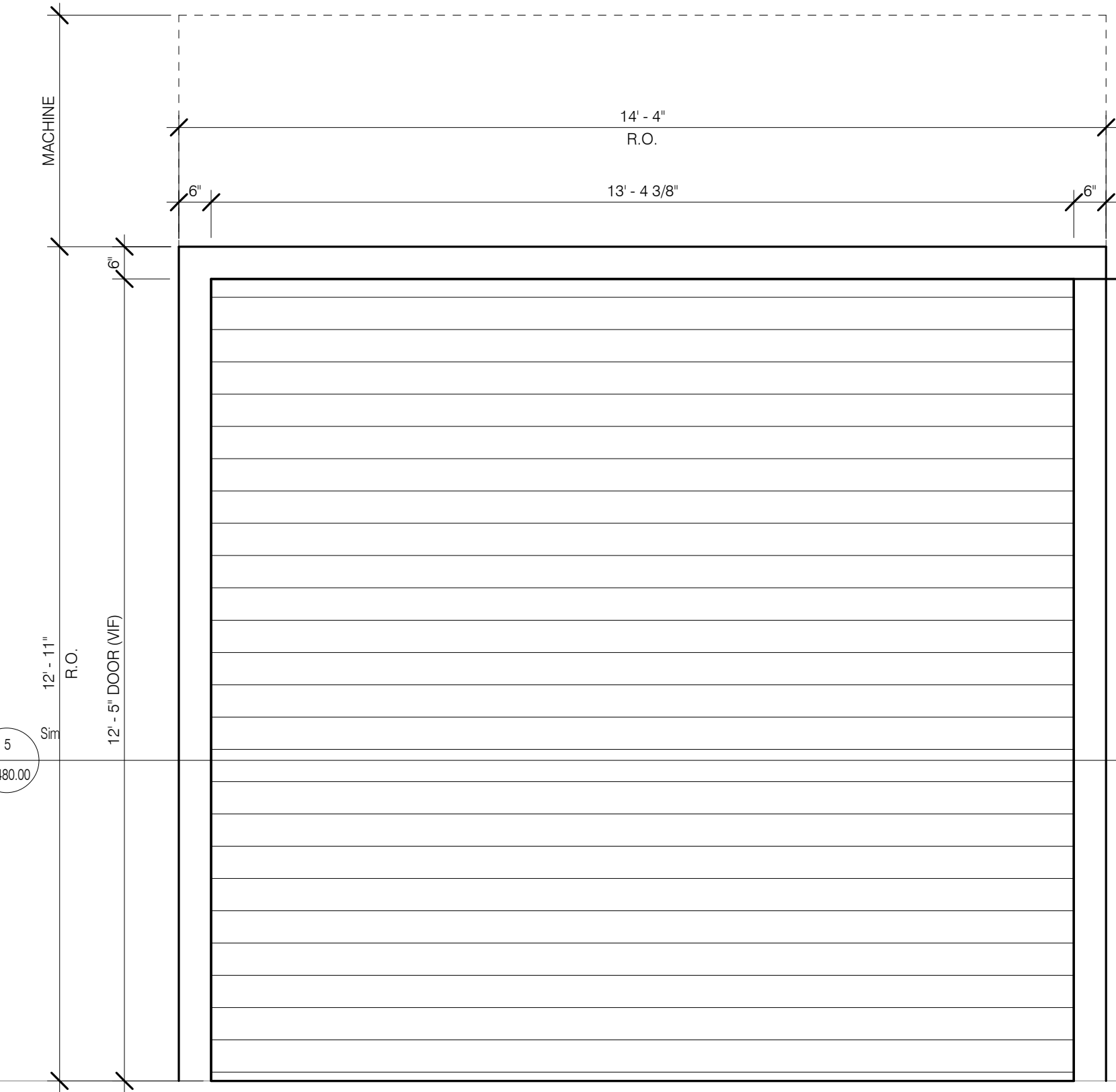
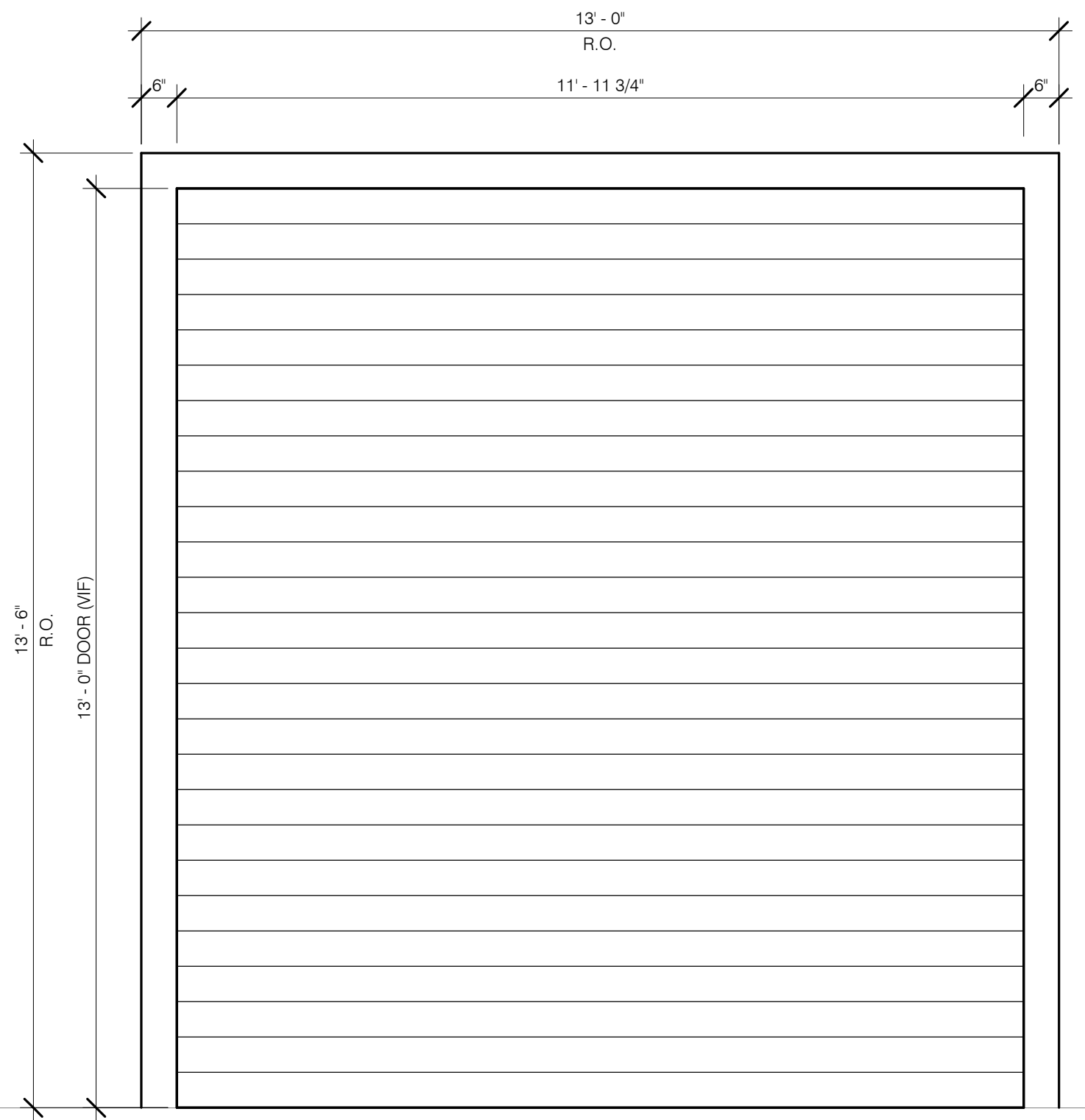
ARCHITECT	SHIP ARCHITECTS, P.C.	200 BROOKLYN AVENUE, 11TH FLOOR NEW YORK, NY 10002 TEL: 212.485.8900
TYPE CONTRACTOR	SHIP CONTRACTORS	100 BROADWAY NEW YORK, NY 10004 TEL: 212.485.2000
STRUCTURAL ENGINEER	SHIP STRUCTURAL ENGINEERS	100 BROADWAY NEW YORK, NY 10004 TEL: 212.485.2000
MEP ENGINEER	JARVIS BAIN & BOLLES	100 BROADWAY NEW YORK, NY 10004 TEL: 212.485.2000
CIVIL ENGINEER	AKRF ENGINEERING, P.C.	40 WEST 89TH STREET, 4TH FLOOR NEW YORK, NY 10024 TEL: 212.485.2000
ACOUSTICS	SONGMAN LINDSEY	40 WEST 89TH STREET, 4TH FLOOR NEW YORK, NY 10024 TEL: 212.485.2000
INTERIORS	STUDIO SCHIELD	200 WEST 11TH STREET NEW YORK, NY 10011 TEL: 212.485.2000
GEOTECH	GEOTECH	200 WEST 11TH STREET, 4TH FLOOR NEW YORK, NY 10011 TEL: 212.485.2000
RESTORATION	JAN HROD POKORNY ASSOCIATES	30 WEST 20TH STREET, 4TH FLOOR NEW YORK, NY 10011 TEL: 212.788.4400
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES	100 WEST STREET, SUITE 200 LONG BEACH, NJ 07640 TEL: 201.261.2000
FAÇADE	SHIP ARCHITECTS, P.C.	200 BROOKLYN AVENUE, 11TH FLOOR NEW YORK, NY 10002 TEL: 212.485.8900



**F4B**  
OVERSIZED W/ 6TH GARAGE DOOR/  
BRONZE DOOR FRAME

**F4A**  
OVERSIZED W/ 6TH GARAGE DOOR/  
BRONZE DOOR FRAME

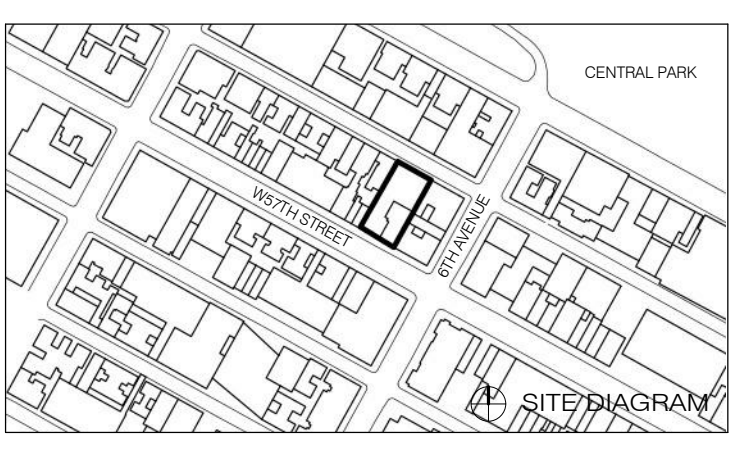
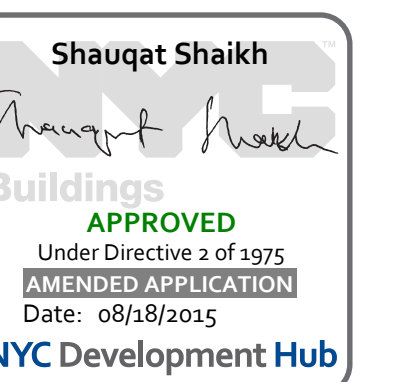
**F5**  
FIRE BARRIER / OVERSIZED  
BI FOLDING GARAGE DOOR WITH BRONZE  
FILIGREE STEEL FRAME



**F3**  
FIRE BARRIER / OVERSIZED  
COILING GARAGE DOOR BRONZE DOOR FRAME

**F2**  
FIRE BARRIER / OVERSIZED  
VERTICAL FIRE SHUTTER / BRONZE DOOR FRAME

**F1**  
FIRE BARRIER / OVERSIZED  
WORK DOOR  
2HR HORIZONTAL SLIDING DOOR



NO.	DATE	REVISION
1	3/27/15	DOB PAA

**DOOR FRAMES AND TYPES**

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130607	
DRAWN BY	SHKP	
CHECKED BY	SHKP	
DOB NO.	1213332968	
DRAWING NUMBER		

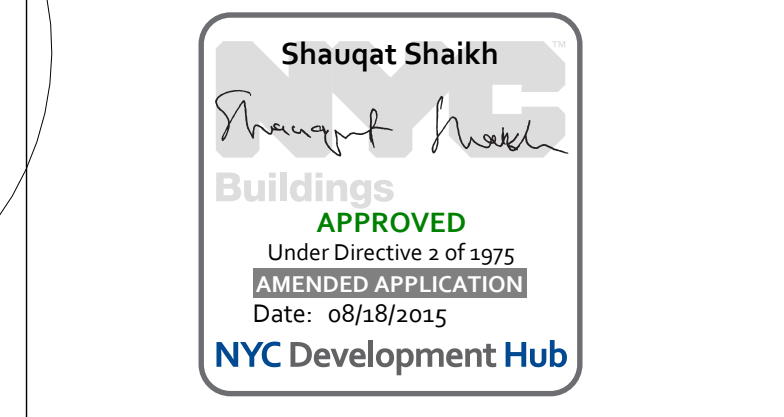
ARCHITECT	SH P ARCHITECTS, P.C.	200 BROOKLYN AVENUE, 11TH FLOOR NEW YORK, NY 10002 TEL: 212.693.8888
STRUCTURAL ENGINEER	SH P ARCHITECTS, P.C.	200 BROOKLYN AVENUE, 11TH FLOOR NEW YORK, NY 10002 TEL: 212.693.8888
MEP ENGINEER	JAMES BAUM & BOLLER	80 WEST STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.693.8888
CIVIL ENGINEER	ANF ENGINEERING, P.C.	400 PARK AVENUE SOUTH, 7TH FLOOR NEW YORK, NY 10006 TEL: 212.768.4444
GEOTECH	MCKENNA LINDESEY	40 WEST 8TH STREET, 4TH FLOOR NEW YORK, NY 10006 TEL: 212.269.2000
INTERIORS	STUDIO 20/20	100 WEST 8TH STREET, 7TH FLOOR EAST NEW YORK, NY 10006 TEL: 212.693.8888
PROPERTY MARKETS GROUP	111 WEST 57TH STREET, 2ND FLOOR NEW YORK, NY 10019 TEL: 212.693.8888	



PROPERTY MARKETS GROUP  
111 WEST 57TH STREET, 2ND FLOOR  
NEW YORK, NY 10019  
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CURRENT ISSUE

DOB PAA

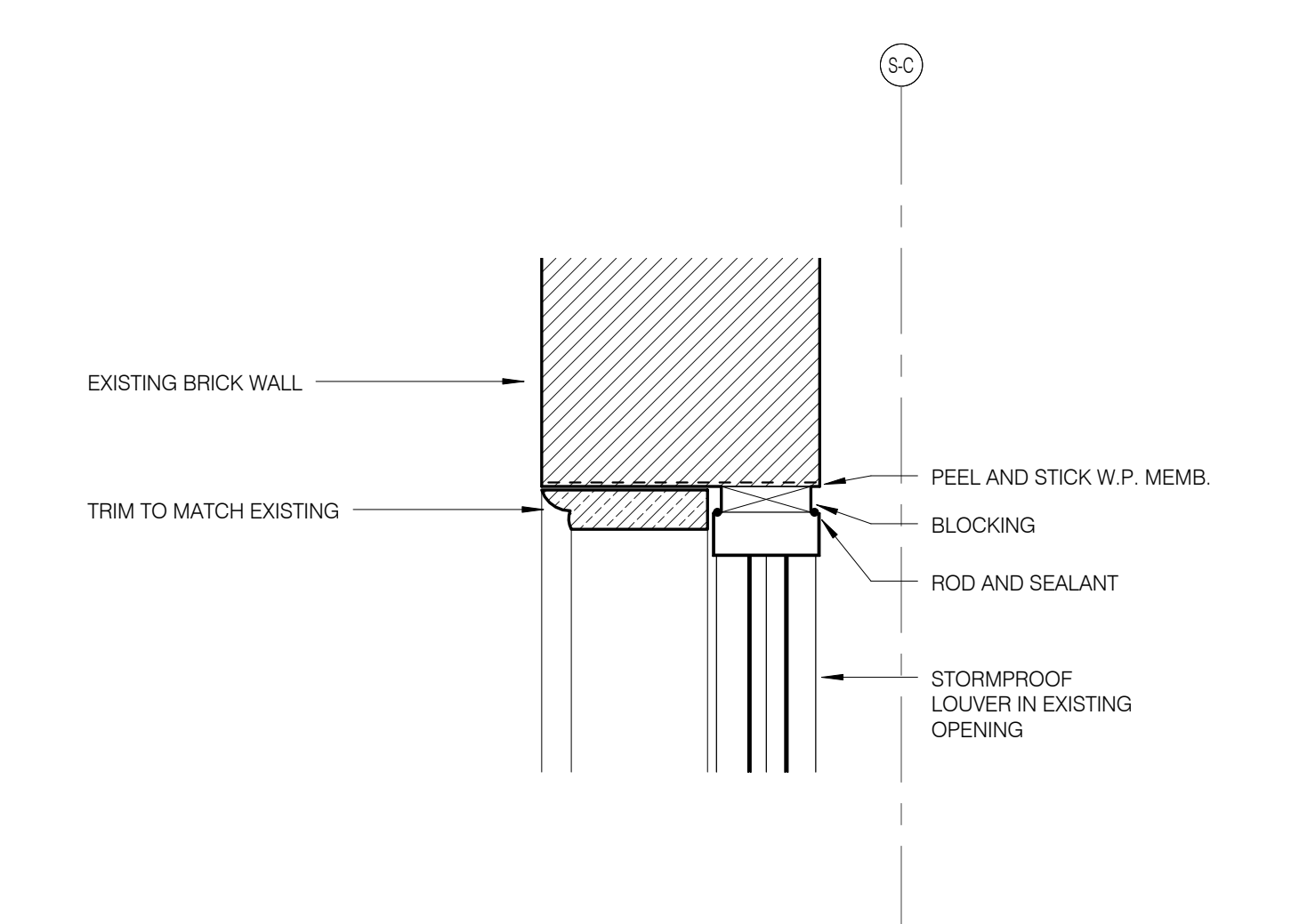


111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019

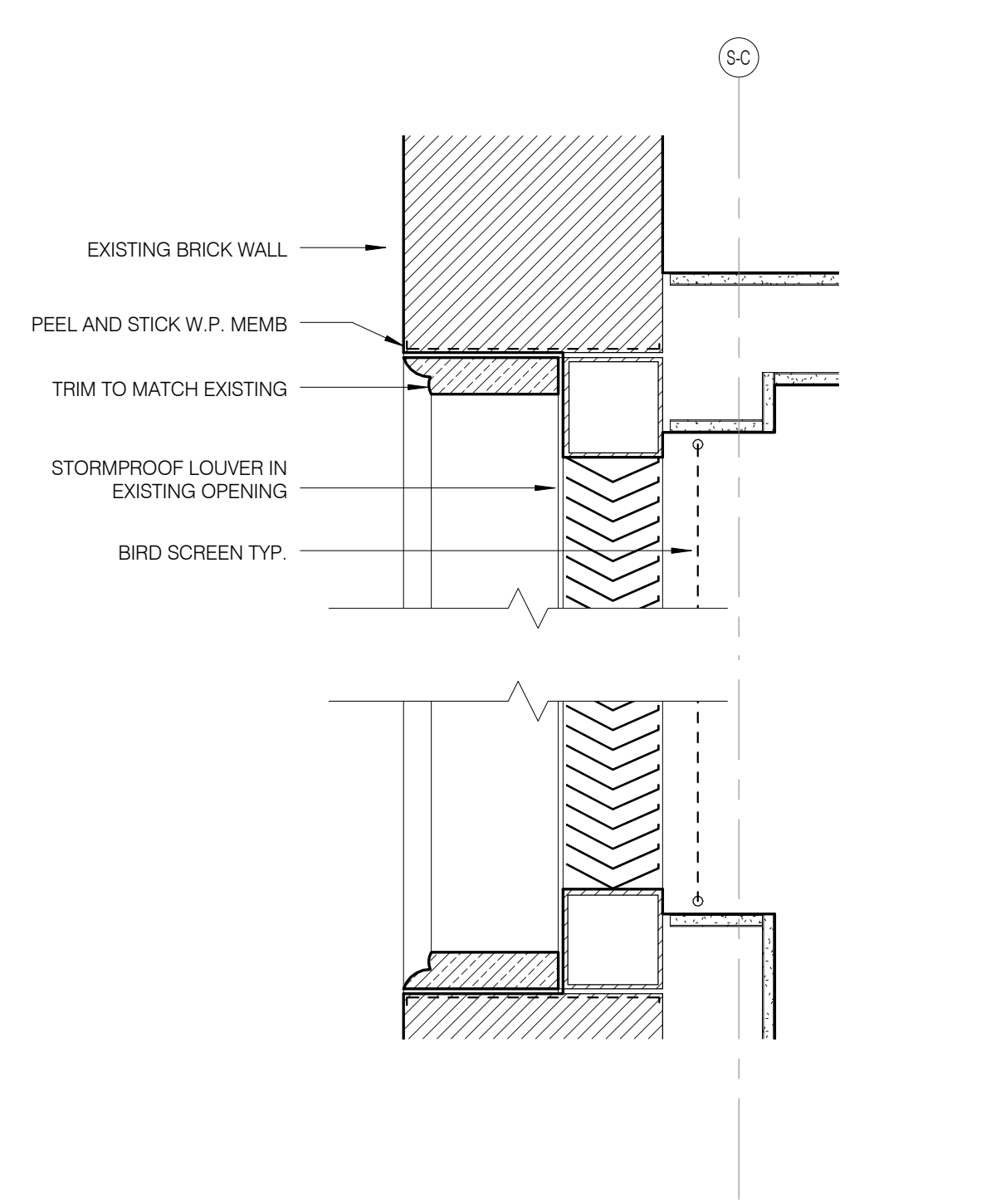


NOTE:  
ALL LOUVERS TO INCORPORATE BLACK STAINLESS STEEL BIRD MESH  
ALL LOUVERS TO RECEIVE AN INSULATED BLANK OFF-PANEL  
ALL OPEN AREAS IN LOUVER TO RECEIVE BLACK STAINLESS STEEL BIRD SCREEN

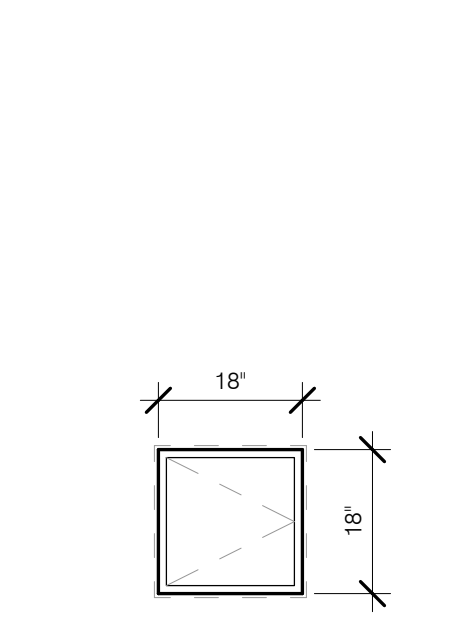
LEVEL	NO.	TYPE	FUNCTION	WIDTH	HEIGHT	AREA	% FREE	NET FREE AREA	LOCATION	NOTES
GROUND (63.1 MBD)	01A.1	LVR-4	INTAKE	0'-10"	1'-4"	1 SF	92%	1 SF	STEINWAY	2 SF NFA REQUIRED FOR 01A
GROUND (63.1 MBD)	01B.1	LVR-4	INTAKE	0'-10"	1'-4"	1 SF	92%	1 SF	STEINWAY	2 SF NFA REQUIRED FOR 01B
GROUND (63.1 MBD)	01C.1	LVR-4	INTAKE	0'-10"	1'-4"	1 SF	92%	1 SF	STEINWAY	2 SF NFA REQUIRED FOR 01C
GROUND (63.1 MBD)	01D	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01D
GROUND (63.1 MBD)	01E	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01E
GROUND (63.1 MBD)	01F	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01F
LEVEL 2	02A	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01G
LEVEL 2	02B	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01H
LEVEL 2	02C	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01I
LEVEL 2	02D	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01K
LEVEL 2	02E	LVR-4	INTAKE	1'-8"	1'-4"	2 SF	92%	2 SF	STEINWAY	2 SF NFA REQUIRED FOR 01L
LEVEL 2	02F	LVR-1A	INTAKE	3'-10"	6'-3 3/4"	24 SF	60%	14 SF	STEINWAY	10 SF NFA REQUIRED FOR 02A
LEVEL 6	06A.1	LVR-1A	INTAKE	12'-8"	8'-9 3/4"	111 SF	60%	67 SF	STEINWAY	165 SF NFA REQUIRED FOR 06A
LEVEL 6	06A.2	LVR-1A	INTAKE	9'-6"	8'-9 3/4"	84 SF	60%	50 SF	STEINWAY	
LEVEL 6	06A.3	LVR-1A	INTAKE	9'-6"	8'-9 3/4"	84 SF	60%	50 SF	STEINWAY	
LEVEL 6	06B	LVR-2	EXHAUST	19'-3"	9'-8 1/4"	186 SF	95%	177 SF	STEINWAY	172 SF NFA REQUIRED FOR 06B
LEVEL 8	08A.1	LVR-1A	INTAKE	3'-10"	8'-8 3/4"	33 SF	60%	20 SF	STEINWAY	40 SF NFA REQUIRED FOR 08A
LEVEL 8	08A.2	LVR-1A	INTAKE	3'-10"	8'-8 3/4"	33 SF	60%	20 SF	STEINWAY	
LEVEL 15	15A.1	LVR-1A	INTAKE	3'-10"	6'-3 3/4"	24 SF	60%	14 SF	STEINWAY	25 SF NFA REQUIRED FOR 15A
LEVEL 15	15A.2	LVR-1A	INTAKE	3'-10"	6'-3 3/4"	24 SF	60%	14 SF	STEINWAY	
LEVEL 15	15B.1	LVR-1B	EXHAUST	1'-9"	15'-5 3/4"	27 SF	60%	16 SF	TOWER	46 SF NFA REQUIRED FOR 15B
LEVEL 15	15B.2	LVR-1B	EXHAUST	1'-9"	15'-5 3/4"	27 SF	60%	16 SF	TOWER	
LEVEL 15	15B.3	LVR-1B	EXHAUST	1'-9"	15'-5 3/4"	27 SF	60%	16 SF	TOWER	
LEVEL 15	15C	LVR-1C	VENT	3'-0"	7'-6"	23 SF	60%	14 SF	STEINWAY	13 SF NFA REQUIRED FOR 15C
LEVEL 16.0	16A	LVR-1C	VENT	10'-9"	3'-9"	40 SF	60%	24 SF	STEINWAY	18 SF NFA REQUIRED FOR 16A
LEVEL 16.0	16B	LVR-3B	VENT	3'-6"	4'-0"	14 SF	95%	13 SF	STEINWAY	13 SF NFA REQUIRED FOR 16B
LEVEL 16.1	16C.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	96 SF NFA REQUIRED FOR 16C + 17B + 18A
LEVEL 16.1	16C.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 16.1	16C.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 17.1	17A	LVR-1B	INTAKE	6'-4 1/2"	26'-4 3/4"	168 SF	60%	101 SF	TOWER	96 SF NFA REQUIRED FOR 17A
LEVEL 17.1	17B.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 17.1	17B.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 17.1	17B.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18A.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18A.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18A.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 18	18B	LVR-5	VENT	3'-0"	3'-0"	5 SF	60%	3 SF	STEINWAY	3 SF NFA REQUIRED FOR 18B
LEVEL 18	18C	LVR-5	VENT	3'-0"	3'-0"	5 SF	60%	3 SF	STEINWAY	3 SF NFA REQUIRED FOR 18C
LEVEL 34	34A.1	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 34A + 35A
LEVEL 34	34A.2	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 35	35A	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 35	35B.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	21 SF NFA REQUIRED FOR 35B
LEVEL 35	35B.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 56	56A.1	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 56A + 57A
LEVEL 56	56A.2	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 57	57A	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 57	57B.1	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 57B
LEVEL 57	57B.2	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 57	57B.3	LVR-1B	EXHAUST	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 78	78A.1	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	25 SF NFA REQUIRED FOR 78A
LEVEL 78	78A.2	LVR-1B	INTAKE	1'-9"	10'-10 3/4"	19 SF	60%	11 SF	TOWER	
LEVEL 78	78A.3	LVR-1B	INTAKE	1'-4 1/2"	10'-10 3/4"	15 SF	60%	9 SF	TOWER	
LEVEL 80	80A	LVR-3A	EXHAUST	3'-10"	8'-1"	31 SF	95%	29 SF	TOWER	25 SF NFA REQUIRED FOR 80A
LEVEL 80	80B	LVR-1C	VENT	2'-0"	3'-3 3/4"	7 SF	60%	4 SF	TOWER	3 SF NFA REQUIRED FOR 80B
LEVEL 80	80C	LVR-1C	VENT	2'-0"	3'-3 3/4"	7 SF	60%	4 SF	TOWER	3 SF NFA REQUIRED FOR 80C
LEVEL 81	81A	LVR-3A	INTAKE	5'-0"	4'-0"	20 SF	50%	10 SF	TOWER	10 SF NFA REQUIRED FOR 81A
LEVEL 82	82A.1	LVR-1C	VENT	2'-2 1/2"	10'-10 3/4"	24 SF	60%	14 SF	TOWER	20 SF NFA REQUIRED FOR 82A
LEVEL 82	82A.2	LVR-1C	VENT	2'-2 1/2"	10'-10 3/4"	24 SF	60%	14 SF	TOWER	
LEVEL 82	82B.1	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	20 SF NFA REQUIRED FOR 82B
LEVEL 82	82B.2	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	
LEVEL 82	82B.3	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	
LEVEL 82	82B.4	LVR-1C	VENT	1'-2"	10'-10 3/4"	13 SF	60%	8 SF	TOWER	
Grand total:	65					1562 SF				



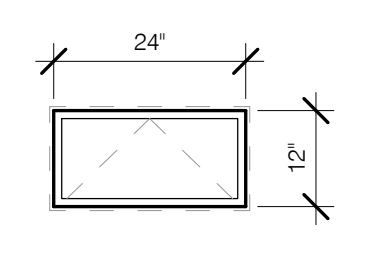
STEINWAY LOUVER DETAIL - HEAD 1 1/2" = 1'-0" 3 A-082.01



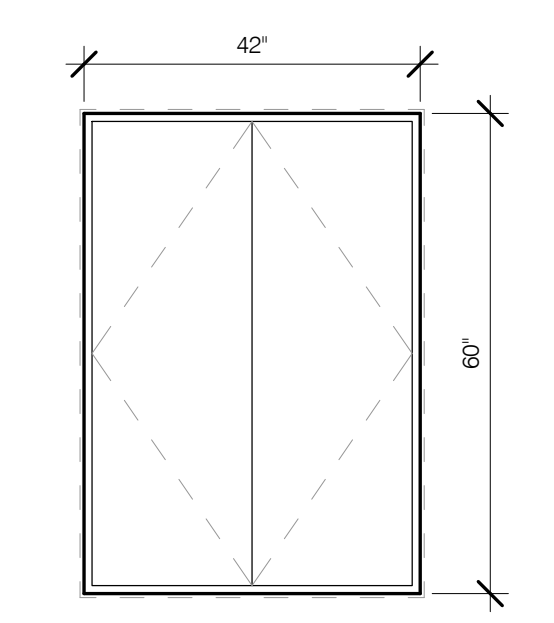
STEINWAY LOUVER DETAIL - JAMB 1 1/2" = 1'-0" 2 A-082.01



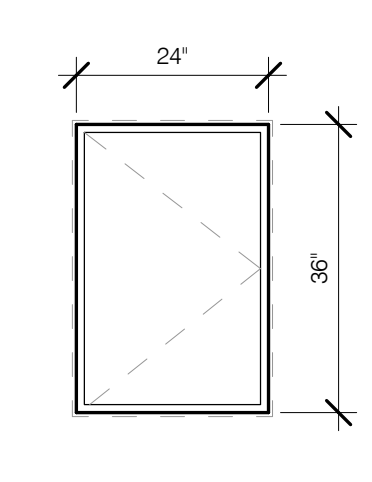
1A 18x18 GYP HORIZONTAL/VR RESIDENTIAL UNIT CEILING



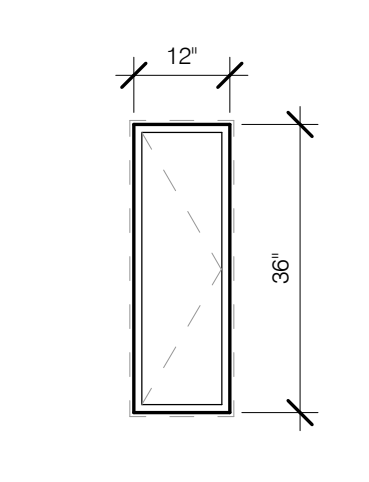
1B 12x36 GYP HORIZONTAL/VR RESIDENTIAL UNIT CEILING



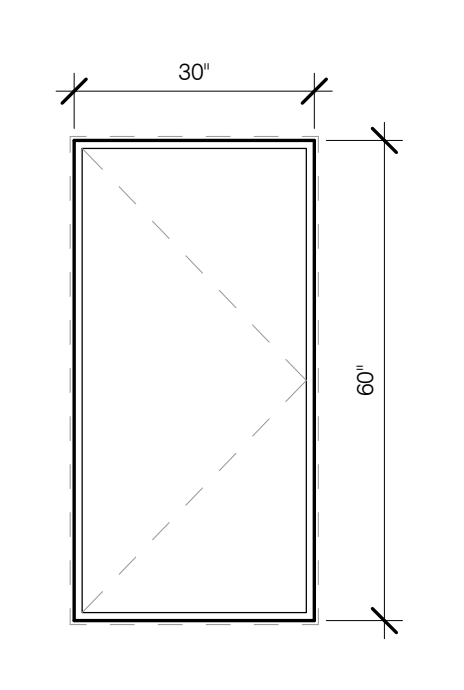
1C 42x86 GYP VERTICAL/1 1/2 HR RATED STEINWAY RESIDENTIAL CORRIDOR



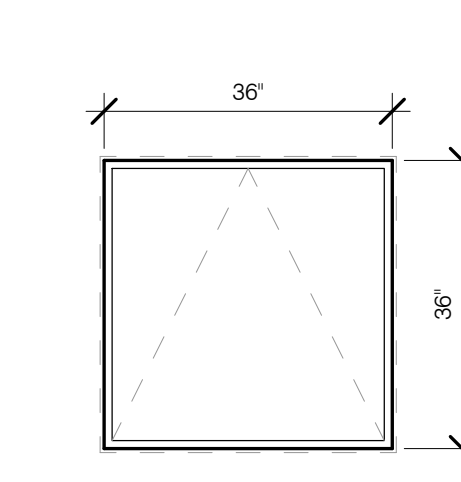
1D 24x36 GYP VERTICAL/1 1/2 HR RATED PUMP FEEDER



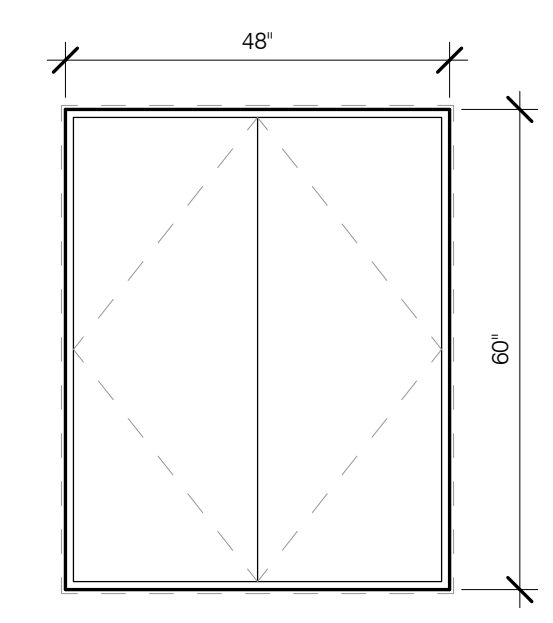
1E 12x36 GYP VERTICAL/1 1/2 HR RATED PUMP FEEDER



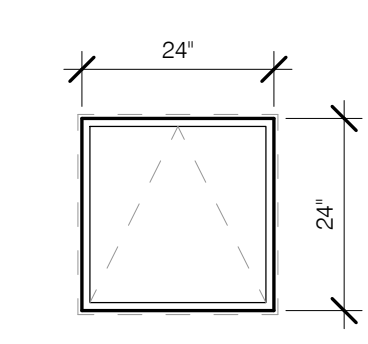
1F 30x60 GYP VERTICAL/VR GASKETED VERTICAL FCU CLOSET



2C 36x36 PAINTED METAL/VERTICAL/1 1/2 HR RATED TRASH ROOM



2D 60x48 PAINTED METAL/VERTICAL/DOUBLE DOOR/RIBED UNDER FIRE COURT



4A 24x24 STAINLESS STEEL/VERTICAL/1 1/2 HR RATED TRASH CHUTE

1	3/27/15	DOB PAA	
NO.	DATE	REVISION	

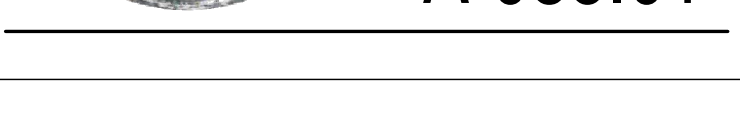
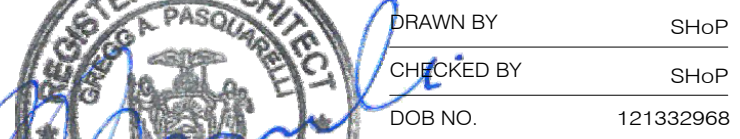
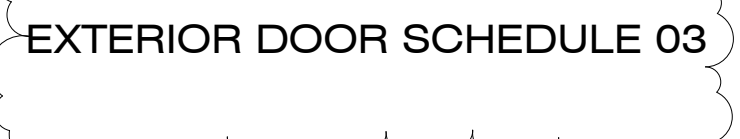
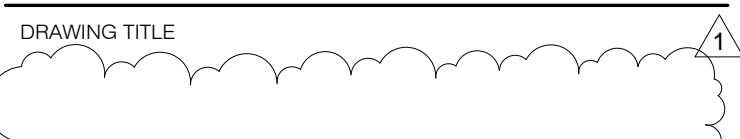
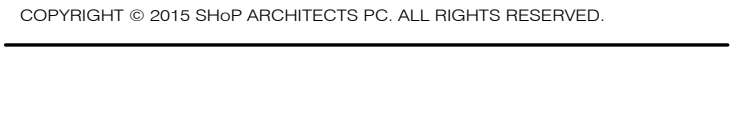
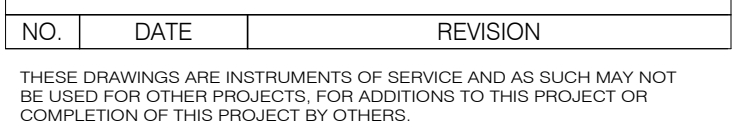
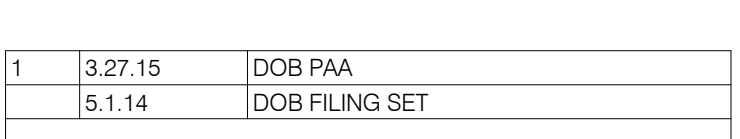
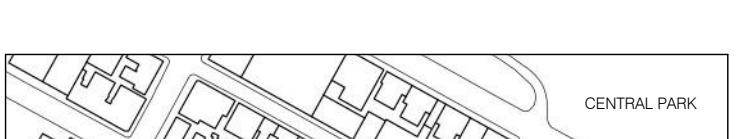
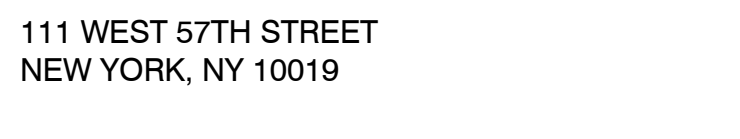
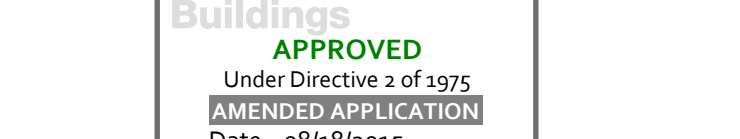
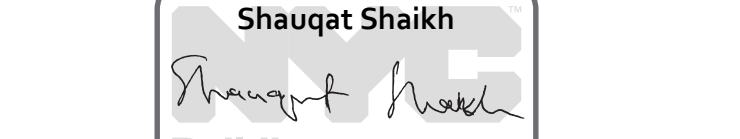
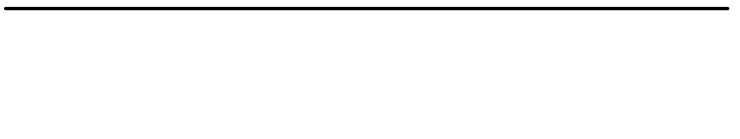
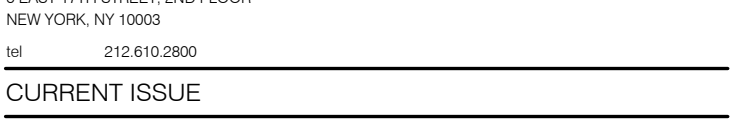
ACCESS PANEL TYPES, LOUVER SCHEDULE AND DETAILS

DATE	3/27/15
PROJECT NO.	130607
DRAWN BY	SHUP
CHECKED BY	SHUP
DOB NO.	121332968
DRAWING NUMBER	A-082.01

INT. DOOR SCHEDULE - 01										
wmt	WD	HT	DOOR TYPE	FRAME TYPE	RATING	E.C.	HW SET	OPERA TION	NOTES	
<b>SUB-CELLAR</b>										
-0201	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0202	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0203	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING	
-0204	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	ICR	STAIR C - 90-MINUTE SELF-CLOSING	
-0230	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING	
-0240	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING	
<b>CELLAR</b>										
-0100.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0101.A	3'-0"	7'-0"	A1	HM-A	NR	170	STD	K		
-0101.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
-0101.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0102.A	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0102.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0102.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0103	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0103.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0103.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
-0103.B1	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0103.B2	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
-0103.B3	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0103.B4	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0103.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0103.D	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0103.G	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0104	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0104.A	5'-0"	7'-0"	A1	HM-A	1 1/2 HR	140	STD	ICR		
-0104.B	3'-0"	7'-0"	A1	HM-A	3 HR	170	STD	K		
-0104.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
-0105.A	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0105.B	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	PSG	DOOR WITH LATCH ONLY / NO LOCKING HDWE	
-0106.A	3'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	ICR		
-0106.B	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	PSG		
-0106.C	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	PSG		
-0107	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
-0108.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
-0110	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR C - 90-MINUTE SELF-CLOSING	
-0113	6'-0"	7'-0"	AA1	HM-A	NR	170	STD	PSG	NO LOCKING MECHANISM	
-0114	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING	
-0115	6'-0"	7'-0"	AA1	HM-A	1 1/2 HR	170	STD	PSG	DOOR WITH LATCH ONLY / NO LOCKING HDWE	
-0121	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE SELF-CLOSING	
-0130	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
-0131	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
-0132	5'-0"	7'-0"	A1	HM-A	1 1/2 HR	140	STD	ICR		
<b>GROUND (B3.1 MBD)</b>										
-0100.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170	CUSTOM	PSG		
-0100.D	6'-0"	8'-6"	BB2	WD-A	NR	170	CUSTOM	PSG		
-0100.E	6'-0"	8'-6"	BB2	WD-A	NR	170	CUSTOM	PSG		
0103.A	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR		
0103.B	3'-0"	7'-0"	A1	HM-A	NR	170	STD	PSG		
0103.E	28'-11"	15'-0"	F5	F3	1 1/2 HR				OVERHEAD COILING DOOR - INTEGRATE OPERATION w/ DECORATIVE GATE	
0107.A	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	ICR		
0107.B	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	ICR		
0108.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170	CUSTOM	PSG		
0109	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	K		
0110	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PSG		
0113.A	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0115	6'-0"	7'-0"	BB2	HM-A	1 1/2 HR	170	STD	ICR		
0118.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	PANIC		
0118.B	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	CUSTOM	ICR		
0121	6'-0"	7'-0"	DD2	BR-A	1 1/2 HR	170	CUSTOM	PSG	CUSTOM BRONZE/GLASS DOOR	
0122.A	7'-0"	11'-6"	DD2	SEE CW	NR	400	CUSTOM	ELEC	BALANCED DOOR w/ OPENER	
0122.B	7'-0"	11'-6"	DD2	SEE CW	NR	400	CUSTOM	ELEC	BALANCED DOOR w/ OPENER	
0124	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	PANIC		
0130.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
0131	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	K		
0133	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
0140	3'-0"	7'-0"	B1	WD-A	1 1/2 HR	170	CUSTOM	ICR	STAIR A - 90-MINUTE SELF-CLOSING	
0140.A	3'-11 1/2"	11'-11"	D3	F4A	1 1/2 HR	220	CUSTOM	PANIC	CUSTOM BRONZE EXTERIOR DOOR	
0140.B	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	ICR		
0150	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR	STAIR B - 90-MINUTE SELF-CLOSING	
0160.A	3'-11 1/2"	14'-8"	D3	F4B	1 1/2 HR	170	CUSTOM	PANIC	CUSTOM BRONZE EXTERIOR DOOR	
0160.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR D - 90-MINUTE w/ PANIC HARDWARE	
0190.B	4'-0"	10'-9 1/4"	D4	BR-B	1 1/2 HR	225	CUSTOM	ICR	CUSTOM BRONZE DOOR - REPLICA OF ORIG	
<b>LEVEL 2</b>										
0200.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0200.C	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0200.D	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0203	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0204.A	6'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0204.B	6'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0220	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR B - 90-MINUTE SELF-CLOSING	
0230	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
0231	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
0232	3'-0"	7'-0"	A1	HM-A	1 HR	170	STD	K		
0233	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	K		
<b>LEVEL 3</b>										
0310.A	3'-0"	7'-0"	ALUM CW	SEE CW	1 1/2 HR	170	STD	PANIC		
0320	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING	
0330	3'-0"	7'-0"	A1	HM-A	3/4 HR	170	STD	K		
0330	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
0331	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
0332	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	K		
0340	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR B - 90-MINUTE SELF-CLOSING	
0350	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	K		
<b>LEVEL 4</b>										
0401	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0410	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING	
0420	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR B - 90-MINUTE SELF-CLOSING	
0421	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0422	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	PSG		
0430	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0431	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0450	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170	STD	K		
<b>LEVEL 5</b>										

INT. DOOR SCHEDULE - 01										
wmt	WD	HT	DOOR TYPE	FRAME TYPE	RATING	E.C.	HW SET	OPERA TION	NOTES	
0501.A	5'-4"	7'-0"	B2	WD-A	NR	150	CUSTOM	PSG		
0501.B	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	K		
0501.C	3'-0"	7'-0"	A1	HM-A	NR	170	STD	K		
0505.A	3'-0"	7'-0"	B2	WD-B	NR	170	CUSTOM	PRIV		
0505.B	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR		
0505.C	3'-0"	7'-0"	B2	WD-A	1 1/2 HR	170	CUSTOM	ICR		
0505.D	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PRIV		
0506.C2	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PSG		
0506.D	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PRIV		
0506.E	3'-0"	7'-0"	B2	WD-A	NR	170	CUSTOM	PRIV		
0507.A	3'-0"	7'-0"	B2	WD-BB	NR	170	CUSTOM	K		
0507.D	3'-0"	7'-0"	B2	WD-BB	NR	170	CUSTOM	K		
0510	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR	STAIR A - 90-MINUTE SELF-CLOSING	
0512	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	STD	K		
0513	3'-0"	7'-0"	A1	WD-C	1 1/2 HR	170	STD	PSG		
0514	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	STD	ICR		
0520	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	CUSTOM	ICR	STAIR B - 90-MINUTE SELF-CLOSING	
0521	3'-0"	7'-0"	A1	FL-A	1 1/2 HR	170	CUSTOM	ICR		
0530	3'-0"	7'-0"	B2	WD-C	1 1/2 HR	170	STD	K		
0531	3'-0"	7'-0"	B2	HM-A	1 1/2 HR	170	STD	K		
1500.C	3'-0"	7'-0"		NR	170					
<b>LEVEL 6</b>										
0600.A	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0600.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0601	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0601.B	3'-0"	7'-0"	A1	HM-A	1 1/2 HR	170	STD	ICR		
0602	3'-0"	7'-0"	A							

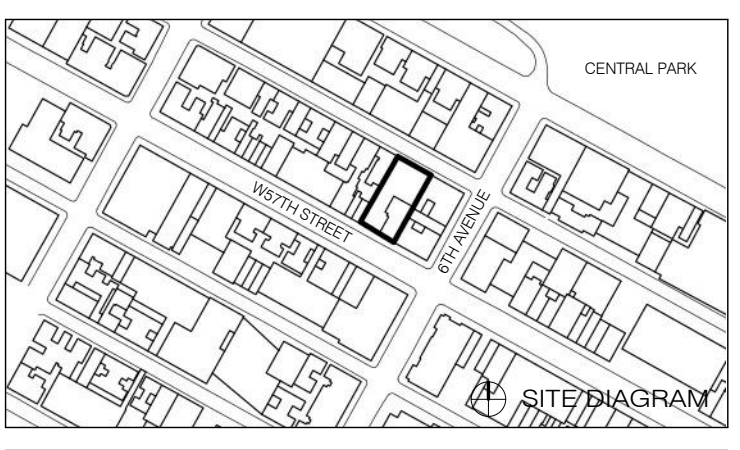




DOOR SCHEDULE - EXTERIOR											
NUMBER	WD	HT	DOOR TYPE	FRAME TYPE	RATING	E.C.	HW SET	OPERATION	NOTES		
GROUND (63.1' MBD)											
0100.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170		PSG			
0108.C	3'-0"	7'-0"	D5	BR-C	1 1/2 HR	170		PSG			
0113.A	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170		ICR			
0115	6'-0"	7'-0"	BB2	HM-A	1 1/2 HR	170		ICR			
0118.B	3'-0"	6'-8"	A1	HM-A	1 1/2 HR	170		ICR			
0122.A	7'-0"	11'-6"	DD2	SEE CW	NR	400		ELEC	BALANCED DOOR W/ OPENER		
0122.B	7'-0"	11'-6"	DD2	SEE CW	NR	400		ELEC	BALANCED DOOR W/ OPENER		
0140.A	3'-11 1/2"	11'-11"	D3	F4A	1 1/2 HR	220		PANIC	CUSTOM BRONZE EXTERIOR DOOR		
0160.A	3'-11 1/2"	14'-8 1/4"	D3	F4B	1 1/2 HR	170		PANIC	CUSTOM BRONZE EXTERIOR DOOR		
0190.B	4'-0"	10'-9 1/4"	D4	BR-B	1 1/2 HR	225		ICR	CUSTOM BRONZE DOOR - REPLICA OF ORIG		
LEVEL 4											
0400	4'-0"	9'-1 3/4"	C2-F	AL-A	NR	230					
LEVEL 7											
0703.A	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
0703.B	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
0703.C	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
0703.D	4'-0"	9'-1 3/4"	C2	AL-A	NR	230					
LEVEL 8											
0827	3'-7 1/4"	8'-7"	C1	CW	NR						
LEVEL 10											
1000.A	3'-0"	7'-0"	A1	HM-B	1 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
1002.A1	6'-4 3/4"	9'-10 1/2"	CC-F	AL-AA	NR						
1002.B1	6'-4 3/4"	9'-10 1/2"	CC-F	AL-AA	NR						
1010	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
LEVEL 11											
1110.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
1110.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
LEVEL 13											
1300.A	4'-0"	9'-1 1/2"	C2	AL-A	NR	230					
1301.A	4'-0"	9'-5 3/4"	C2	AL-A	NR	230					
1301.K	4'-0"	9'-5 3/4"	C2	AL-A	NR	230					
1302.A1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1302.B1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1302.C1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1302.D1	6'-6 1/2"	9'-10 1/2"	CC2	AL-A	NR						
1310.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
1310.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
LEVEL 14											
1410.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
1410.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	SELF-CLOSING; WOOD FINISH OVERLAY PANEL TO MATCH ADJ.		
LEVEL 16.0											
1601.A1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.B1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.C1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.D1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.E1	4'-9"	6'-11 1/2"	CC3	AL-B	NR	132.5					
1601.N	4'-4"	8'-1"	C2	AL-A	1 1/2 HR	250					
1601.P	4'-4"	8'-1"	C2	AL-A	1 1/2 HR	250					
1610	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90 MINUTE SELF-CLOSING		
1610.A	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90 MINUTE SELF-CLOSING		
1610.B	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90 MINUTE SELF-CLOSING		
1690.A	3'-0"	7'-0"	A1	HM-B	NR	170		ICR			
LEVEL 17.0											
1700.A	3'-0"	7'-0"	A1	HM-B	NR	170		ICR	DECORATIVE PANEL TO MATCH ADJACENT		
1700.B	6'-7"	12'-11 1/4"	C2-F	AL-A	NR						
1785	3'-0"	7'-0"			1 1/2 HR	170					
LEVEL 45											
4501.A	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
4501.B	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
LEVEL 58											
5801.D	3'-0 3/4"	9'-7"	C1	CW	NR						
5801.G	3'-0 3/4"	9'-7"	C1	CW	NR						
LEVEL 65											
6501.A	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
6501.B	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
LEVEL 70											
7000.G	3'-0 3/4"	9'-7"	C1	CW	NR						
7000.H	3'-0 3/4"	9'-7"	C1	CW	NR						
LEVEL 74											
7401.C	3'-0 3/4"	9'-7"	C1	CW	NR						
LEVEL 77											
7701.A1	3'-1 3/4"	15'-1"	C1	CW	NR						
LEVEL 79											
7902.B	2'-0"	6'-8"	A1	HM-A	NR			K			
LEVEL 80											
8001	3'-0"	7'-0"	A1	HM-B	3/4 HR	170		ICR	SELF-CLOSING		
LEVEL 83											
8330	2'-0"	6'-8"	A1	HM-A	NR			ICR	CURTAINWALL		
8330.A	1'-9 1/2"	9'-7"	A1	CW	NR						
LEVEL 85/ ROOF											
8510	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR A - 90-MINUTE SELF-CLOSING		
8520	3'-0"	7'-0"	A1	HM-B	1 1/2 HR	170		ICR	STAIR B - 90-MINUTE SELF-CLOSING		
8530	3'-0"	7'-0"	A1	HM-B	NR	170		ICR			
Level-1											
0100.A	7'-1"	13'-6"									
0100.B	7'-1"	13'-6"									
LOBBY											
0108.A	6'-0"	8'-6"	DD5	BR-C	NR	170		PSG			
0108.B	6'-0"	8'-6"	DD5	BR-C	NR	170		PSG			

NOTES:  
1. SEE SPECIFICATION SECTION 080671 FOR HARDWARE TYPES.  
2. EXIT CAPACITY BASED ON 2" PER OCCUPANT OF CLEAR OPENING WIDTH PER 1005.1

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NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLUNG SET
NO.	DATE	REVISION

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DRAWING TITLE

EXTERIOR DOOR SCHEDULE 03

SEAL & SIGNATURE DATE 3.27.15

REGISTERED ARCHITECT  
PROJECT NO. 130607  
DRAWN BY SHAP  
CHECKED BY SHAP  
DOB NO. 121332968  
DRAWING NUMBER

A-085.01



**GENERAL NOTES**

G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DIMENSIONS NOT INCLUDED IN SET.

G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.

G3 PROJECT D.O. = 03-1 MBD.

G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.

G5 REFER TO RESTORATION DRAWINGS (RPS) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT THROUGHOUT.

G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.

G7 ALL FLOOR ELEVATIONS IN STEINWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RPS DRAWINGS. V.F. ALL NEW SLAB IN STEINWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.

G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSING KEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.

G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.

G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.

G11 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.

G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.

G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEHP/HANGING LOAD.

G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, 100".

**KEY NOTES**

F6 EXISTING FIRE ENCLOSURE.

F13 2 HR RATED SOFFIT.

N1 NEW FINISH FLOOR LEVEL TO MEET EXISTING STEINWAY FINISH FLOOR LEVEL. V.F.

N15 DOOR TO BE UNLOCKED AND PROVIDED WITH ALARM THRESHOLD.

R2 EXISTING FOUNDATION WALL. V.F.

R4 EXISTING STAIRS IN STEINWAY TO REMAIN, FINISHES RESTORED PER RESTORATION DRAWINGS.

R5 EXISTING WALL TO REMAIN, TIED INTO NEW FOUNDATION. INTERIOR FLOORS REMOVED AND NEW FLOOR INSTALLED LEVEL WITH NEW RETAIL CELL LEVEL. SEE STRUCTURAL DRAWINGS.

R8 EXISTING STEINWAY FOUNDATION WALL. EXISTING ELEVATOR PIT V.F.

R10 EXISTING ELEVATOR PIT V.F.

S2 CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

S8 CIP CONCRETE TOWER SHEAR WALL THROUGH EXISTING BUILDING FOUNDATION. SEE STRUCTURAL DRAWINGS.

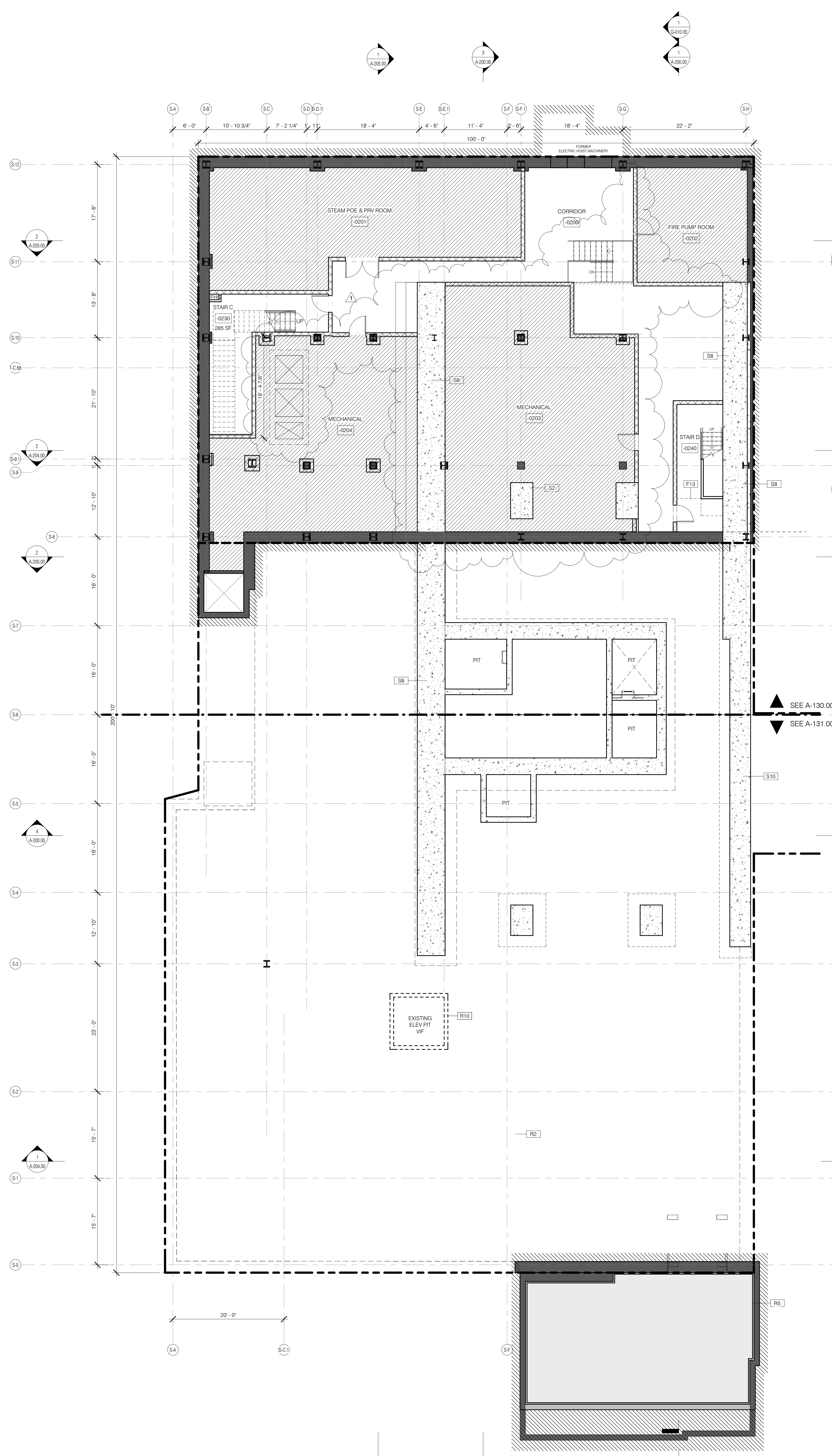
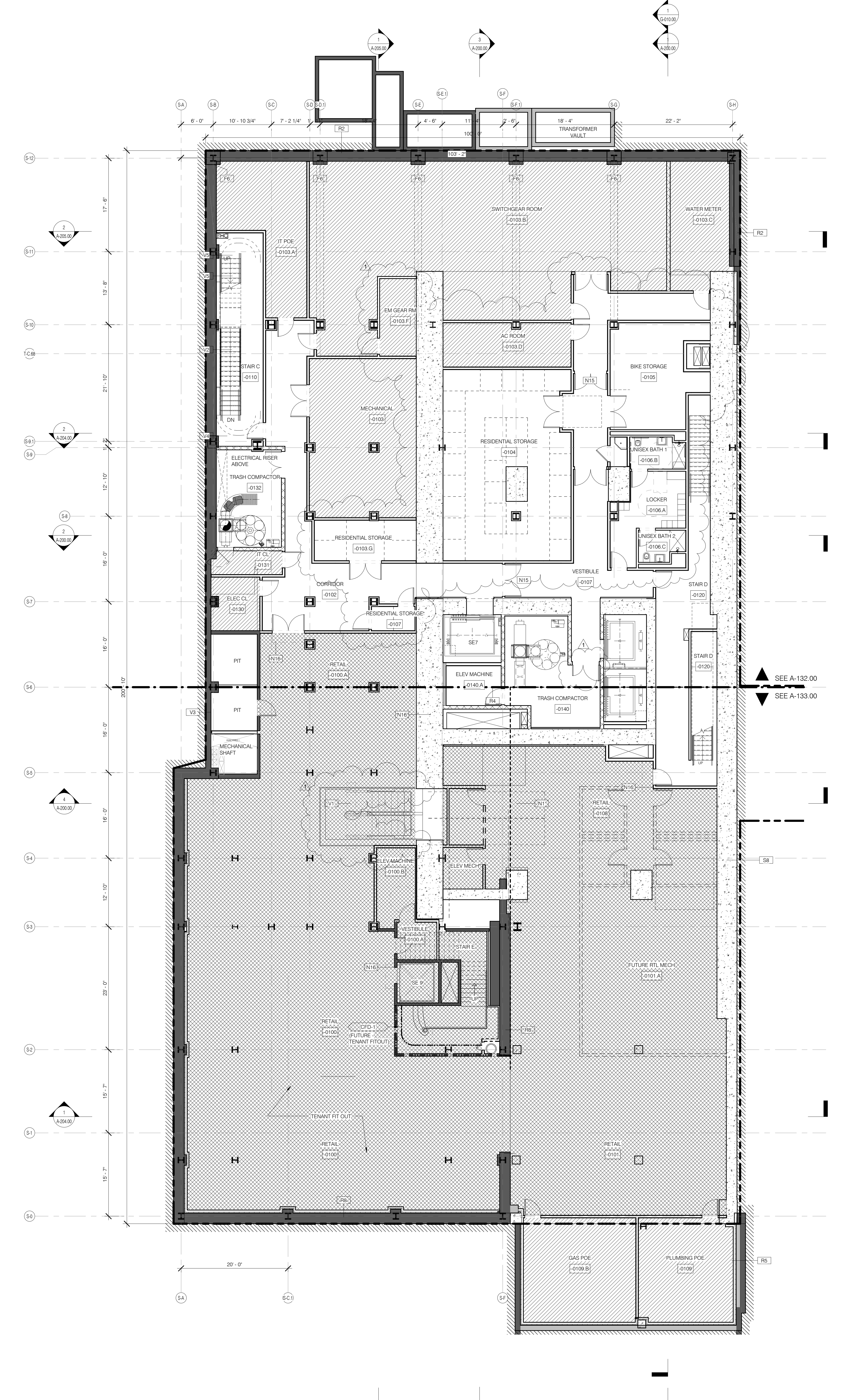
S10 ESCALATOR IN ENCLOSURE WITH FUTURE FIRE SHUTTER DOORS AT LOWER LEVEL. PROVIDE CHIMNEY ENCLOSURE AT CURRENT PHASE.

V1 NEW FREIGHT ELEVATOR IN EXISTING SHAFT, ELEVATOR DOOR SIZE INCREASED & NEW FRAME OPENING REBUILT TO MATCH EXISTING STONE PROFILE.

V3 EXISTING ELEVATOR SHAFT TO REMAIN. ELEVATORS AND ALL EQUIPMENT TO BE REPLACED WITHIN EXISTING ELEVATOR SHAFTWAY. SHAFT INTERIOR CONDITION TO BE VERIFIED AND REPAIRED/ALTERED AS REQUIRED.

V4 EXISTING ELEVATOR SHAFT CONVERTED TO MECHANICAL SHAFT.

V5 EXISTING ELEVATOR SHAFT WITH INFILL FLOOR FOR MEP CLOSETS.



SEE A-132.00  
SEE A-133.00

SEE A-130.00  
SEE A-131.00

SEE A-132.00  
SEE A-133.00

SEE A-130.00  
SEE A-131.00

SEE A-132.00  
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SEE A-130.00  
SEE A-131.00

SEE A-132.00  
SEE A-133.00

SEE A-130.00  
SEE A-131.00

CELLAR 1/8" = 1'-0" 2

SUB-CELLAR 1/8" = 1'-0" 1

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

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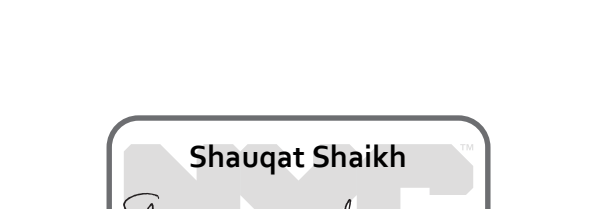
NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

**FLOOR KEY PLANS  
SUBCELLAR/CELLAR**

SEAL & SIGNATURE: [Signature] DATE: 3.27.15  
PROJECT NO: 130907  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO: 121330266  
DRAWING NUMBER: A-100.01







**GENERAL NOTES**

G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DIMENSIONAL NOT INCLUDED IN SET.

G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.

G3 PROJECT DO = 63.1 MBD.

G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.

G5 REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ASH HAZARDOUS MATERIALS RELATED TO IMPROVEMENT THROUGHOUT.

G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.

G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER RESTORATION DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.

G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.

G9 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.

G10 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.

G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.

G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEHP/HANGING LOAD.

G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, 100".

**KEY NOTES**

E1 TERRAZZOTA PLASTERS. SEE A-301.00

F10 VERTICAL COILING FIRE DOOR - 2x4 RATED CEILING AND WALL CONSTRUCTION ABOVE

I3 INTERIOR GLASS ATRIUM ENCLOSURE. 2x4 RATED WITH ALUMINUM SPRINGERS SPACED 4 FEET ON ROOM SIZE PER BC-404.5.1

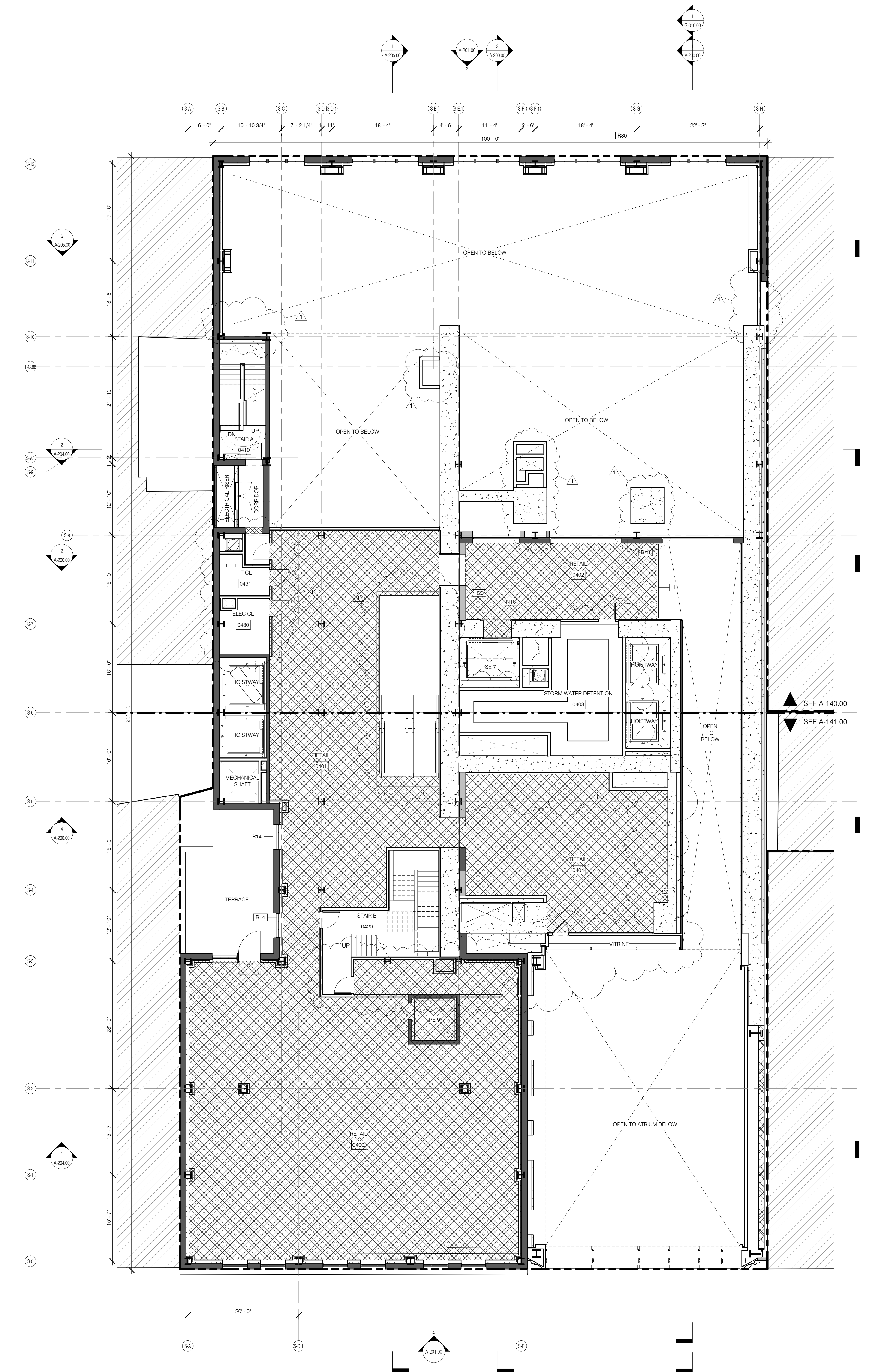
N16 PROVIDE TOPPING AT MAX 1.20 SL/DPE BETWEEN RAW FLOOR SLAB AND FINISHED STAIRS, ESCALATORS, AND EGRESS THRESHOLDS.

R14 ALL EXISTING WINDOWS TO BE REPLACED TO MATCH ORIGINAL DESIGN INTENT. BUILT TO CURRENT CODE STANDARDS. SEE RESTORATION DRAWINGS AND DETAIL FACADE DRAWINGS.

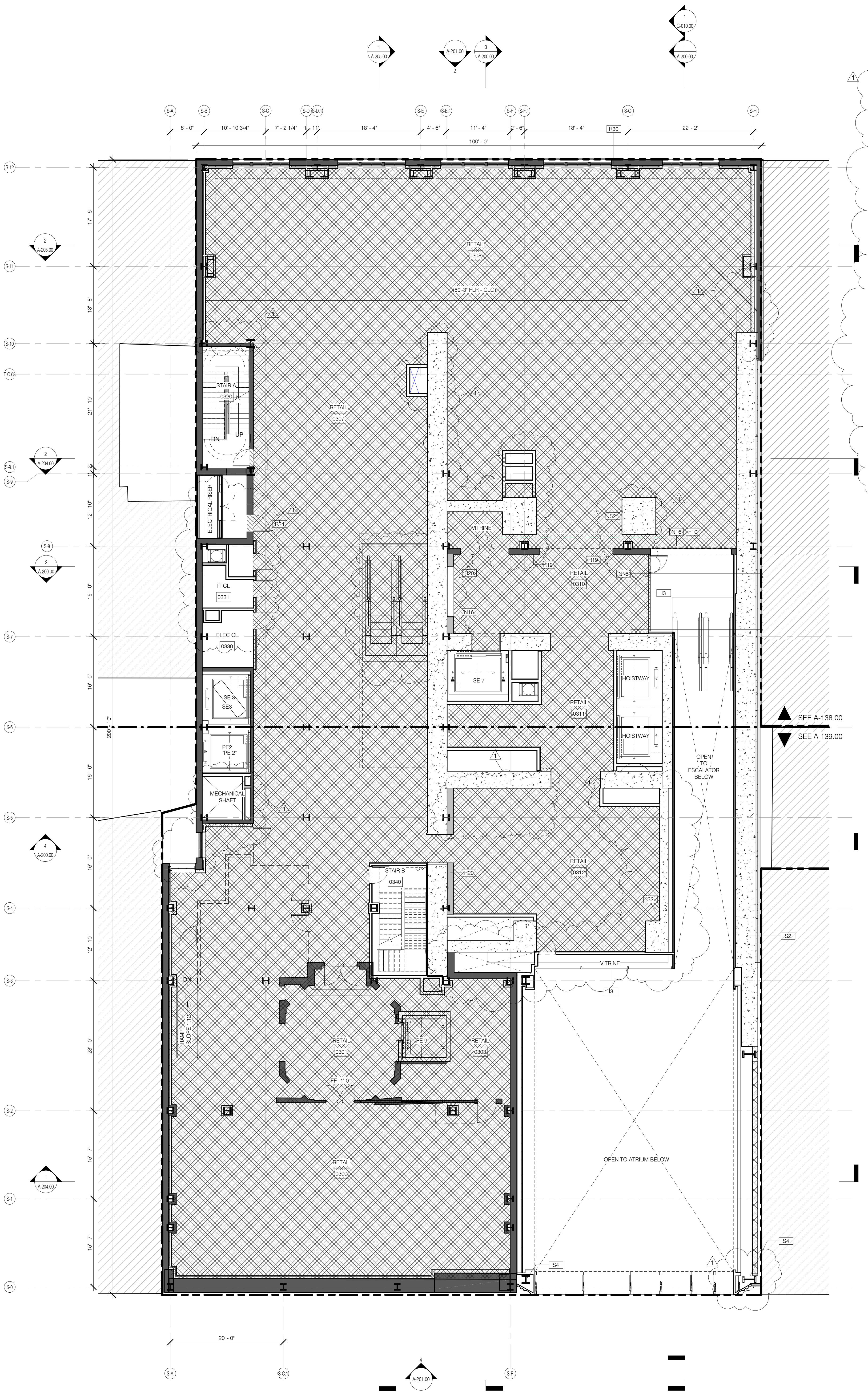
R19 EXISTING BRICK WALL TO REMAIN. RESTORED BRICK WALL TO MATCH EXISTING.

R20 EXISTING FIRE COURT DOOR REPLACED WITH RESTORED COP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

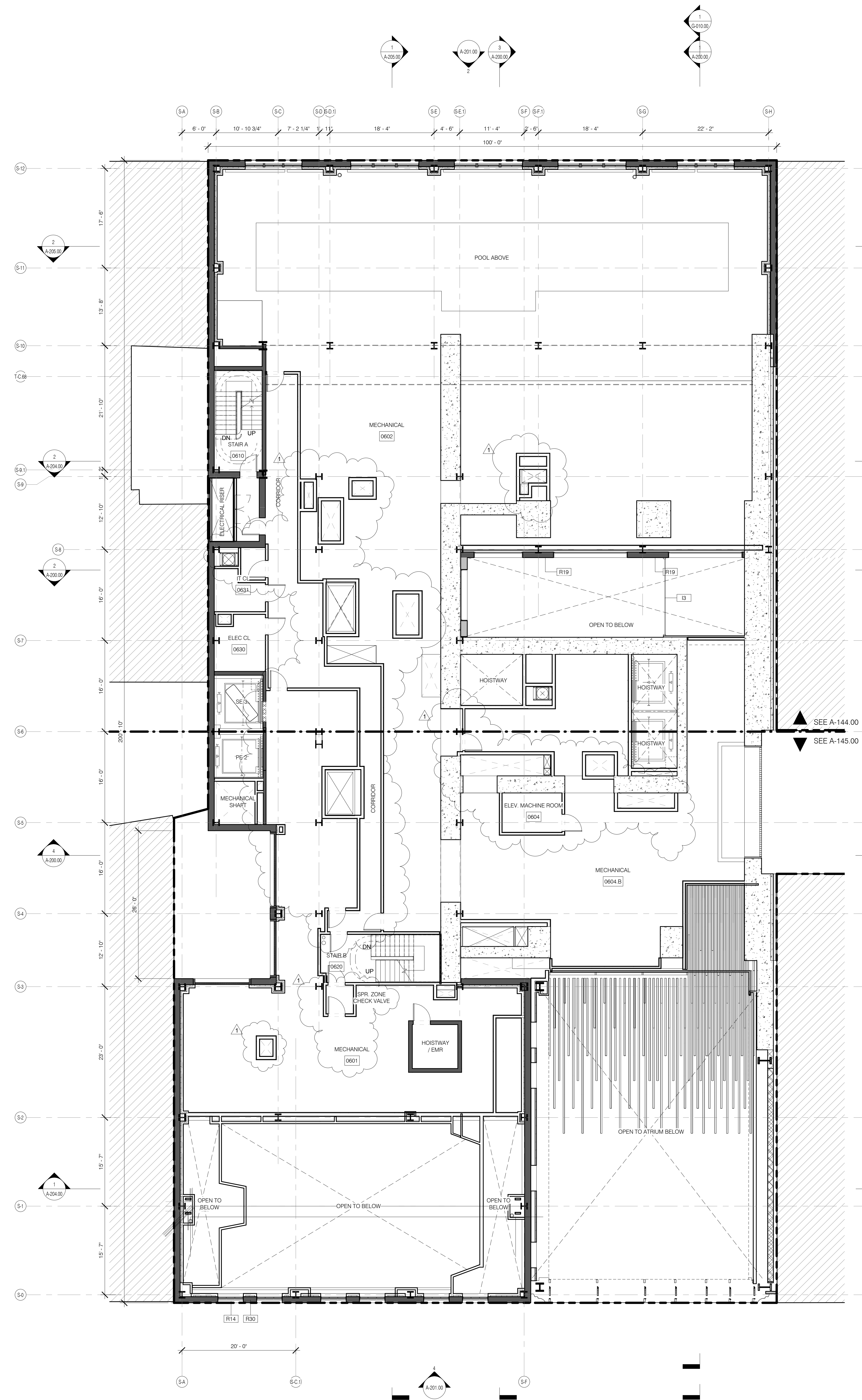
R24 STEEL ATRIUM STRUCTURE WITH CMU INFILL PARTY WALL.



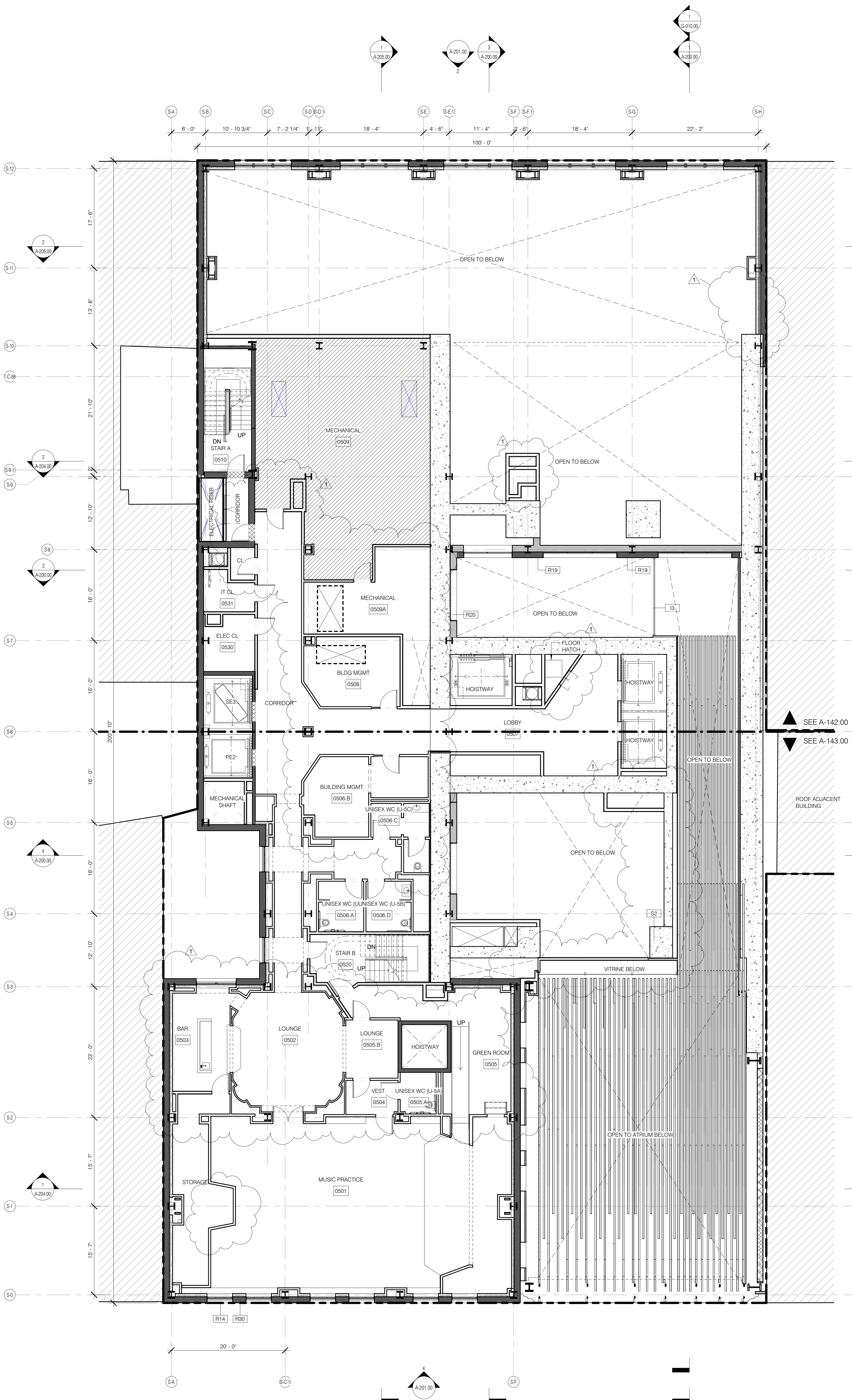
LEVEL 4 1/8" = 1'-0" 2 A-102.01



LEVEL 3 PLAN 1/8" = 1'-0" 1 A-102.01



LEVEL 6 1/8" = 1'-0" 2



LEVEL 5 1/8" = 1'-0" 1

- GENERAL NOTES**
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT D.O. = 03.1.1 MBO.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (R.P.) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO THE AGREEMENT.
  - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORDS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL, UNO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G11 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEHP/HANGING LOAD.
  - G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, LIGN.

- KEY NOTES**
- E1 TERRAZZO PLASTERS. SEE A-301.00.
  - E2 INTERIOR GLASS ATRIUM ENCLOSURE, 2-HR FIRE RATED WITH AUTOMATIC SPRINKLING SPACED 6 FEET ON ROOM SIDE PER BC 604.5.1.
  - E3 ALL EXISTING WINDOWS TO BE REPLACED TO MATCH ORIGINAL DESIGN INTENT, BUILD TO CURRENT CODE STANDARDS. SEE RESTORATION DRAWINGS AND DETAIL FACADE DRAWINGS.
  - E4 EXISTING BRICK WALL TO REMAIN, RESTORED.
  - E5 BRICK WALL TO MATCH EXISTING.
  - E6 EXISTING LANDMARK FACADE TO BE RESTORED.
  - E7 CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

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 WWW.PMG.COM

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**DOB PAA**

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**INTERIORS**  
 TUDOR SCHEFFEL  
 30 WALKER STREET, 7TH FLOOR EAST  
 NEW YORK, NY 10002  
 TEL: 212.475.3300

**APPROVED**  
 Under Directive 2 of 1975  
 INTERESTED PARTICIPATION  
 DATE: 08/28/2015  
 NYC Development Hub

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019

**REVISION**

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

**DRAWING TITLE**

**FLOOR KEY PLANS LEVELS 5/6**

**SCALE & SIGNATURE**

DATE: 3.27.15  
 PROJECT NO: 130007  
 DRAWN BY: SHAP  
 CHECKED BY: SHAP  
 DATE: 3.27.15  
 DRAWING NUMBER: 121330206  
 DRAWING NUMBER: A-103.01

**JDS DEVELOPMENT GROUP**  
 100 WEST 4TH STREET  
 NEW YORK, NY 10001  
 TEL: 646.432.3600

**sh p**

**ARCHITECT**  
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**CIVIL ENGINEER**  
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**INTERIORS**  
 TUDOR SCHEFFEL  
 30 WALKER STREET, 7TH FLOOR EAST  
 NEW YORK, NY 10002  
 TEL: 212.475.3300

**PROPERTY MARKETS GROUP**  
 3 EAST 4TH STREET  
 NEW YORK, NY 10003  
 TEL: 212.899.9999  
 WWW.PMG.COM

**CURRENT ISSUE**

**DOB PAA**

**Shauqat Shaikh**  
 Building  
 APPROVED  
 Under Directive 2 of 1975  
 INTERESTED PARTICIPATION  
 DATE: 08/28/2015  
 NYC Development Hub

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019

**REVISION**

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

**DRAWING TITLE**

**FLOOR KEY PLANS LEVELS 5/6**

**SCALE & SIGNATURE**

DATE: 3.27.15  
 PROJECT NO: 130007  
 DRAWN BY: SHAP  
 CHECKED BY: SHAP  
 DATE: 3.27.15  
 DRAWING NUMBER: 121330206  
 DRAWING NUMBER: A-103.01



PROFESSION	NAME	CONTACT
STRUCTURAL ENGINEER	BOB BROWNE	212.869.9338
MEP ENGINEER	JOHN DEBEN & ASSOCIATES	212.241.2025
CIVIL ENGINEER	LONGMAN LINDESEY	212.288.4400
ACoustics	LONGMAN LINDESEY	212.288.4400
INTERIORS	LONGMAN LINDESEY	212.288.4400



PROPERTY MARKETS GROUP  
200 WEST 4TH STREET  
NEW YORK, NY 10013

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

FLOOR KEY PLANS LEVELS 9/10

SEAL & SIGNATURE	DATE
	3.27.15

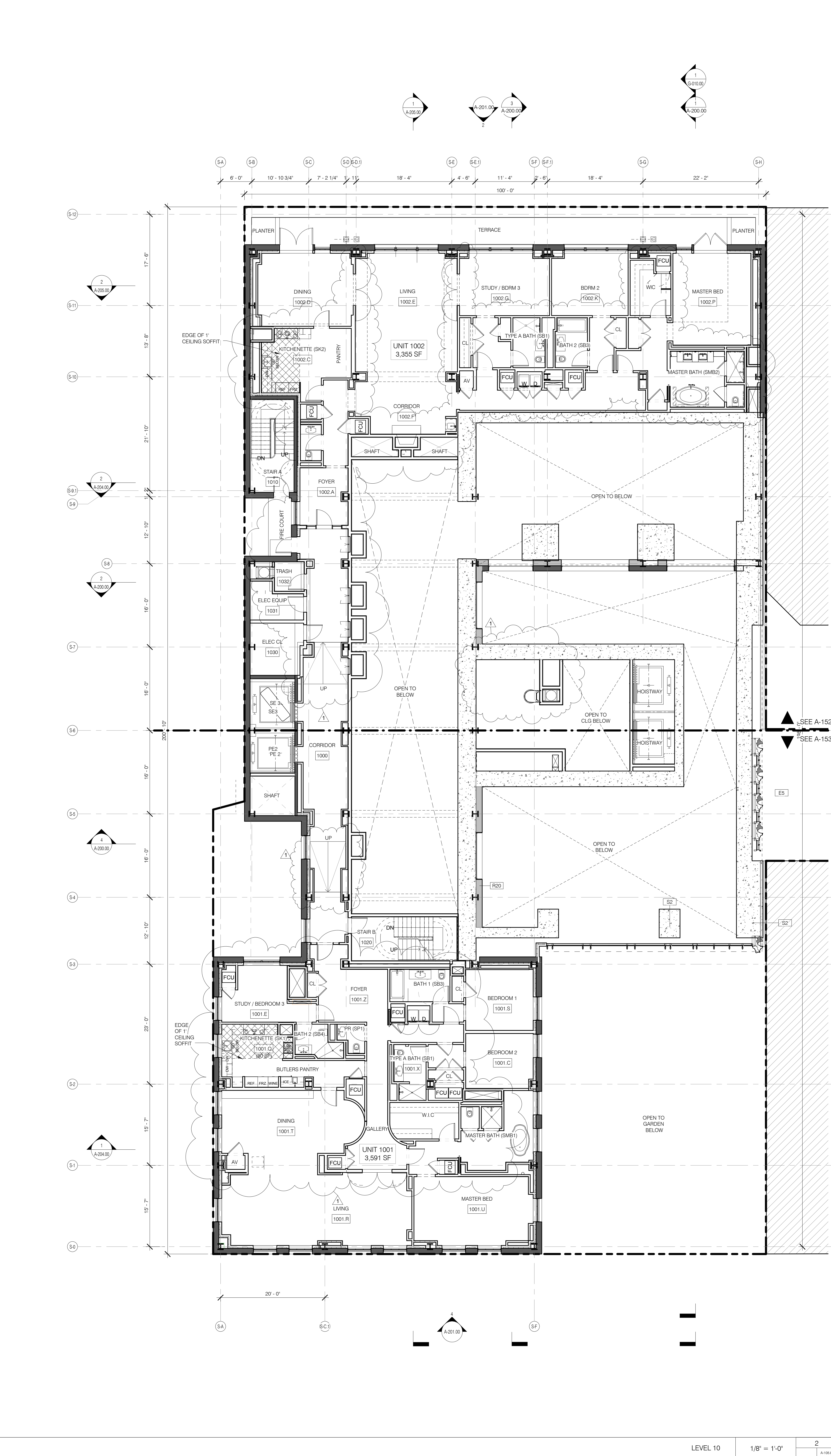
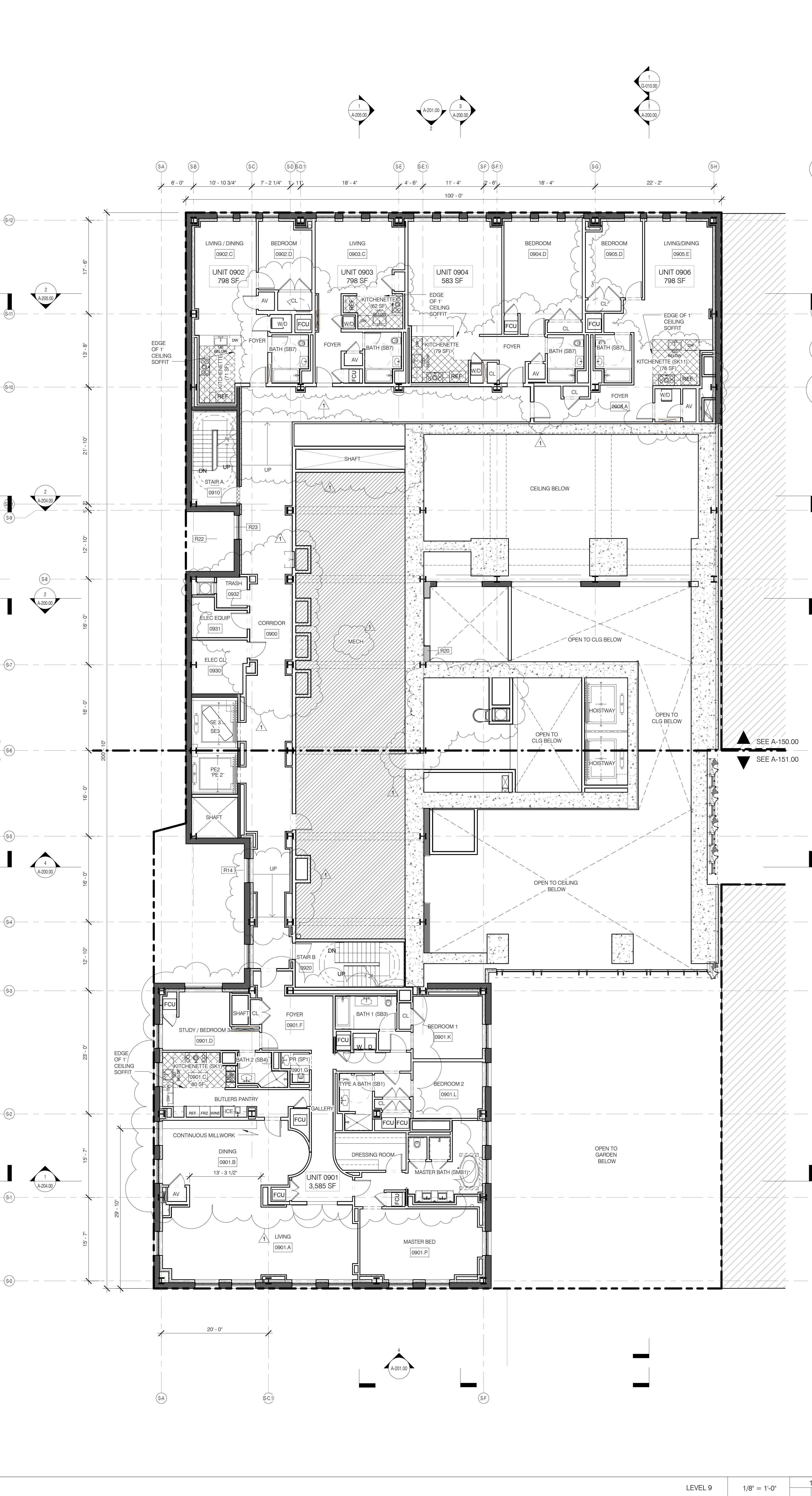
**A-105.01**

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.
  - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - PROJECT D.O. = 03.1 MBD.
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS-RELATED TO REMEDIATION.
  - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAY AND PAD LOCATIONS.
  - SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HVAC HANGING LOAD.
  - ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, 100".

- KEY NOTES**
- ALL EXISTING WINDOWS TO BE REPLACED TO MATCH ORIGINAL DESIGN INTENT. BUILT TO CURRENT CODE STANDARDS. SEE RESTORATION DRAWINGS AND DETAIL FACADE DRAWINGS.
  - EXISTING FIRE COURT RESTORED.
  - EXISTING FIRE COURT WINDOW REPLACED.
  - CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS



LEVEL 10 1/8" = 1'-0" 2

LEVEL 9 1/8" = 1'-0" 1

STRUCTURAL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER	CIVIL ENGINEER	ACQUISITION	INTERIORS
BRUNNENBERG 105 W 42ND STREET NEW YORK, NY 10018 TEL: 212.869.8000	BRUNNENBERG 105 W 42ND STREET NEW YORK, NY 10018 TEL: 212.869.8000	BRUNNENBERG 105 W 42ND STREET NEW YORK, NY 10018 TEL: 212.869.8000	BRUNNENBERG 105 W 42ND STREET NEW YORK, NY 10018 TEL: 212.869.8000	LONGMAN LINDSEY 40 WEST 57TH STREET 4TH FLOOR NEW YORK, NY 10019 TEL: 212.251.2000	TRUEN SCHEFFEL 300 W 42ND STREET 4TH FLOOR NEW YORK, NY 10018 TEL: 212.251.2000



PROPERTY MARKETS GROUP  
300 W 42ND STREET 11TH FLOOR  
NEW YORK, NY 10018  
CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

DESIGNED ARCHITECT	DATE	PROJECT NO.
SHAP ARCHITECTS, P.C.	3.27.15	130007
DRAWN BY		SHAP
CHECKED BY		SHAP
DOB NO.		121330206
DRAWING NUMBER		

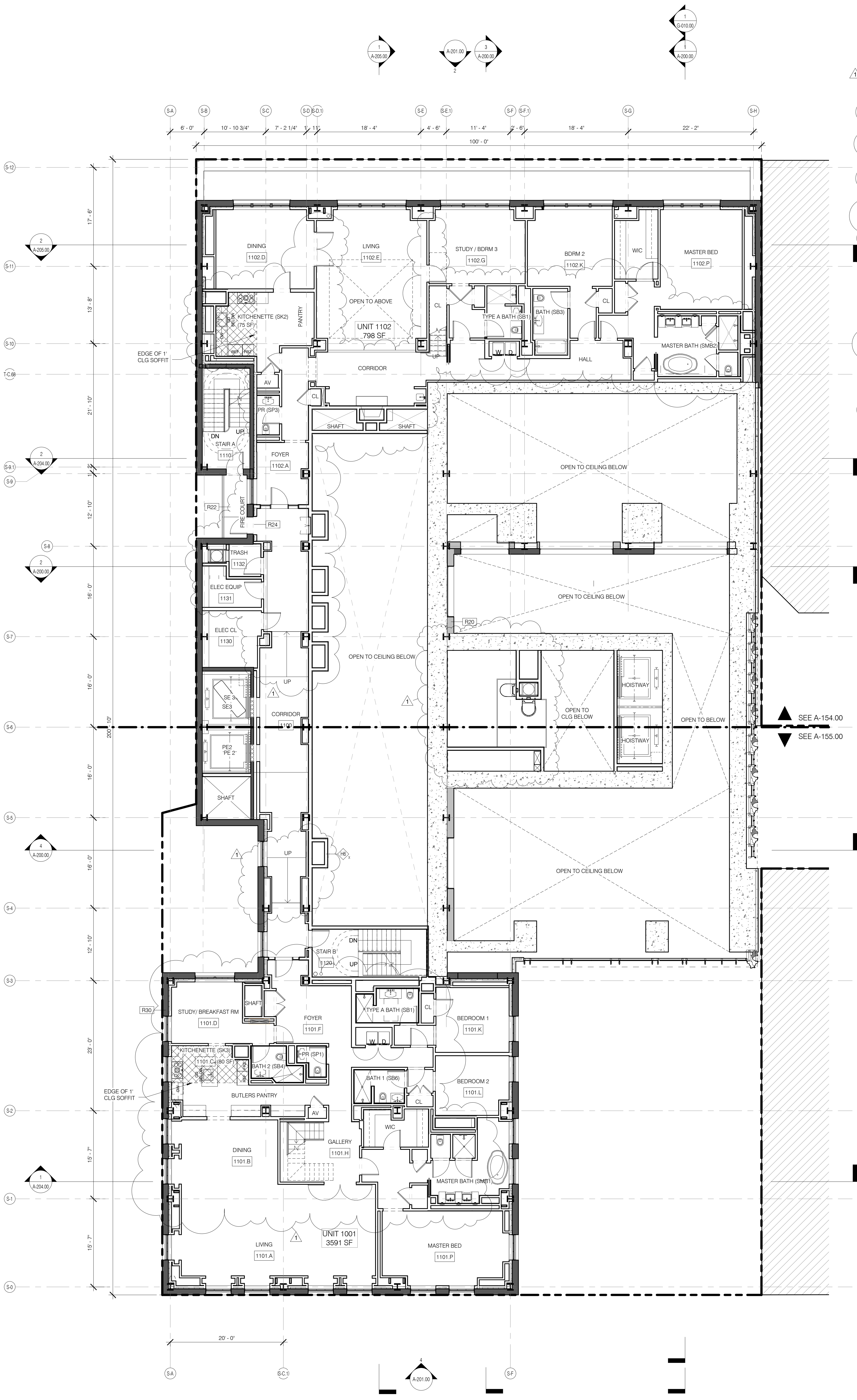
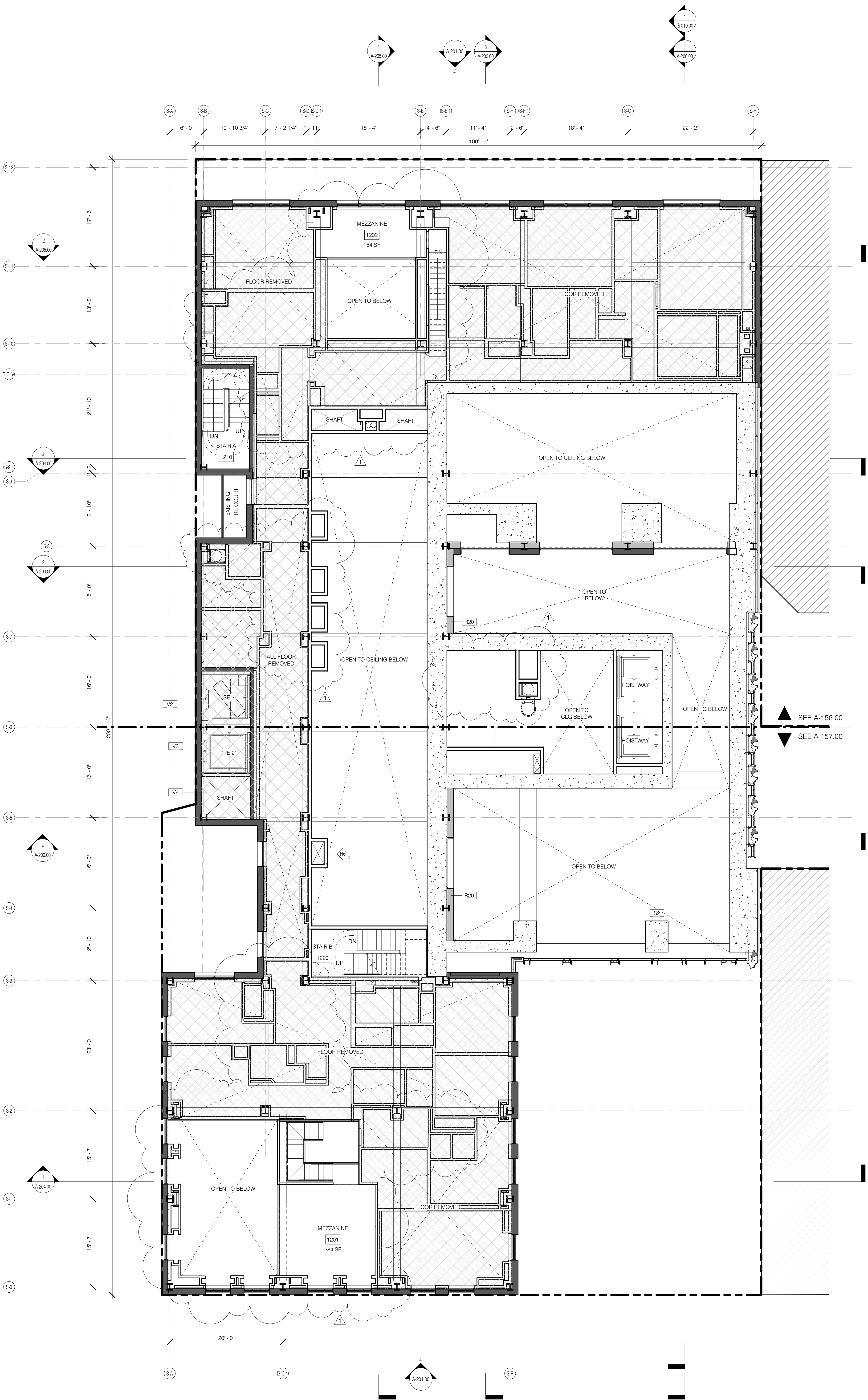
**A-106.01**

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DIMENSIONS NOT INCLUDED IN SET.
  - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - PROJECT DO = 631 MBD.
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVAL, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPAIRS.
  - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RP'S DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL, UN.
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAY AND PAIL LOCATIONS. SEE SHEET A-100.00 FOR TORPPINGS AND DRAIN LOCATIONS.
  - ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HANGING LOAD.
  - ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, 100".

- KEY NOTES**
- R20 BRICK WALL TO MATCH EXISTING.
  - R22 EXISTING FIRE COURT RESTORED.
  - R24 EXISTING FIRE COURT DOOR REPLACED.
  - R26 EXISTING LANDMARK FACADE TO BE RESTORED.
  - S2 SIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.
  - V2 NEW FREIGHT ELEVATOR IN EXISTING SHAFT. ELEVATOR DOOR SIZE INCREASED AND NEW FRAME OPENING REBUILT TO MATCH EXISTING STONE PROFILE.
  - V3 EXISTING ELEVATOR SHAFT TO REMAIN. ELEVATORS AND ALL EQUIPMENT TO BE REPLACED WITHIN EXISTING ELEVATOR SHAFTWAY. SHAFT INTERIOR CONDITION TO BE VERIFIED AND REPAIR/ALTERED AS REQUIRED.
  - V4 EXISTING ELEVATOR SHAFT CONVERTED TO MECHANICAL SHAFT.

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS



LEVEL 12 1/8" = 1'-0" 2

LEVEL 11 1/8" = 1'-0" 1

STRUCTURAL ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACoustIC	INTERIORS
SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.
SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.	SHIP ARCHITECTS, P.C.

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CALCULATION NOT INCLUDED IN SET.
  - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - PROJECT D.O. = 03-1-2015
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO THE ASBESTOS NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER RESTORATION DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL, UNO.
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAY KEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - SEE DRAWING G-022 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HVAC HANGING LOAD.
  - ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE, UNO.

- KEY NOTES**
- UNITIZED ALUM AND BRONZE FACADE PANEL. SEE A-310.00 AND A-313.00.
  - UNITIZED ALUM AND BRONZE FACADE PANEL. WATERPROOFING TO BE INSTALLED PER WATERPROOFING SPECIFICATIONS. SEE A-311.00.
  - EXISTING EXIT STAIR SHAFT TO REMAIN. DOORS REPLACED TO MEET CURRENT BUILDING CODE. MAINTAIN 2 HR FIRE RATING. NEW STAIR ASSEMBLY BELOW LEVEL 5.
  - EXISTING STAIRS IN STEREWAY TO REMAIN. FINISHES RESTORED PER RESTORATION DRAWINGS.
  - ALL EXISTING WINDOWS TO BE REPLACED TO MATCH ORIGINAL DESIGN INTENT. BUILT TO CURRENT CODE STANDARDS. SEE RESTORATION DRAWINGS AND DETAIL FACADE DRAWINGS.
  - EXISTING WINDOW OPENINGS EXTENDED TO FLOOR SLAB. REPLACE WITH FULL HEIGHT GLASS DOOR WITH MUNTIN SPACING TO MATCH WINDOWS.
  - BRICK WALL TO MATCH EXISTING.
  - EXISTING FIRE COURT DOOR REPLACED PER RESTORATION DRAWINGS.
  - EXISTING LANDMARK FACADE TO BE RESTORED.
  - CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.



PROPERTY MARKETS GROUP  
30 EAST 47TH STREET  
NEW YORK, NY 10003  
CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



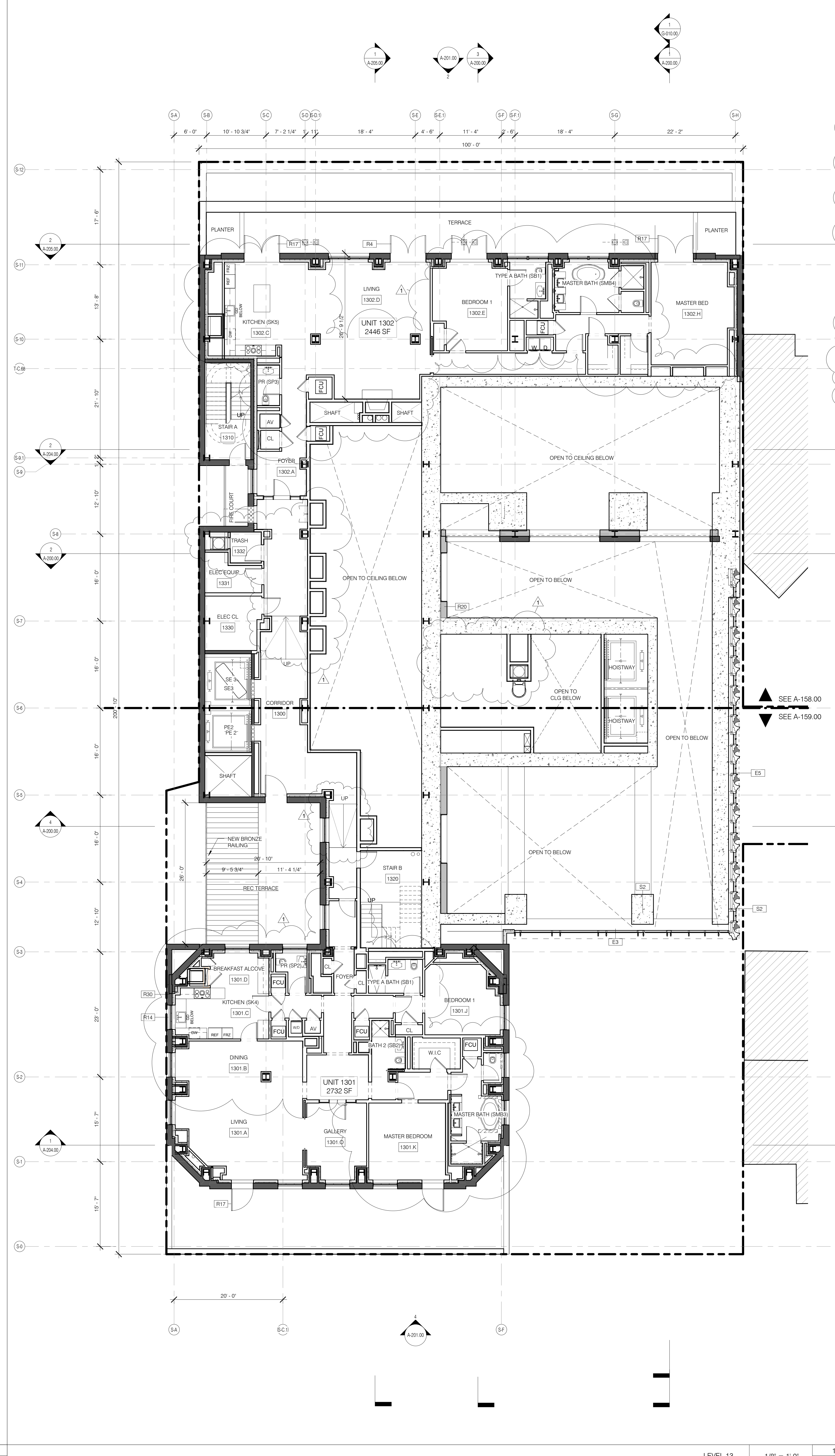
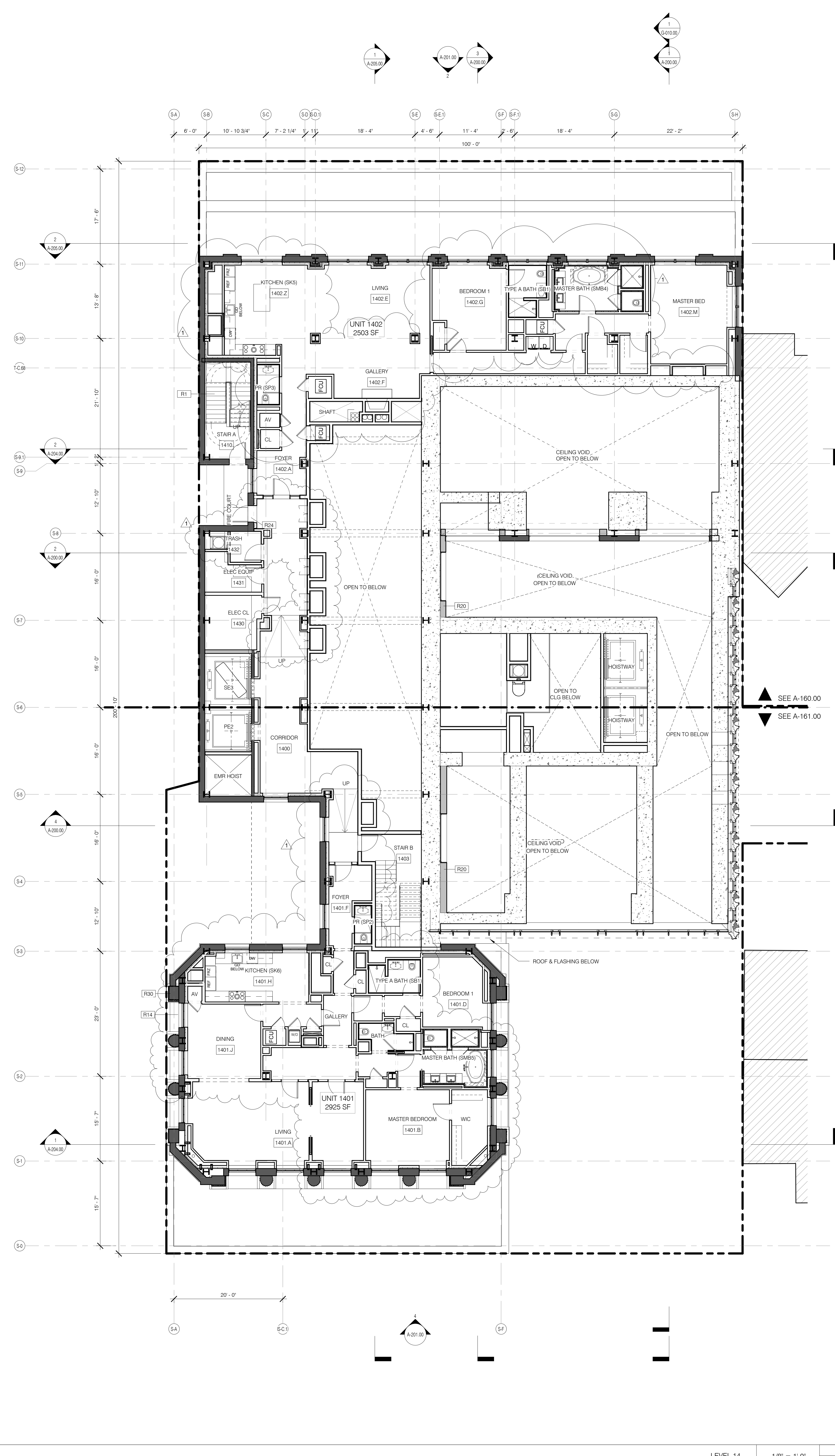
NO.	DATE	REVISION
1	3/27/15	DOB PAA
2	5/1/14	DOB PLUMB SET

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

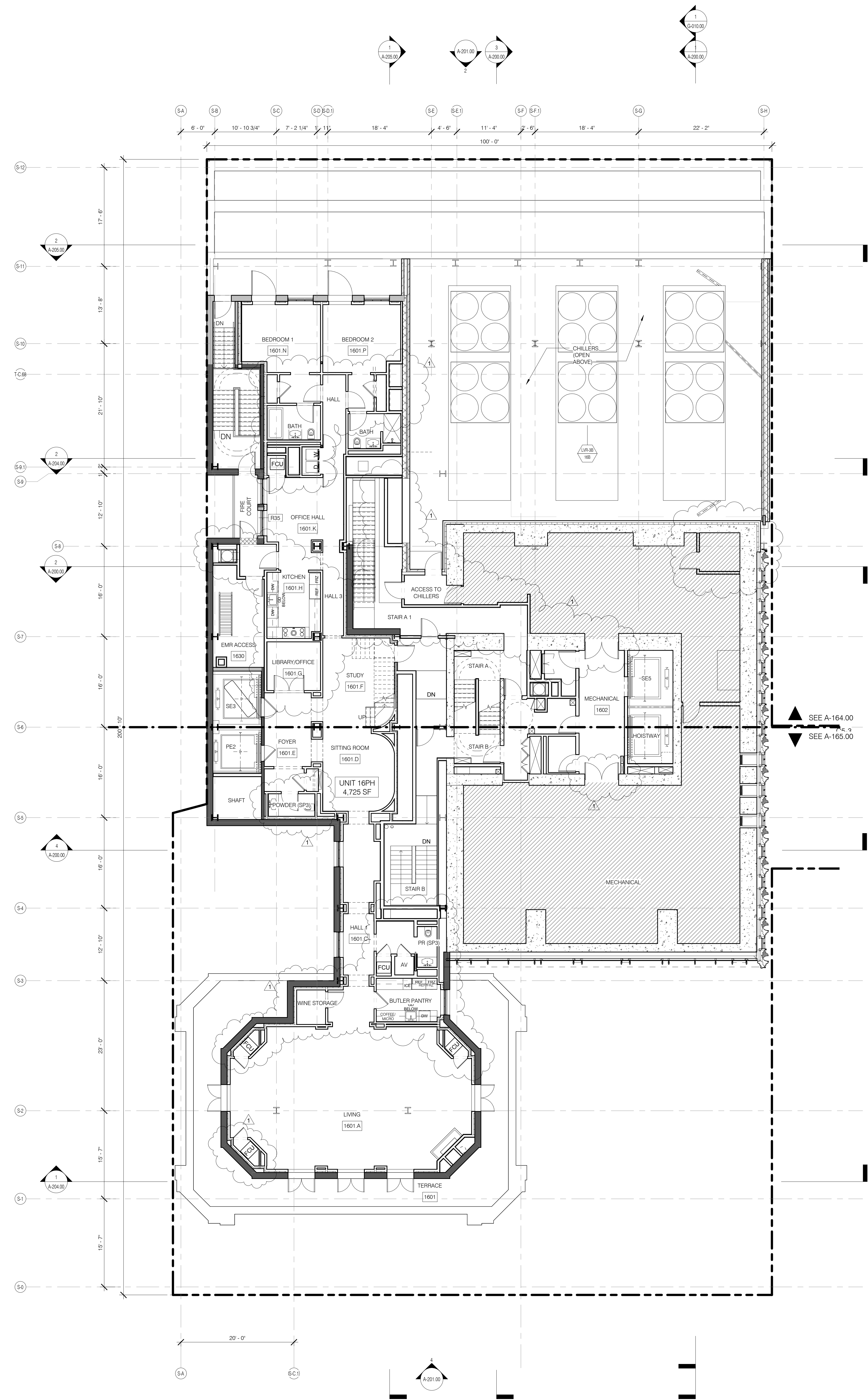
**FLOOR KEY PLANS LEVELS 13/14**

SEAL & SIGNATURE DATE 3/27/15  
PROJECT NO. 130007  
DRAWN BY SH/p  
CHECKED BY SH/p  
DOB NO. 121330066  
DRAWING NUMBER  
**A-107.01**

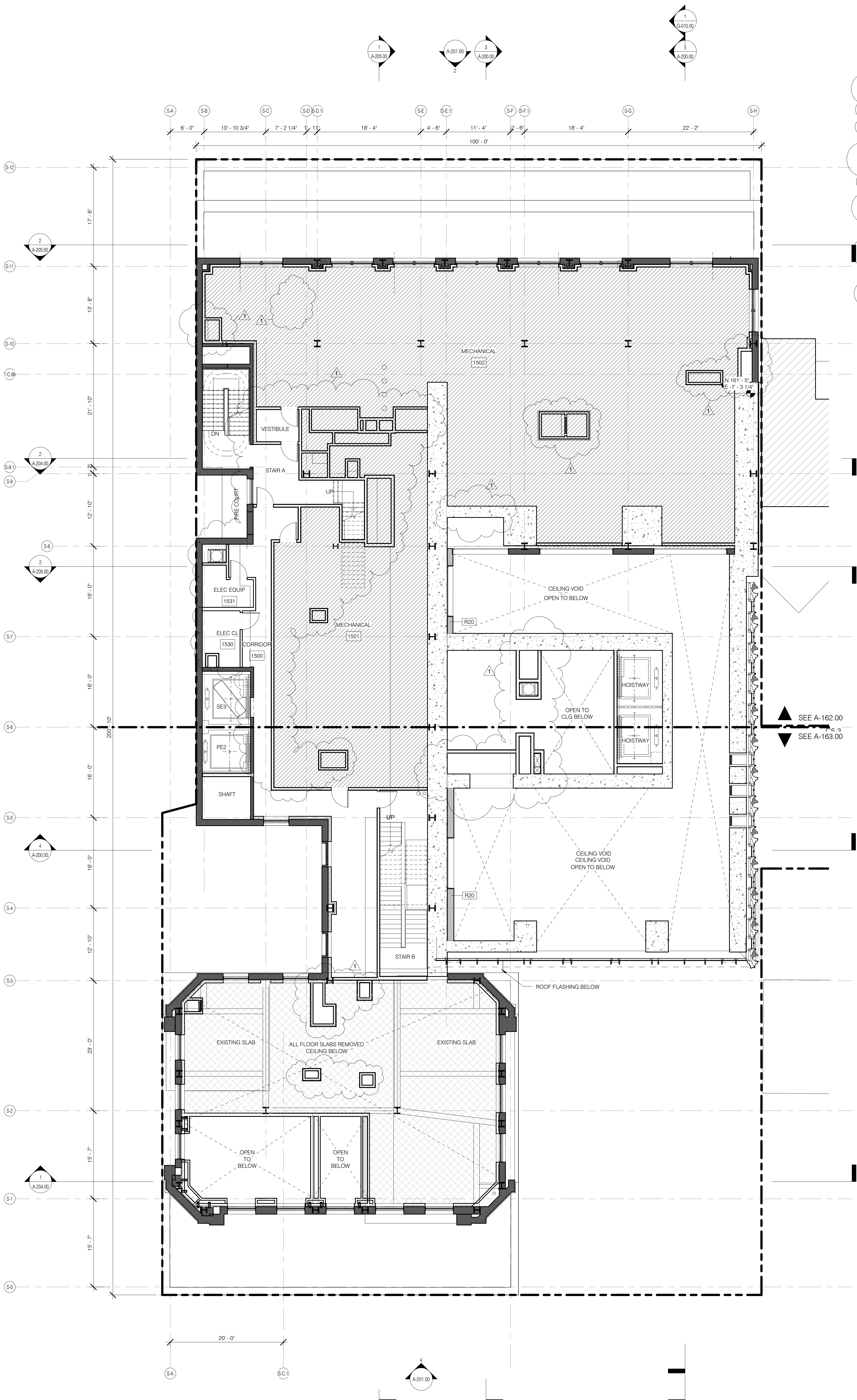


LEVEL 14 1/8" = 1'-0" 2

LEVEL 13 1/8" = 1'-0" 1



LEVEL 16 1/8" = 1'-0" 2



LEVEL 15 1/8" = 1'-0" 1

NOTE: MECHANICAL TRANSFER LEVEL

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT D.O. = 03.1 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (RP) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO THIS COMPONENT.
  - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. IF ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSING PAIL LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - G11 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G12 SEE DRAWING G-022 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/HVAC HANGING LOAD.
  - G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE UNO.

- KEY NOTES
- R20 BRICK WALL TO MATCH EXISTING

STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION	INTERIORS
YUSEF GANTOR BEHRK 28 EAST 4TH STREET NEW YORK, NY 10003 TEL: 212.869.9356	ARIF IGHERAL, P.C. 40 WEST 46TH STREET 7TH FLOOR NEW YORK, NY 10036 TEL: 212.869.9356	ARIF IGHERAL, P.C. 40 WEST 46TH STREET 7TH FLOOR NEW YORK, NY 10036 TEL: 212.869.9356	LONGMAN LINDSEY 40 WEST 46TH STREET 4TH FLOOR NEW YORK, NY 10036 TEL: 917.288.4900	STUCCO SCARFIELD 2100A WHITE STREET NEW YORK, NY 10011 TEL: 212.475.300

**JDS DEVELOPMENT GROUP**  
100 FIFTH AVENUE, 8TH FLOOR  
NEW YORK, NY 10011  
TEL: 486.832.3666

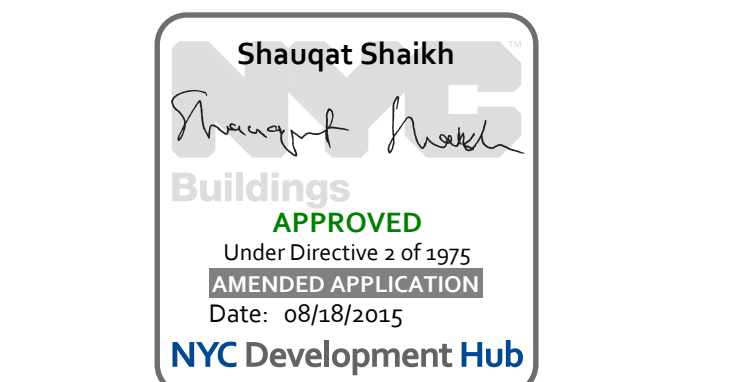
**sh p**

ARCHITECT	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION	INTERIORS
SHAP ARCHITECTS, P.C. 110 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212.869.9356	ARIF IGHERAL, P.C. 40 WEST 46TH STREET 7TH FLOOR NEW YORK, NY 10036 TEL: 212.869.9356	ARIF IGHERAL, P.C. 40 WEST 46TH STREET 7TH FLOOR NEW YORK, NY 10036 TEL: 212.869.9356	LONGMAN LINDSEY 40 WEST 46TH STREET 4TH FLOOR NEW YORK, NY 10036 TEL: 917.288.4900	STUCCO SCARFIELD 2100A WHITE STREET NEW YORK, NY 10011 TEL: 212.475.300

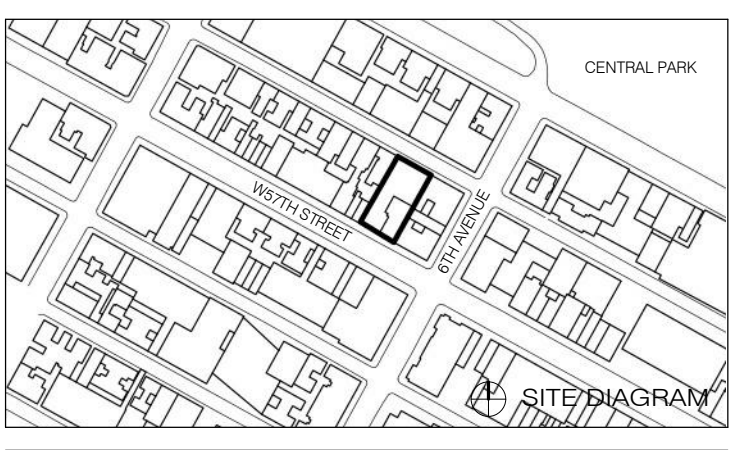


PROPERTY MARKETS GROUP  
30 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.9356  
CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLUMB SET

LEGEND

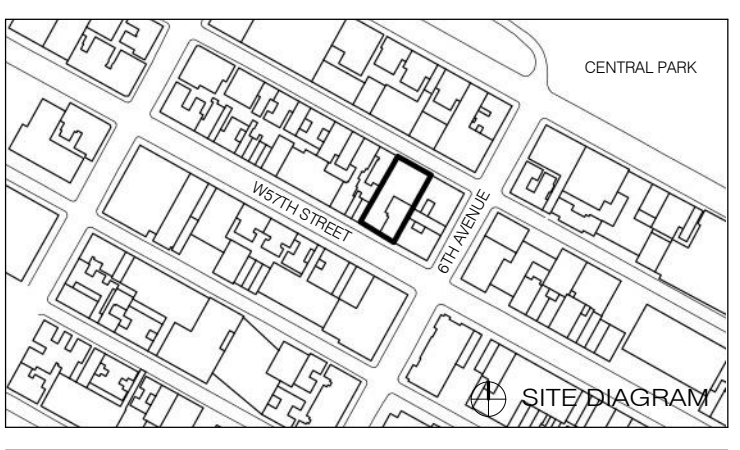
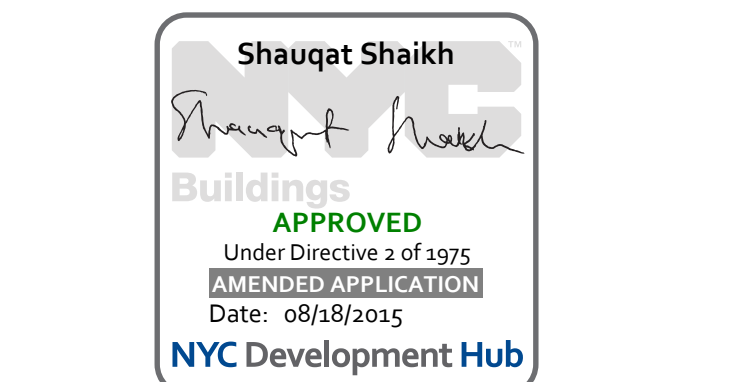
- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

DRAWING TITLE

**FLOOR KEY PLANS LEVELS 15/16**

DATE: 3.27.15  
PROJECT NO: 130007  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO: 121330296  
DRAWING NUMBER: **A-108.01**



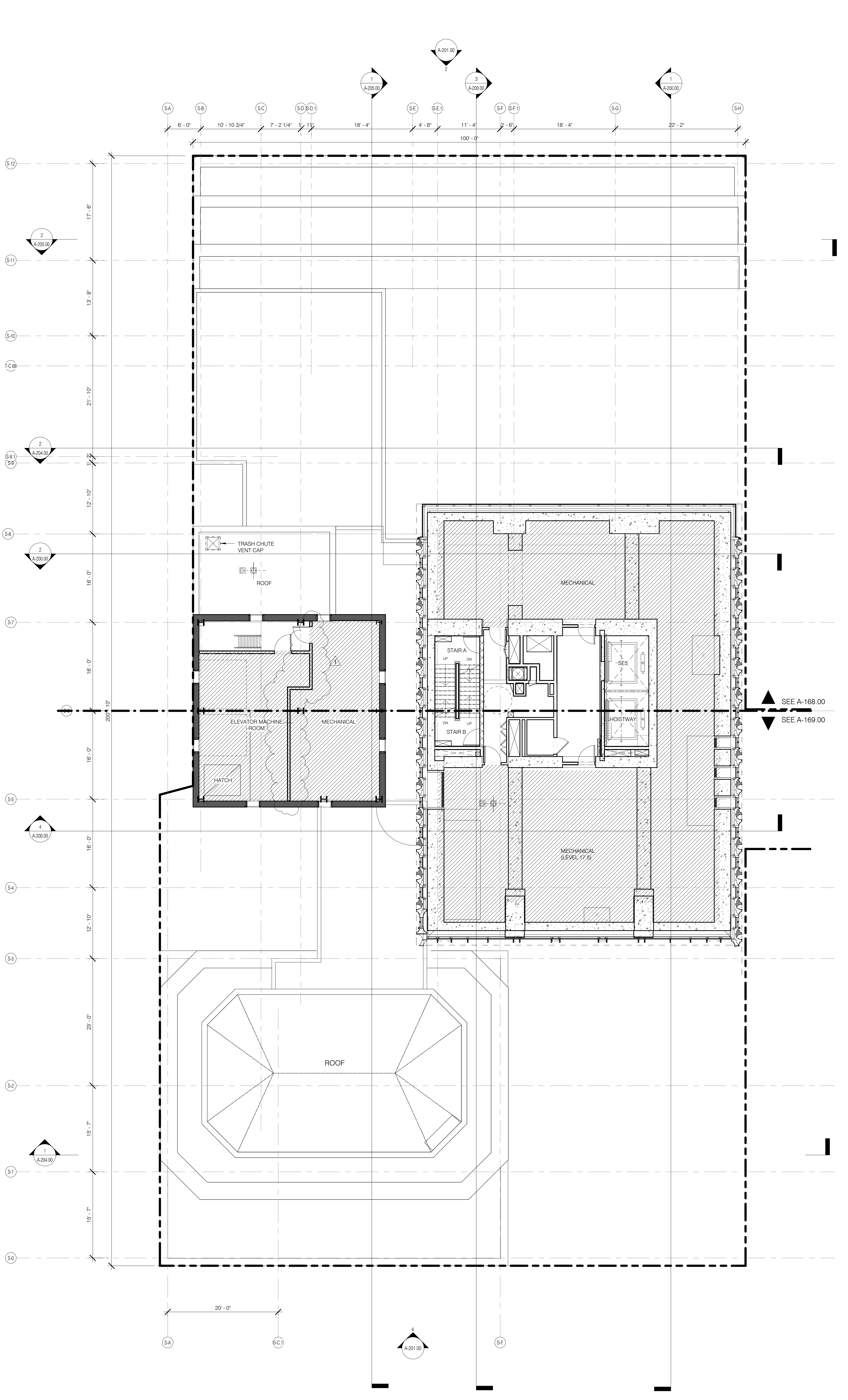


1	3/27/15	DOB PAA
	5/1/14	DOB PLUMB SET
NO.	DATE	REVISION
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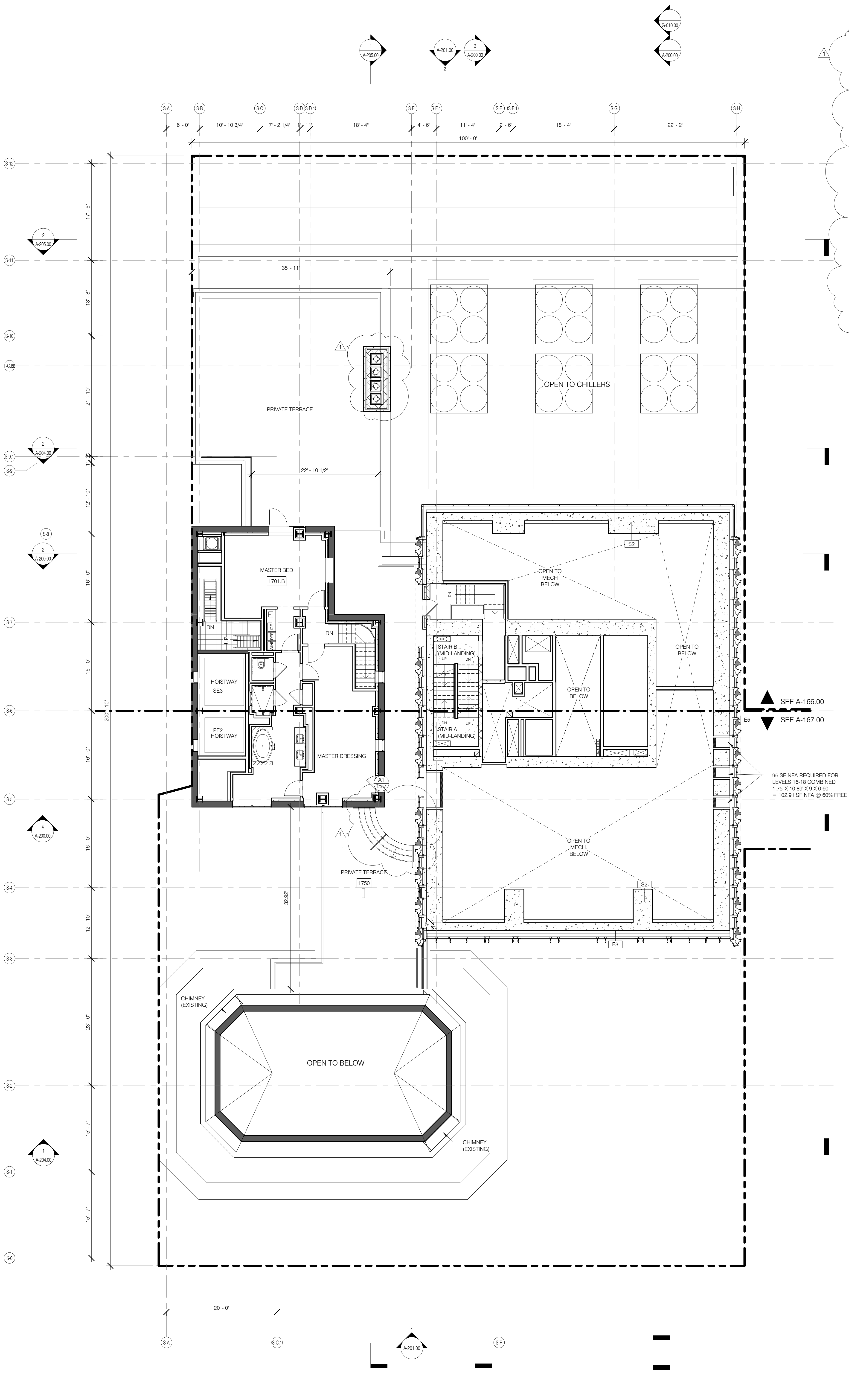
DRAWING TITLE	
<b>FLOOR KEY PLANS LEVELS 17/18</b>	
SEAL & SIGNATURE	DATE 3/27/15
PROJECT NO. 130907	
DRAWN BY SH&P	
CHECKED BY SH&P	
DOB NO. 121332068	
DRAWING NUMBER	<b>A-109.01</b>

- GENERAL NOTES**
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. CONSULTATION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT D.O. = 631 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS. REFER TO RESTORATION DRAWINGS (RPT) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT THROUGHOUT.
  - G5 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G6 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORD DRAWINGS. IF ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL UNO.
  - G7 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOISTWAYS AND PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G8 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G9 SEE DRAWING G-022 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G10 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - G11 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR ME/FP HANGING LOAD.
  - G12 ALL UNIT INTERIOR PASSAGE DOORS ARE 30" WIDE UNO.

- KEY NOTES**
- E3 UNITIZED ALUM AND BRONZE FACADE PANEL. SEE A-310.00 AND A-313.00.
  - E5 UNITIZED ALUM AND BRONZE FACADE PANEL WATERPROOFING CLADDING. SEE A-311.00.
  - E8 CIP CONCRETE TOWER STRUCTURE. SEE STRUCTURAL DRAWINGS.



LEVEL 18 MECHANICAL 1/8" = 1'-0" 2 A-109.01 A-109.01



LEVEL 17 FLOOR 1/8" = 1'-0" 1 A-109.01

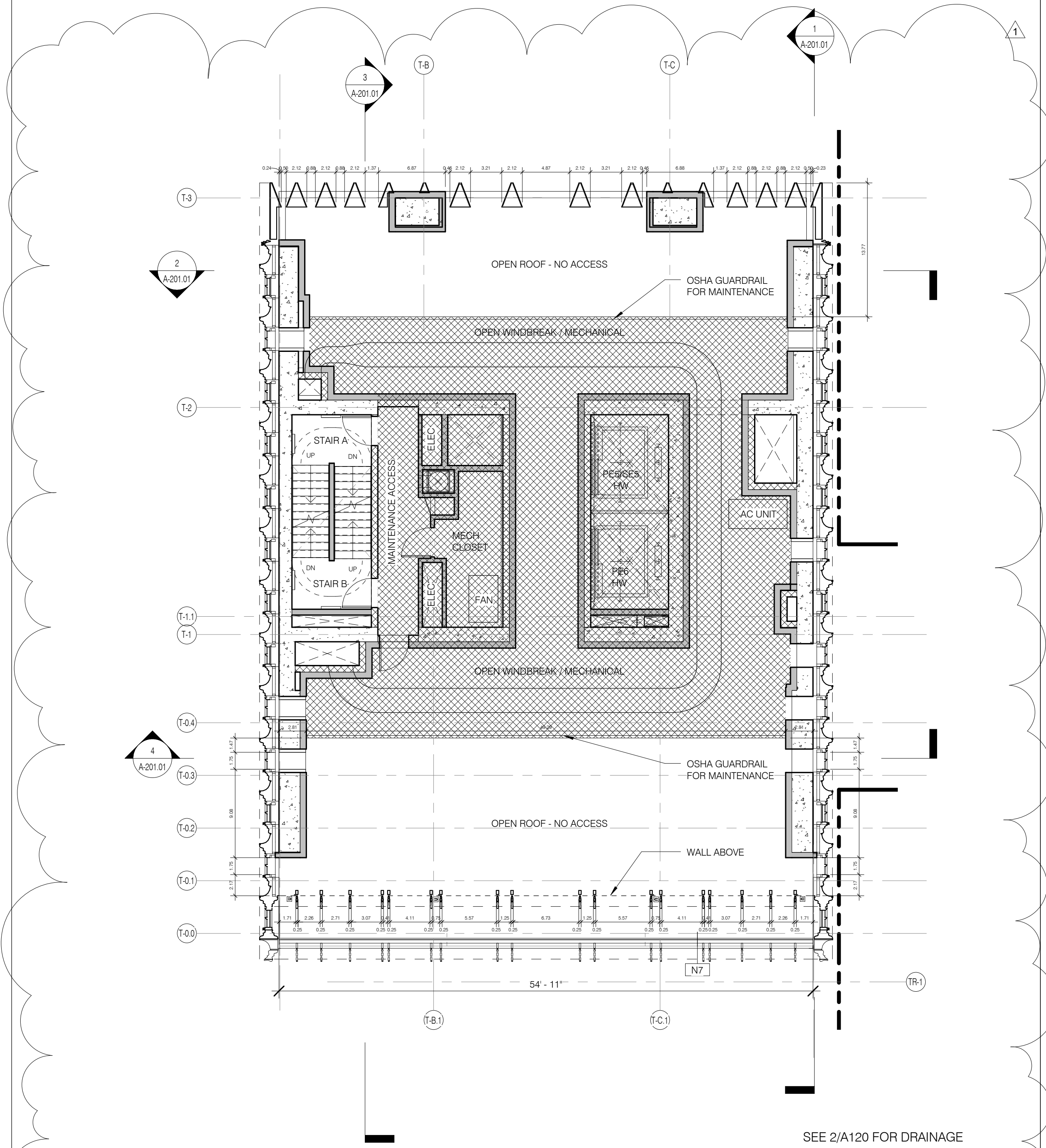
**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- MECHANICAL
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- RISER SUPPORT. SEE MEP DRAWINGS

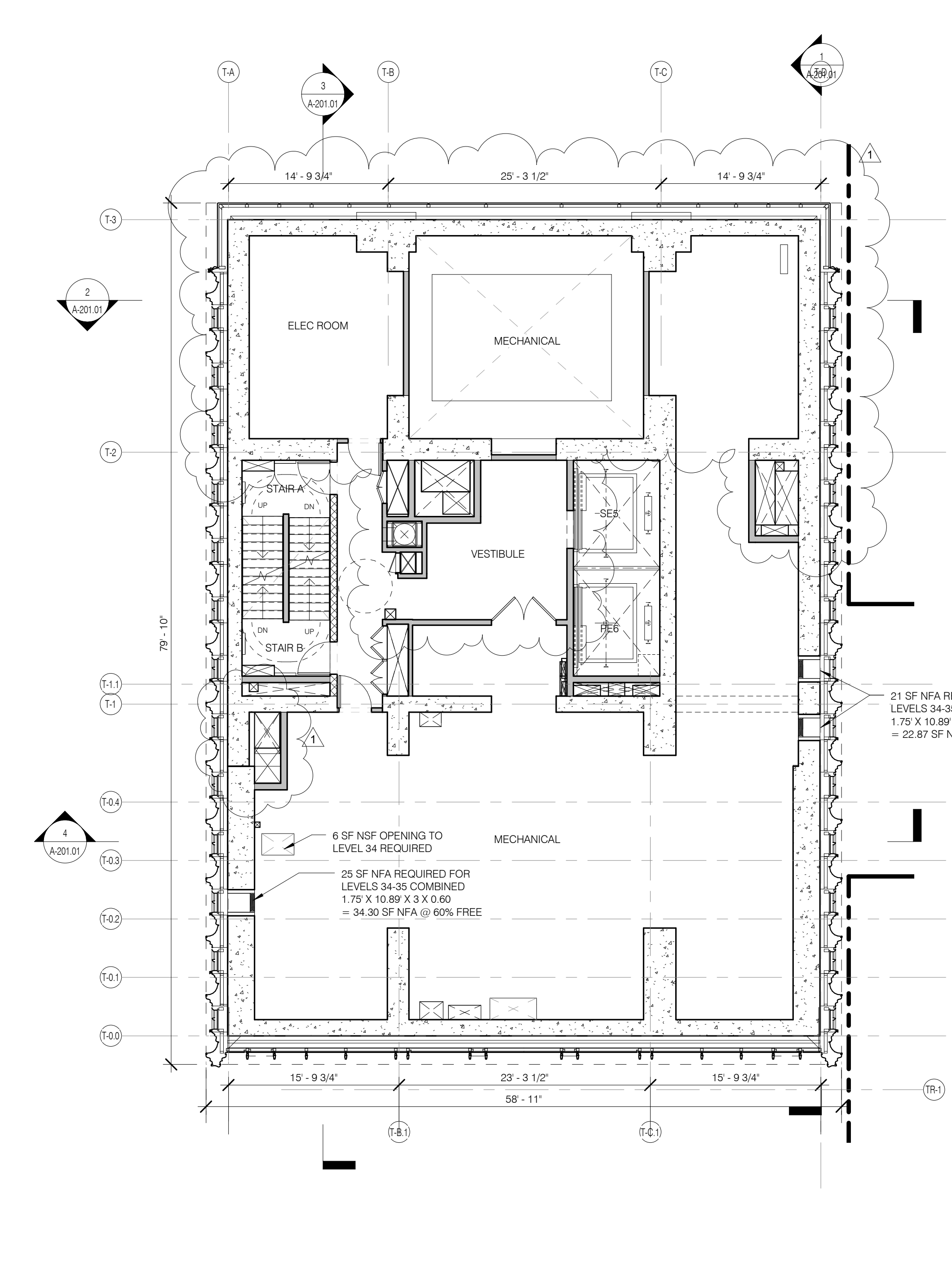
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
- G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
- G3 PROJECT 0-0 = 63.1 MBD.
- G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
- G5 REFERS TO RESTORATION DRAWINGS (H-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
- G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
- G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. V.E. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL. UNO.
- G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-120.00 FOR TOPPING AND DRAIN LOCATIONS.
- G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.
- G10 LOCATION AND SIZE OF ANCHOR BUCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
- G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
- G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MDP/IF HANGING LOAD.
- G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 3/4" WIDE UNO.

KEY NOTES

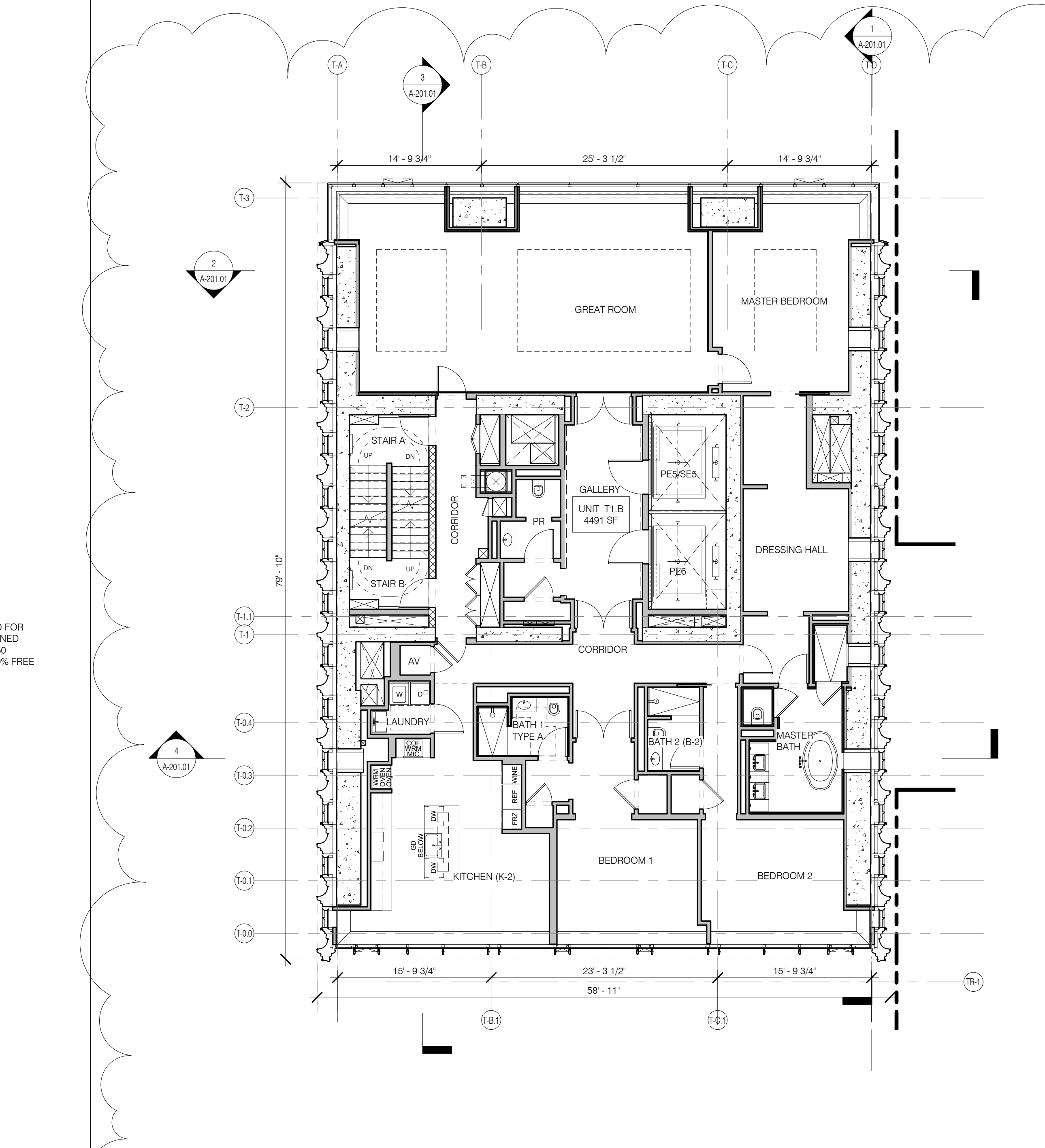
N7 GLASS PARAPET



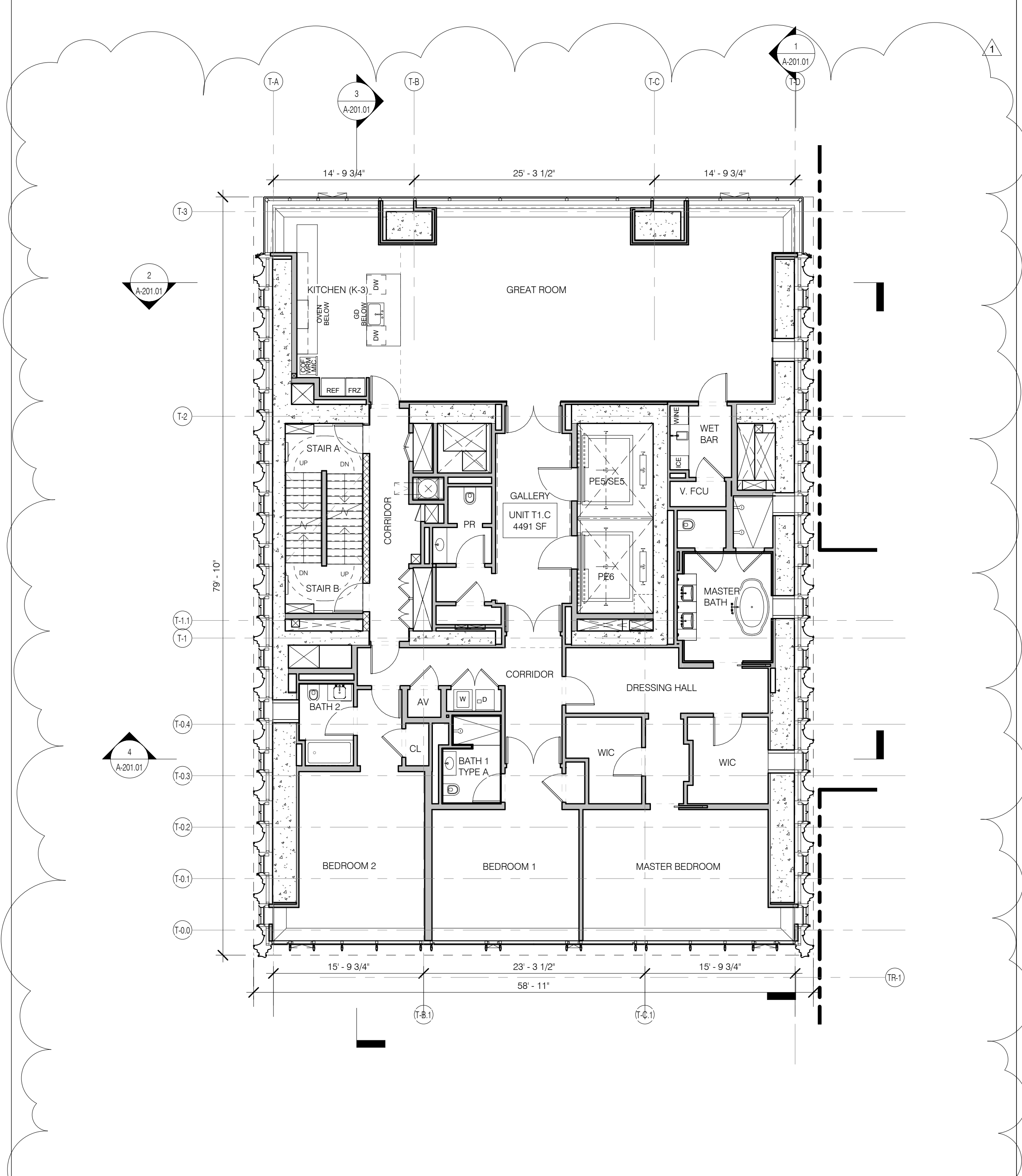
LEVEL 45 PLAN (OPEN WINDBREAK/MECHANICAL) 1/8" = 1'-0"



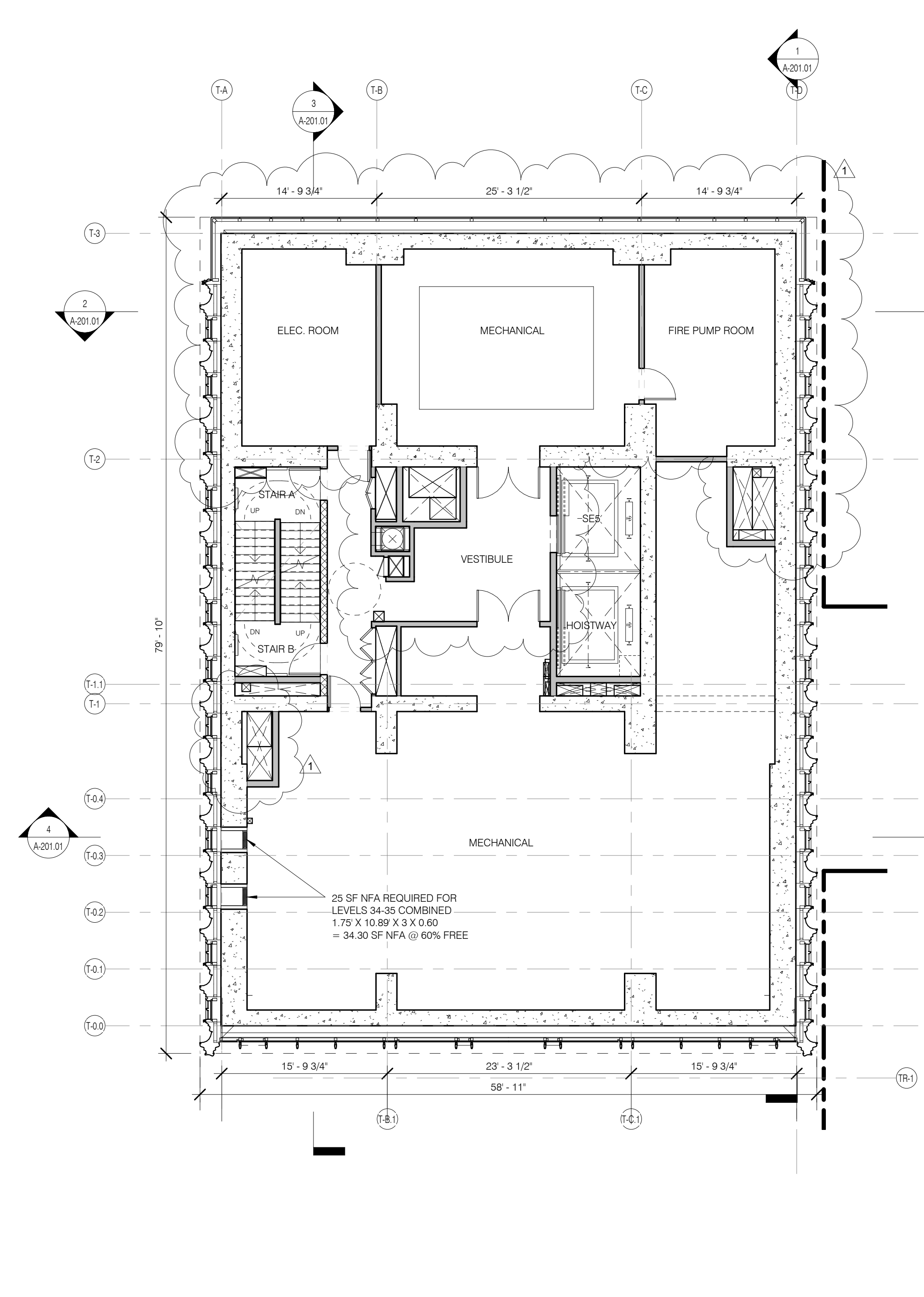
LEVEL 35 PLAN (MER) 1/8" = 1'-0"



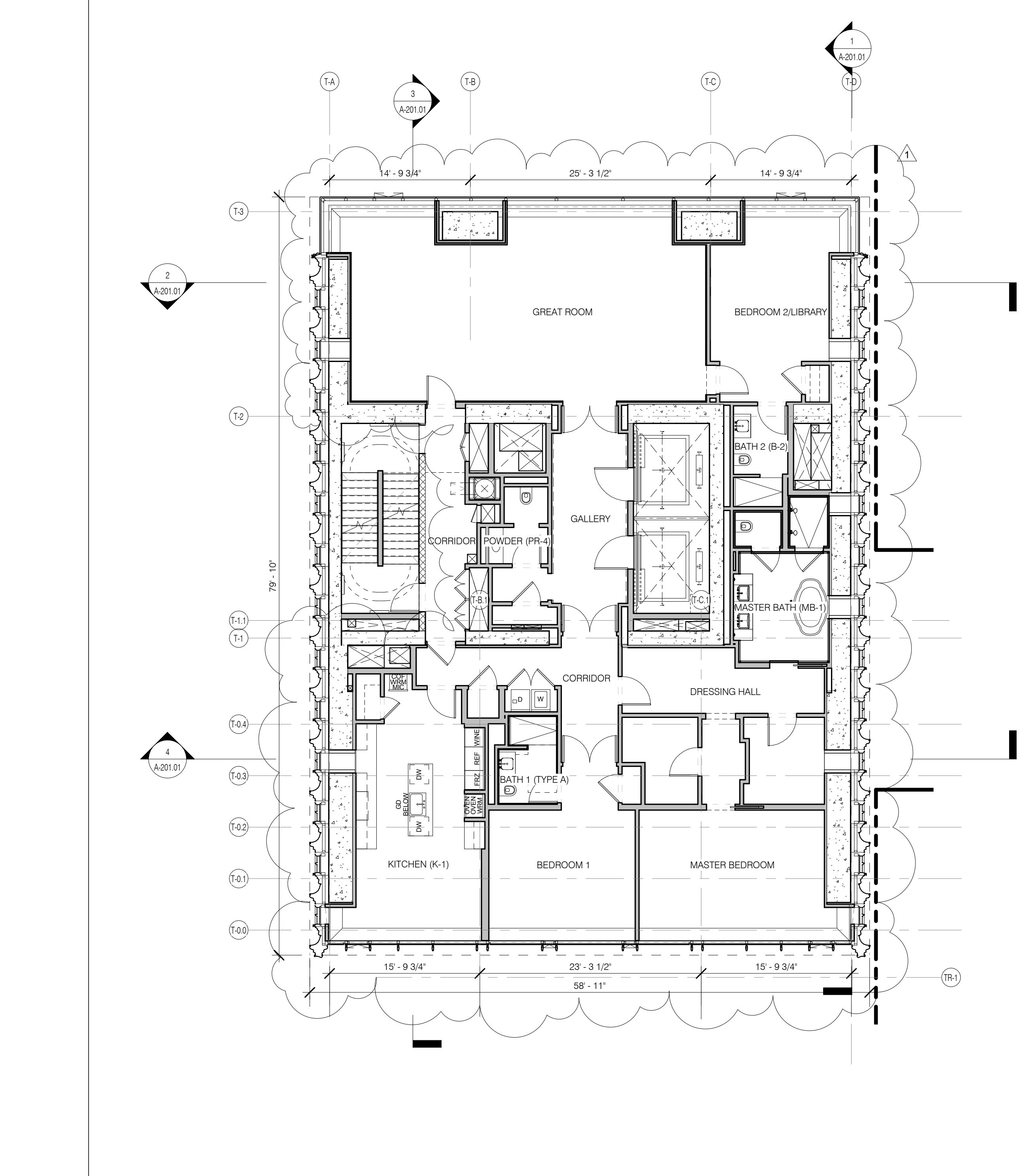
LEVEL 29-33 PLAN 1/8" = 1'-0"



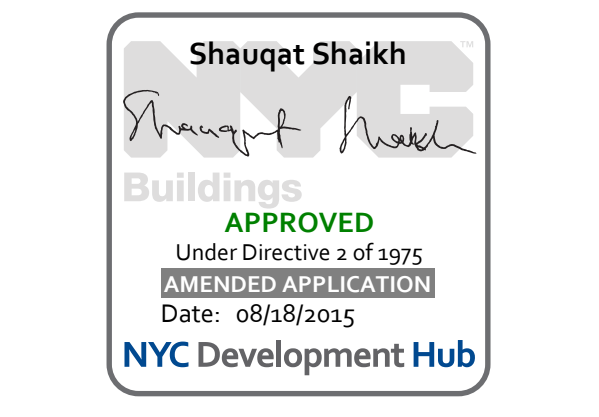
LEVEL 36-44 PLAN 1/8" = 1'-0"



LEVEL 34 PLAN (MER) 1/8" = 1'-0"



LEVEL 19-28 PLAN 1/8" = 1'-0"



1	3/27/15	DOB PAA
	5/1/14	DOB PLUMB SET
NO.	DATE	REVISION

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- OPEN GRATING

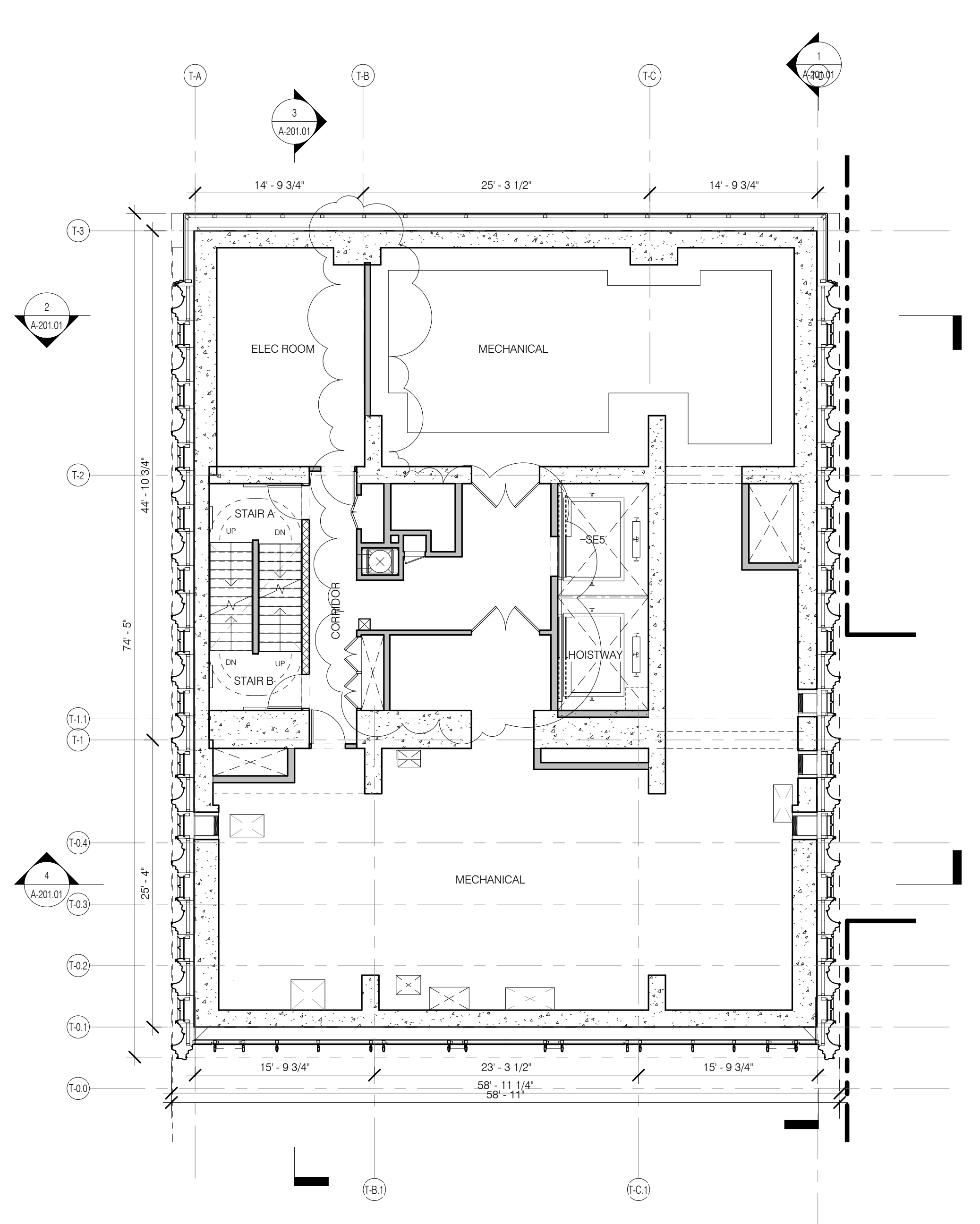
**FLOOR KEY PLANS LEVELS 46-57**

SEAL & SIGNATURE: SHIP ARCHITECT, P.C.  
 DATE: 3/27/15  
 PROJECT NO.: 130607  
 DRAWN BY: SHIP  
 CHECKED BY: SHIP  
 DATE: 3/27/15  
 DRAWING NUMBER: 121333988  
**A-111.01**

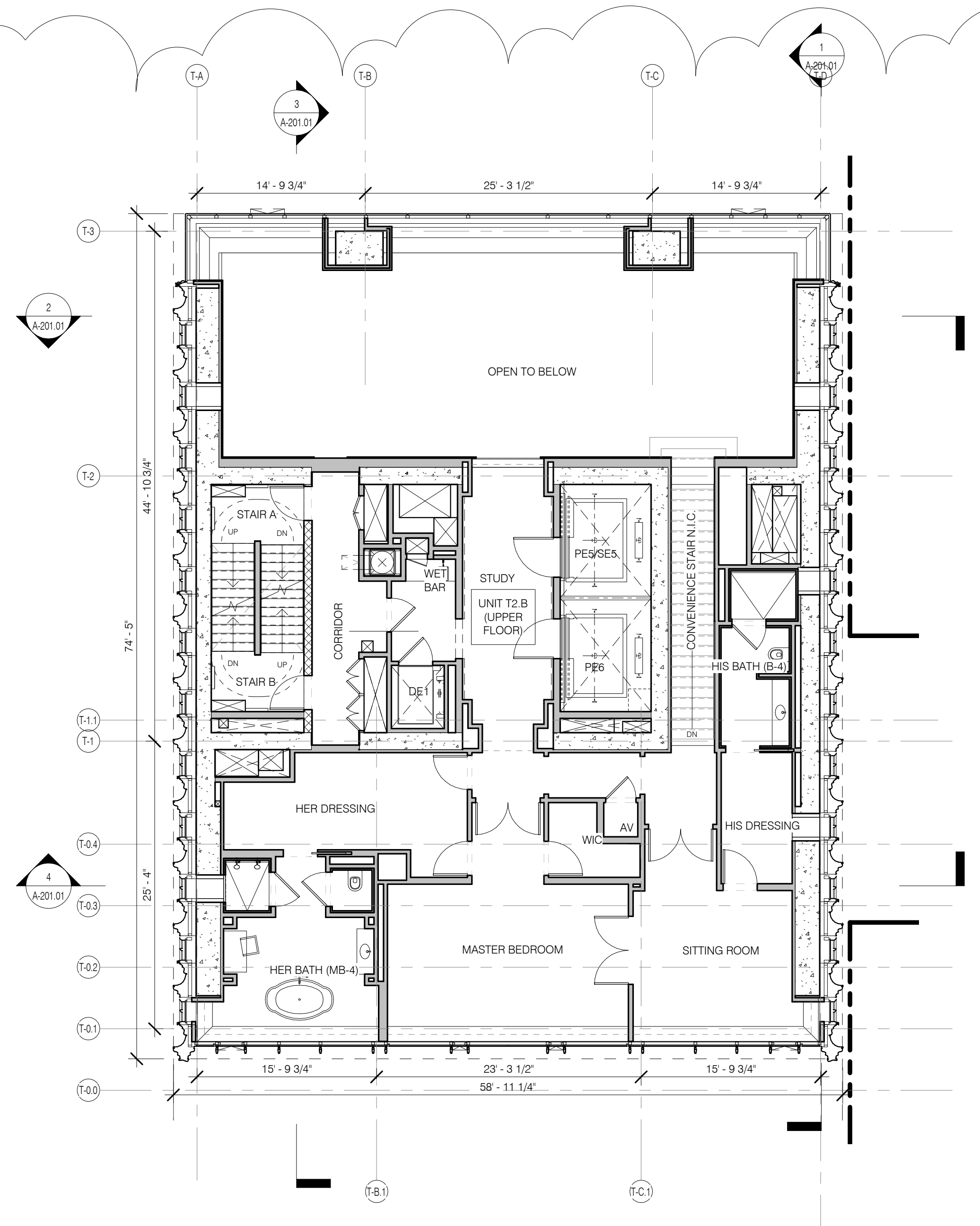
- GENERAL NOTES
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - PROJECT 0.0 = 63.1 MBD
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS
  - REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT
  - NON-PRESSURIZED EGRESS STAIR THROUGHOUT
  - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS, VIZ. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LIND
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS
  - SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS
  - ALL ELEVATIONS ARE FROM TOP OF SLAB
  - LOCATION AND SIZE OF ANCHOR BOLT TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR
  - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEWP HANGING LOAD
  - ALL UNIT INTERIOR PASSAGE DOORS ARE 3/4" WIDE UCN

KEY NOTES

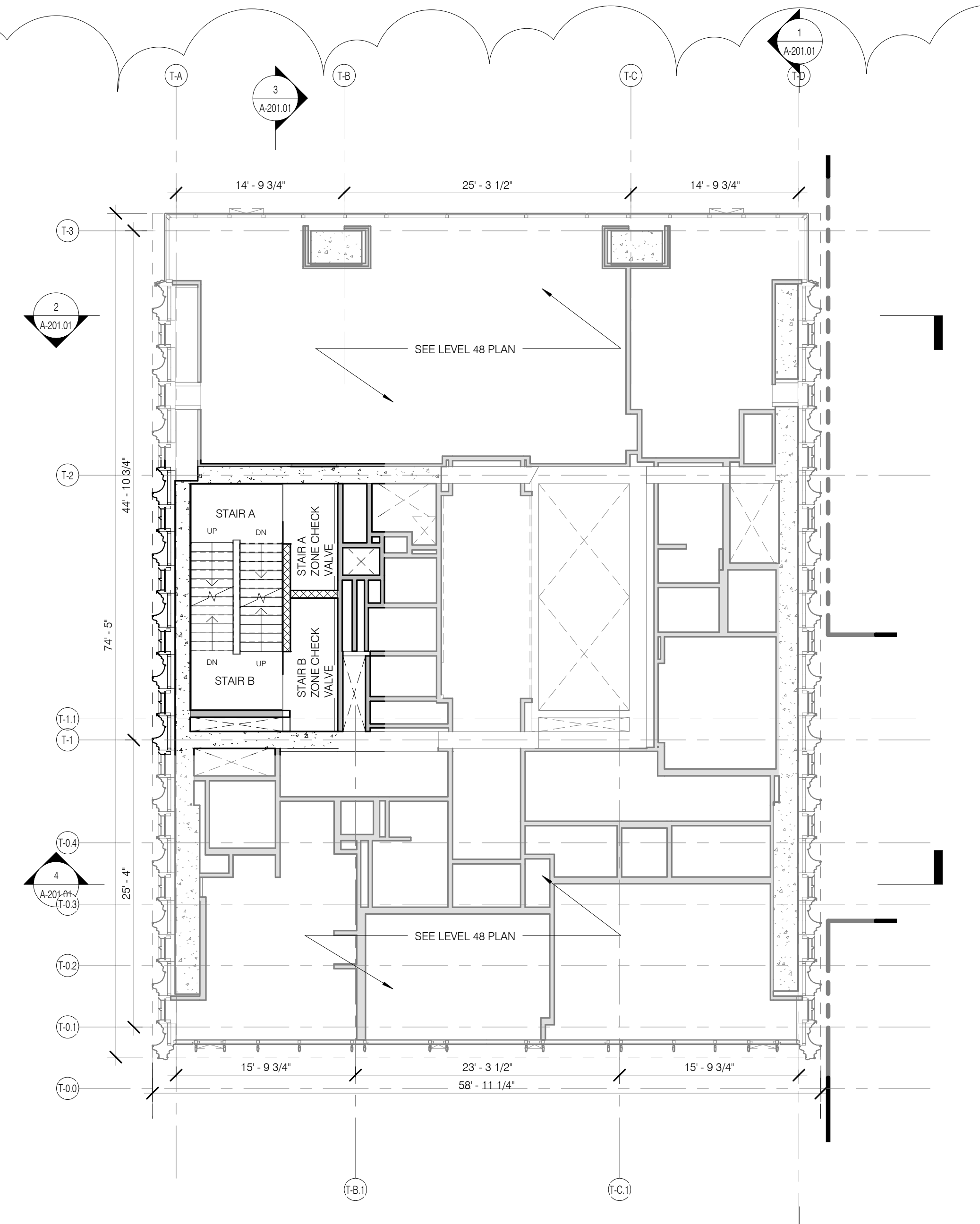
- SEE LEVEL 48 PLAN
- SEE LEVEL 48 PLAN



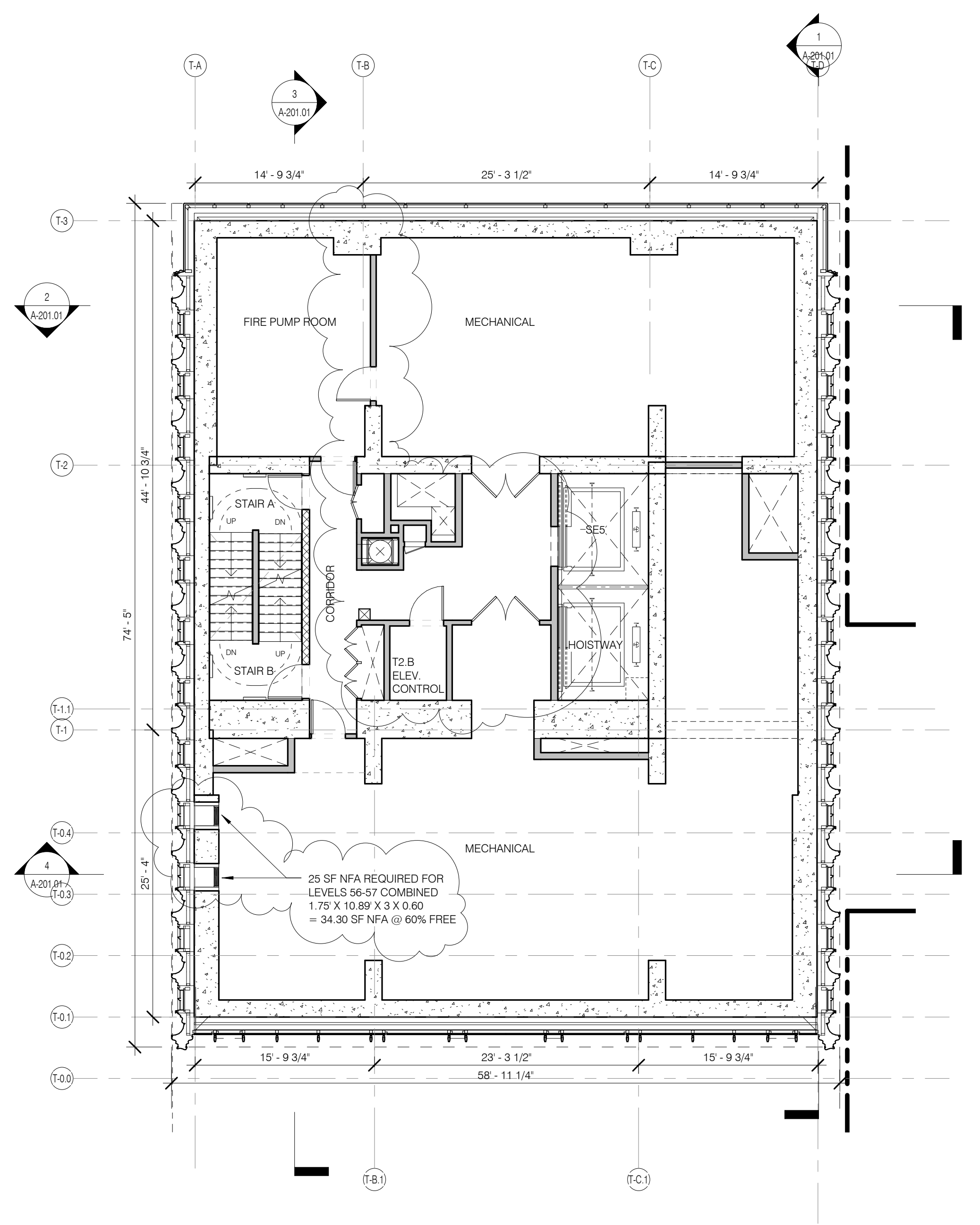
LEVEL 57 PLAN (MER) 1/8" = 1'-0" 6 A2140 A11115



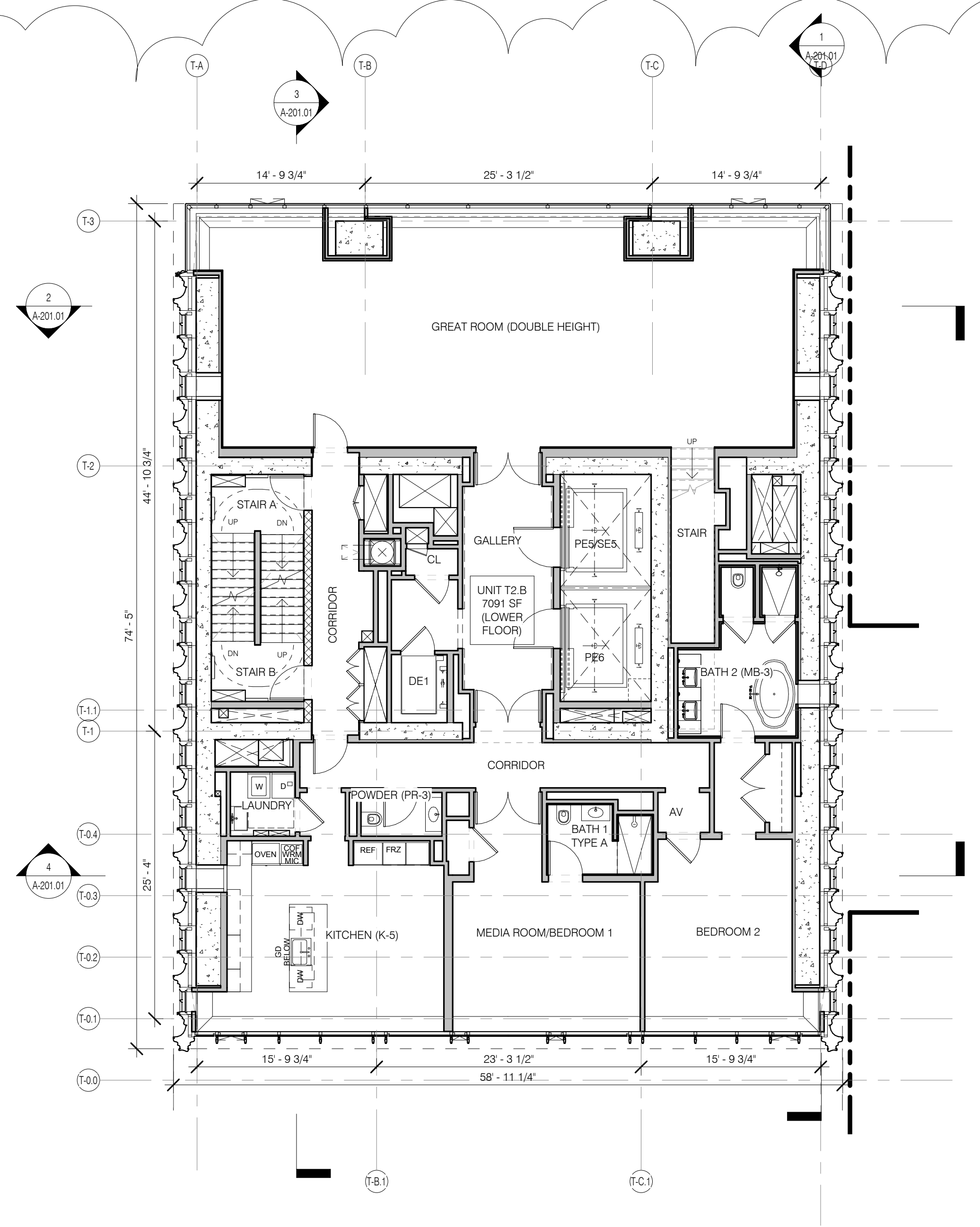
LEVEL 55 PLAN 1/8" = 1'-0" 4 A2140 A11115



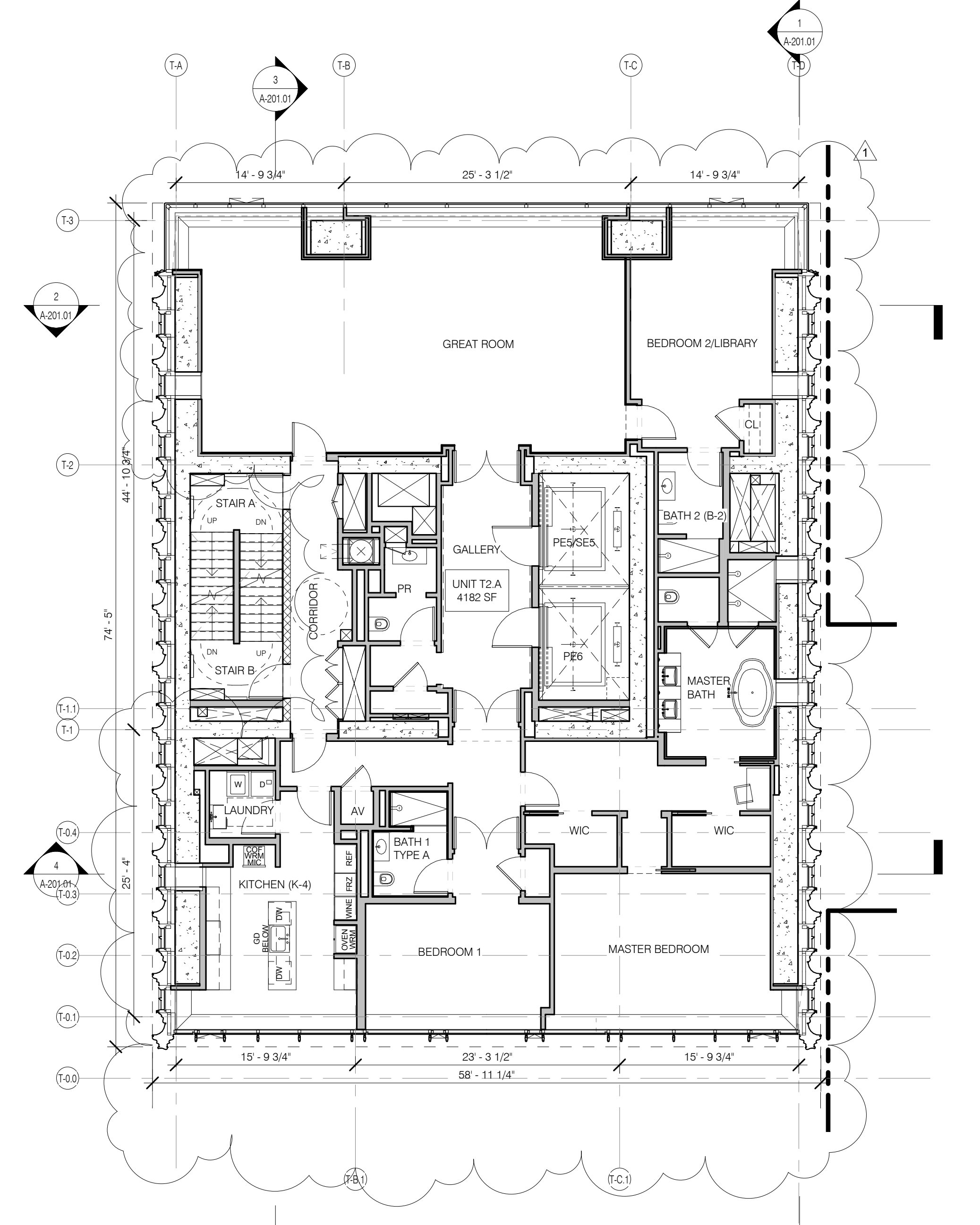
LEVELS 48.5/28.5/65.5 SIM (ZONE CHECK MEZZ) 1/8" = 1'-0" 2 A2090 A11115



LEVEL 56 PLAN (MER) 1/8" = 1'-0" 5 A2140 A11115

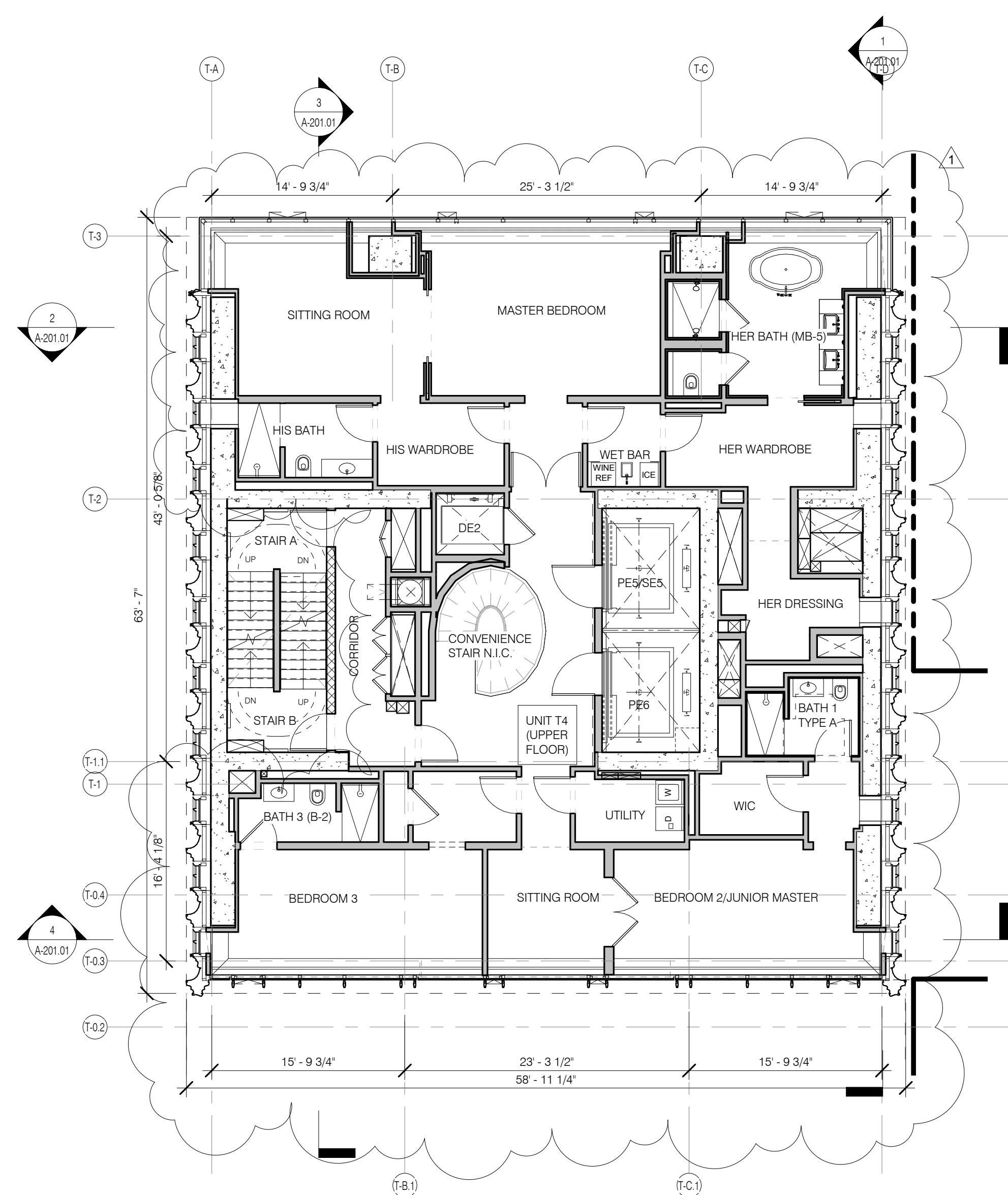


LEVEL 54 PLAN 1/8" = 1'-0" 3 A2140 A11115

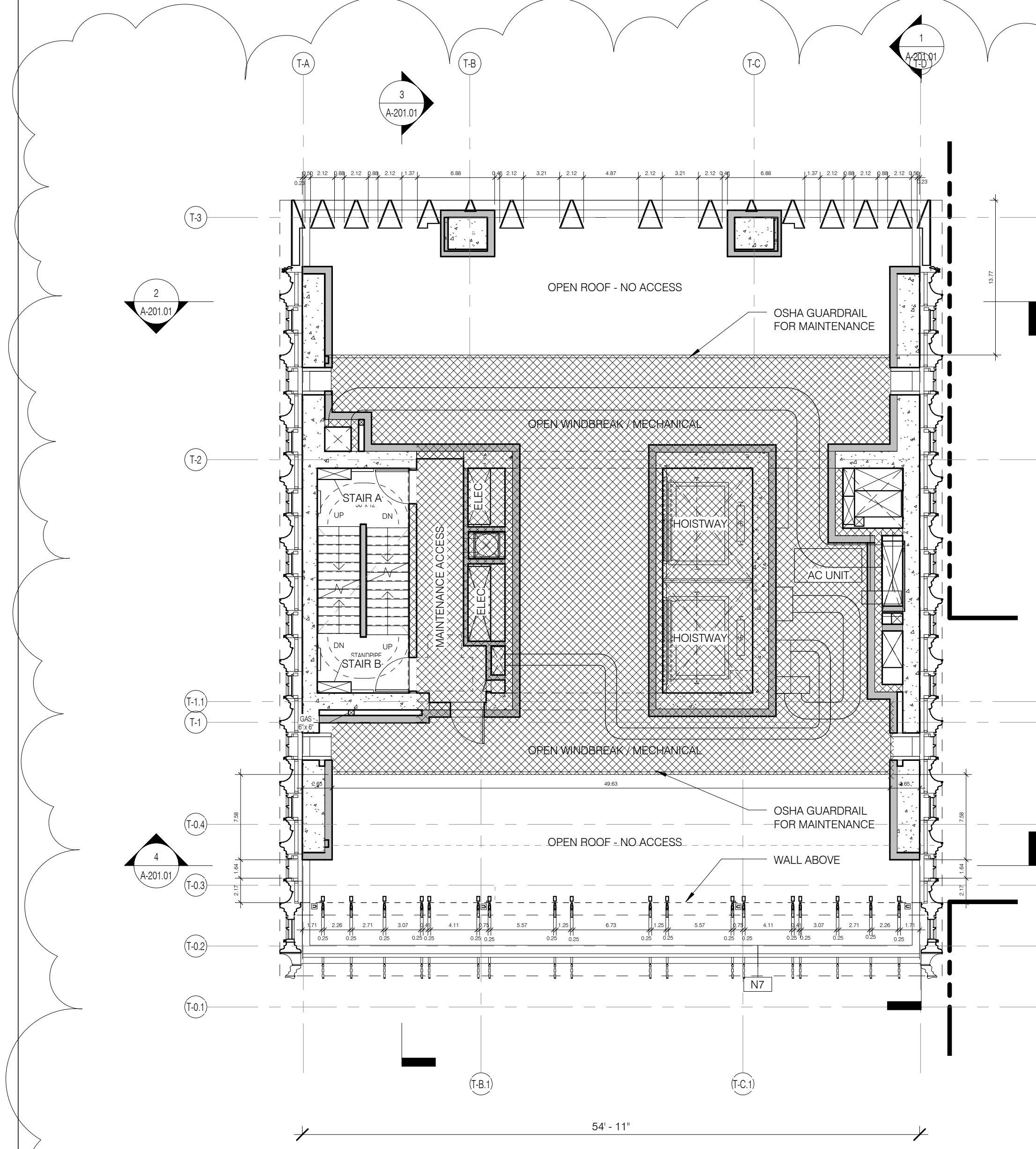


LEVEL 46-53 PLAN 1/8" = 1'-0" 1 A2100 A11115

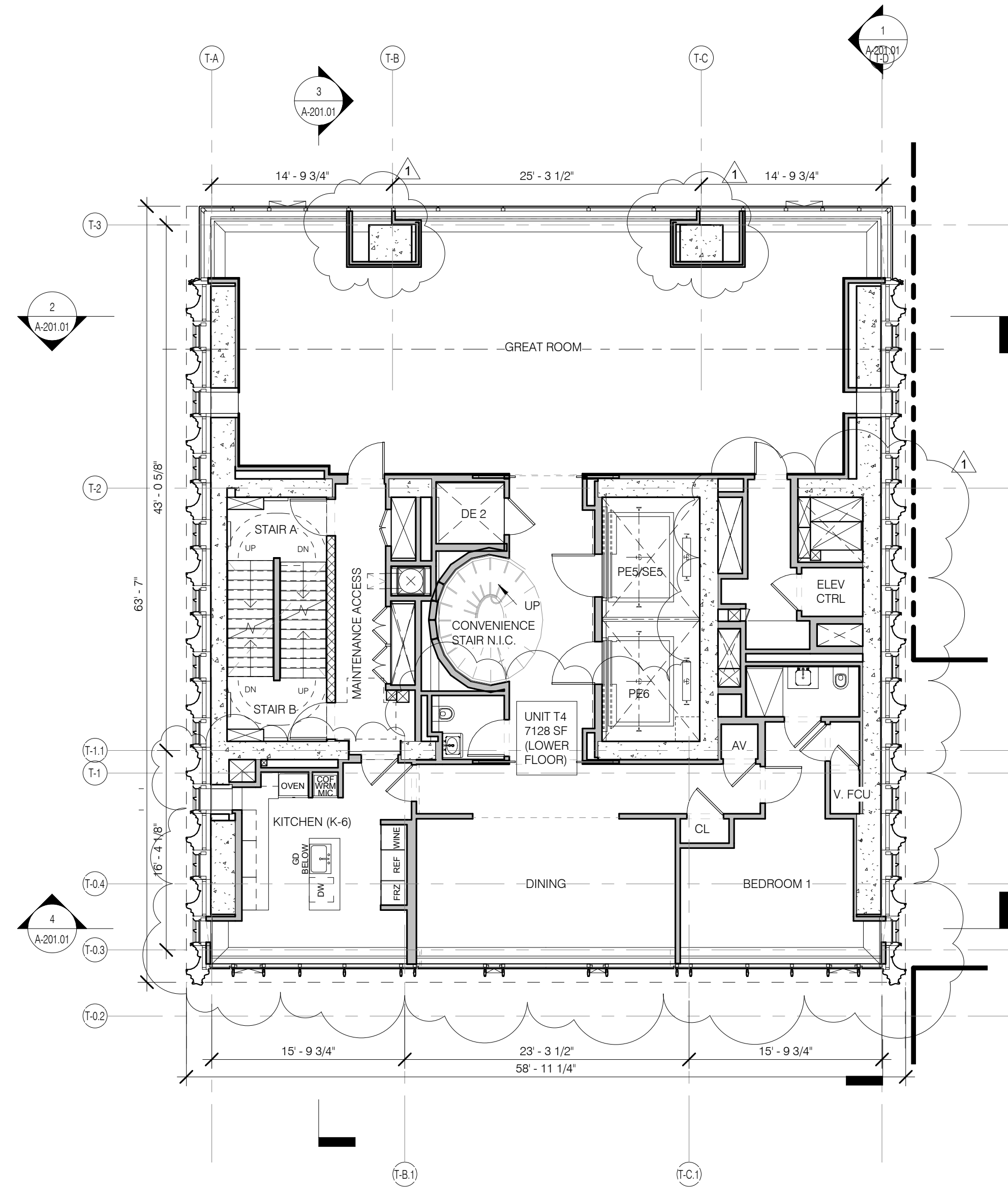
25 SF NFA REQUIRED FOR LEVELS 56-57 COMBINED  
 1.75' X 10.80' X 3' X 0.60'  
 1.34' X 30' NFA @ 0.00N FREE



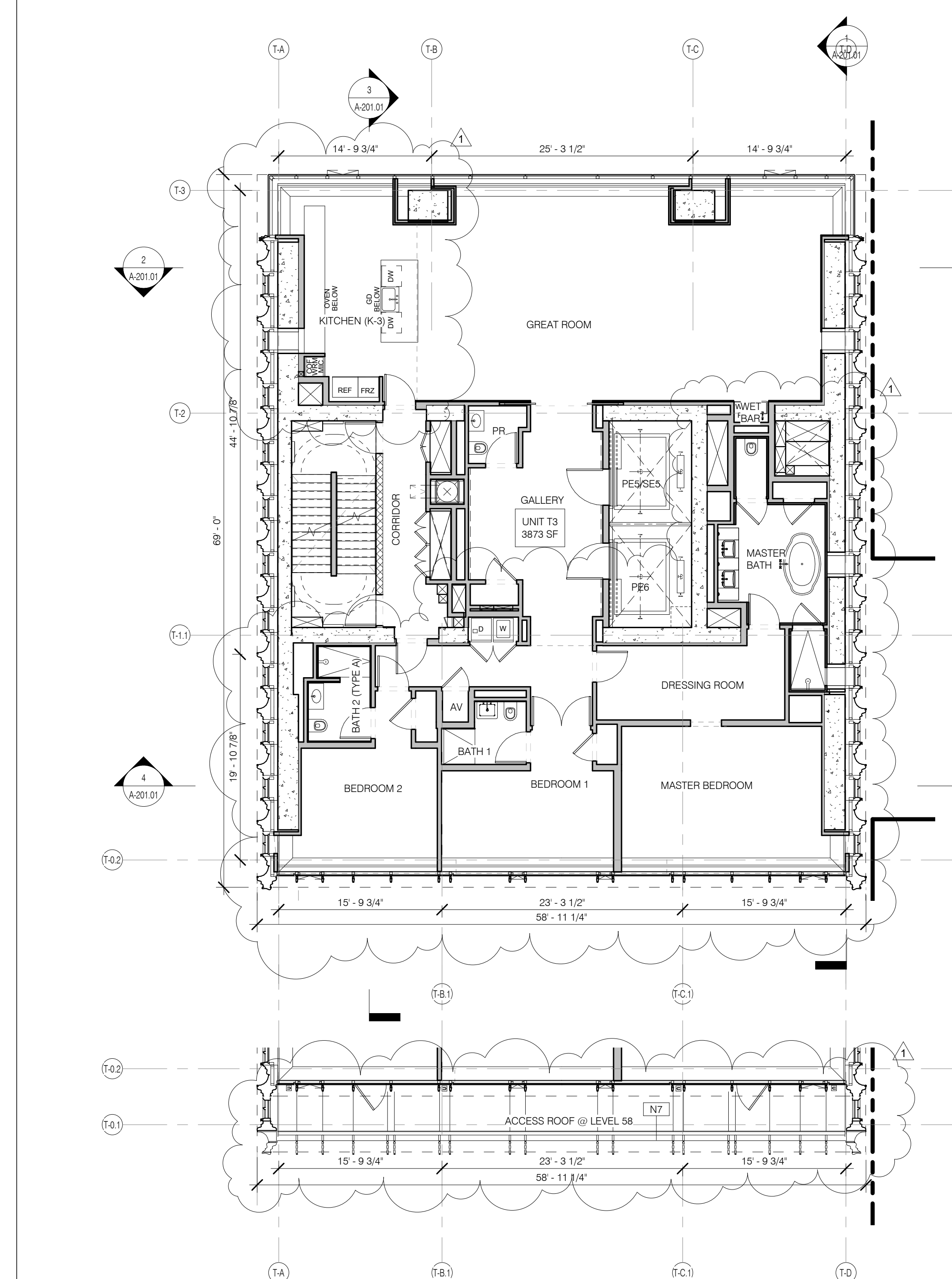
LEVEL 67/69 PLAN 1/8" = 1'-0" 4



LEVEL 65 PLAN (OPEN WINDBREAK/MECHANICAL) 1/8" = 1'-0" 2



LEVEL 66/68 PLAN 1/8" = 1'-0" 3



LEVEL 58-64 PLAN 1/8" = 1'-0" 1

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT G-0 - 63.1 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORDS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB-FILL, UNO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G11 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPP/F HANGING LOAD.
  - G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE, UNO.

KEY NOTES

- N7 GLASS PARAPET

**JDS DEVELOPMENT GROUP**  
104 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.850.3000

**sh p**

ARCHITECT  
SHAP ARCHITECTS, P.C.  
235 BROADWAY, 11TH FLOOR  
NEW YORK, NY 10007  
TEL: 212.869.8000

STRUCTURAL ENGINEER  
YUSEF GANTON BERKUP  
235 EAST 47TH STREET  
NEW YORK, NY 10017  
TEL: 212.867.5886

MEP ENGINEER  
JORDIS, BAIAM & ROLLES  
89 WINE STREET, 12TH FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.8333

CIVIL ENGINEER  
ARIF ENGINEERING, P.C.  
80 WEST 44TH STREET, 7TH FLOOR  
NEW YORK, NY 10018  
TEL: 212.869.8000

ACOUSTIC  
LONGMAN LINDSEY  
40 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.869.8000

INTERIORS  
STUDIOS 3575  
2700 35TH STREET  
BALMAKETTE STREET  
NEW YORK, NY 10001  
TEL: 212.475.3000

FAÇADE  
BURROUGHS  
105 BROADWAY  
NEW YORK, NY 10005  
TEL: 212.244.2025

VERTICAL TRANSPORTATION  
VAN DEUSEN & ASSOCIATES  
100 WEST STREET, SUITE 2014  
LARKSPUR, NJ 07033  
TEL: 973.986.8775

RESTORATION  
JAN HROD POKORNY ASSOCIATES  
30 WEST 57TH STREET, 11TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.268.6480

GEO TECH  
MICE  
305 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 917.288.4900

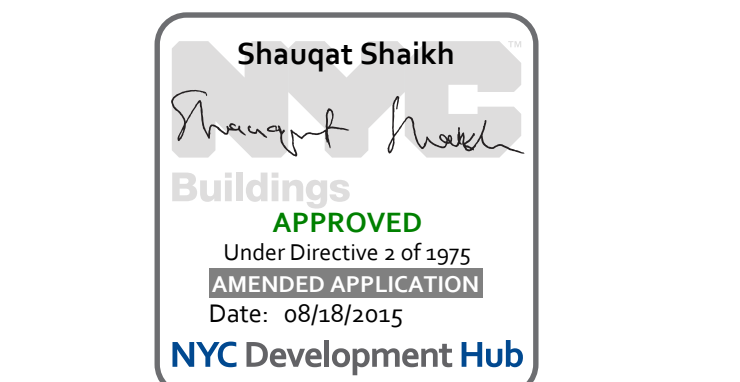
LIGHTING  
CONSERVATIVE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10002  
TEL: 212.255.4463



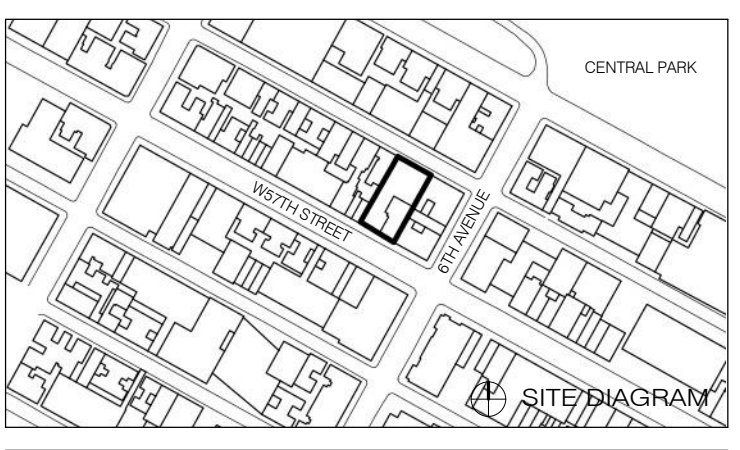
PROPERTY MARKETS GROUP  
30 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.8000

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019



LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE
- OPEN GRATING

FLOOR KEY PLANS LEVELS 58-67

SEAL & SIGNATURE: [Signature] DATE: 3/27/15

PROJECT NO: 130007  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO: 121330206  
DRAWING NUMBER: A-112.01

REVISIONS:

NO.	DATE	REVISION
1	3/27/15	DOB PAA
2	5/1/14	DOB FILING SET

- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
- G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
- G3 PROJECT 0-0 = 63.1 MBD.
- G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
- G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION, AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
- G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
- G7 ALL FLOOR ELEVATIONS IN STENWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC HGS DRAWINGS. ALL NEW SLAB IN STENWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB-FILL LINO.
- G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
- G10 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
- G12 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
- G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
- G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPFP HANGING LOAD.
- G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOKN.

KEY NOTES

N7 GLASS PARAPET

JDS DEVELOPMENT GROUP  
100 WEST 57TH STREET  
NEW YORK, NY 10019  
TEL: 212.869.3000

**sh p**

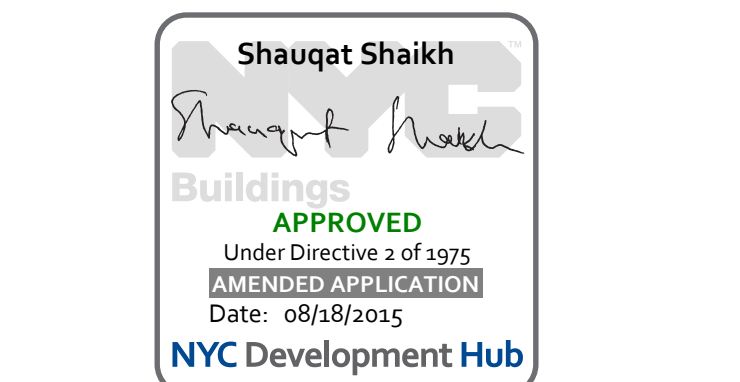
ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.869.3000
STRUCTURAL ENGINEER	YUSEF GANTAWI & PARTNERS 100 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.869.3000
MEP ENGINEER	JORDIS, BAIAM & BOLLER 40 W. 57TH STREET, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.869.3000
CIVIL ENGINEER	ARAF EGMENDEL, P.C. 40 W. 57TH STREET, 17TH FLOOR NEW YORK, NY 10019 TEL: 212.869.3000
ACOUSTICIST	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.288.4900
INTERIORS	STUDIOS FIELD 300 W. 42ND STREET NEW YORK, NY 10018 TEL: 212.255.4450
FAÇADE	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.869.3000
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 200 LARKSPUR, NJ 07033 TEL: 973.984.9700
RESTORATION	JAN HIRSH FOKORNY ASSOCIATES 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.288.4900
GEOTECH	MTICE 305 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917.288.4900
LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212.255.4450



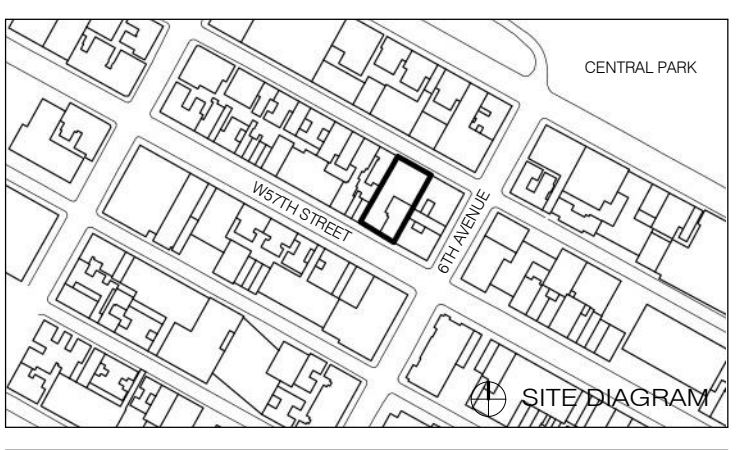
PROPERTY MARKETS GROUP  
30 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.3000

CURRENT ISSUE

DOB PAA

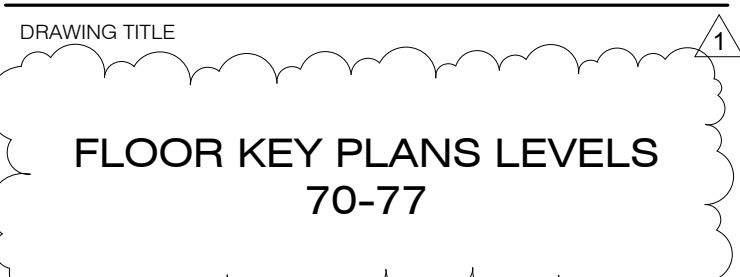


**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

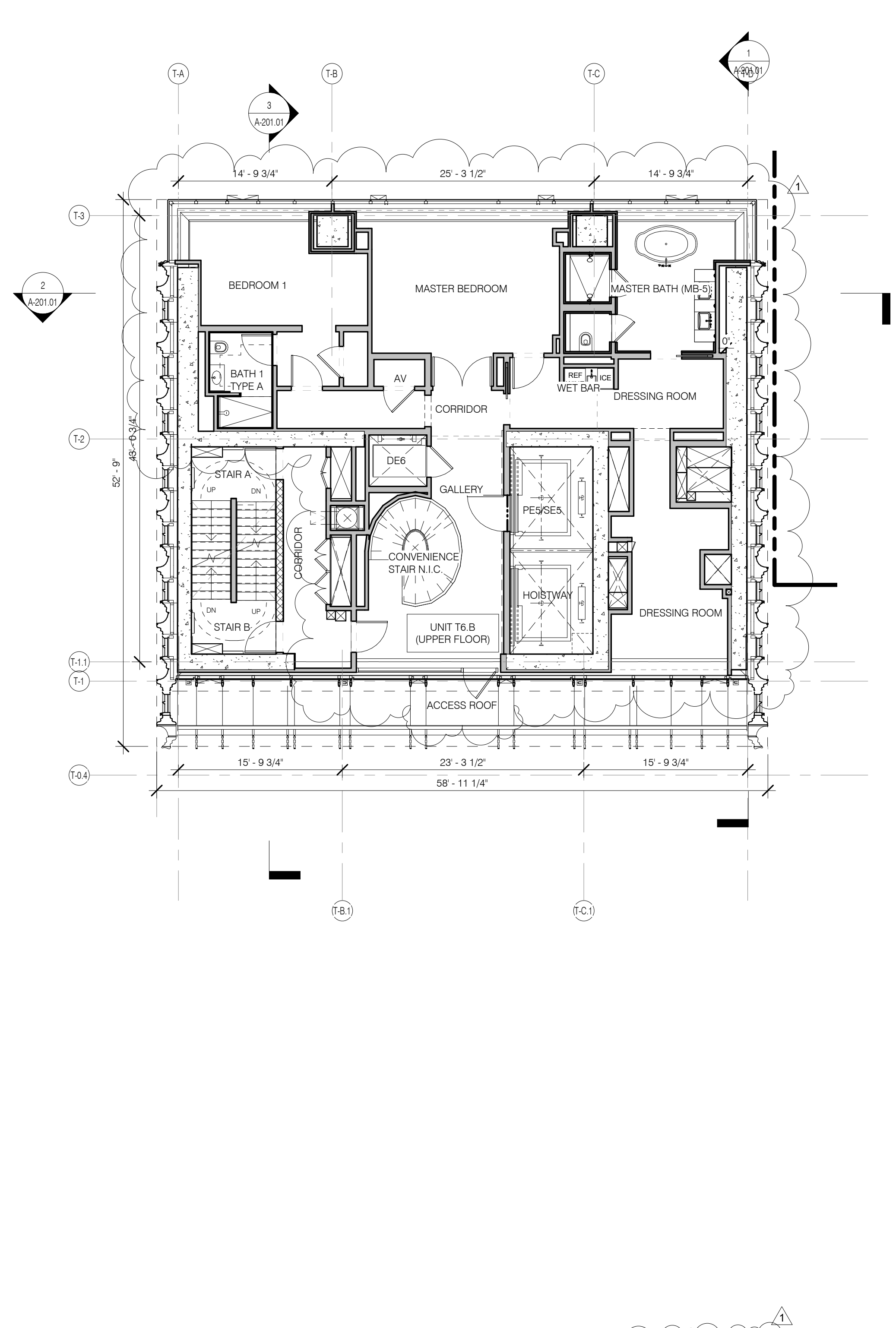
LEGEND



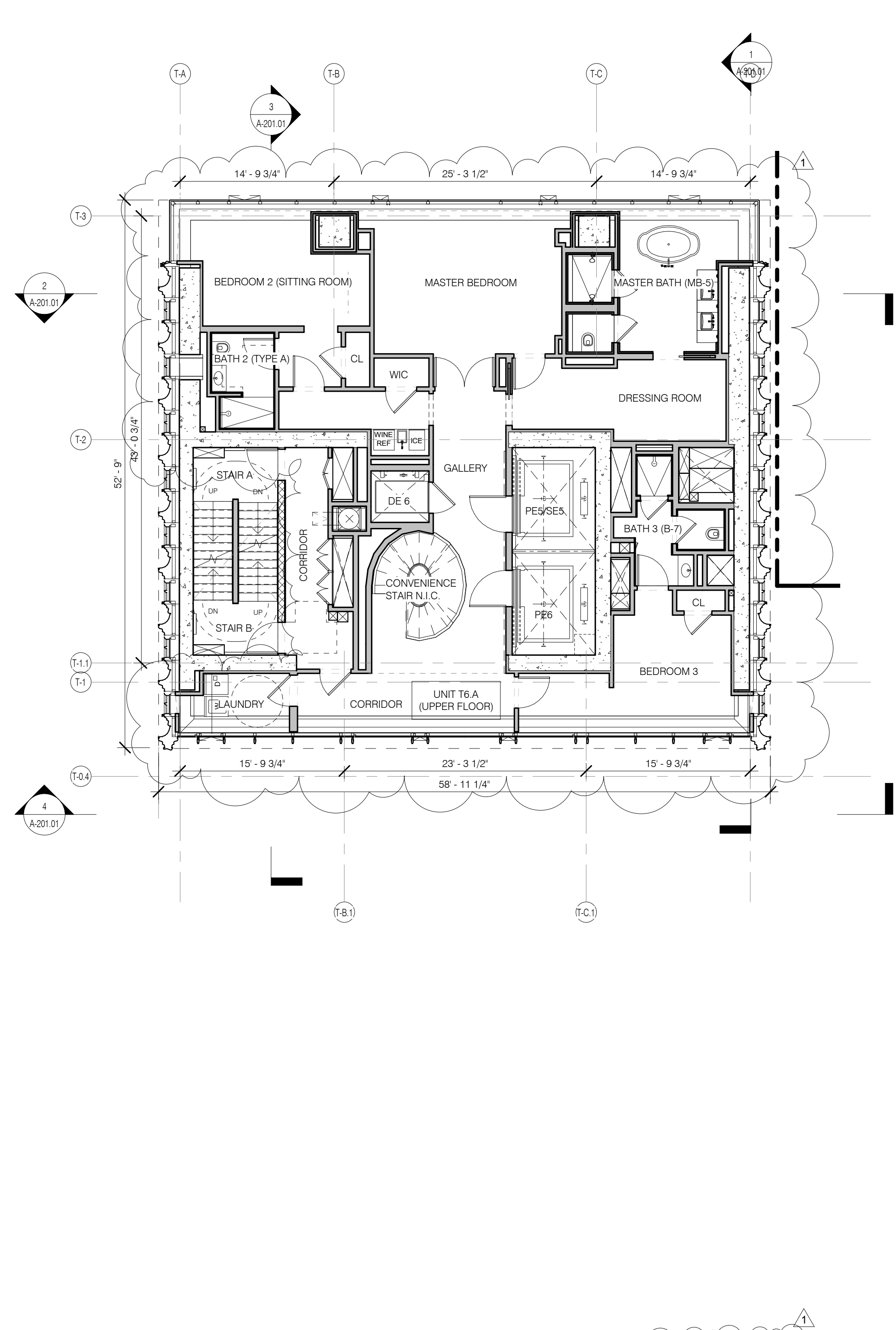
DRAWING TITLE

**FLOOR KEY PLANS LEVELS 70-77**

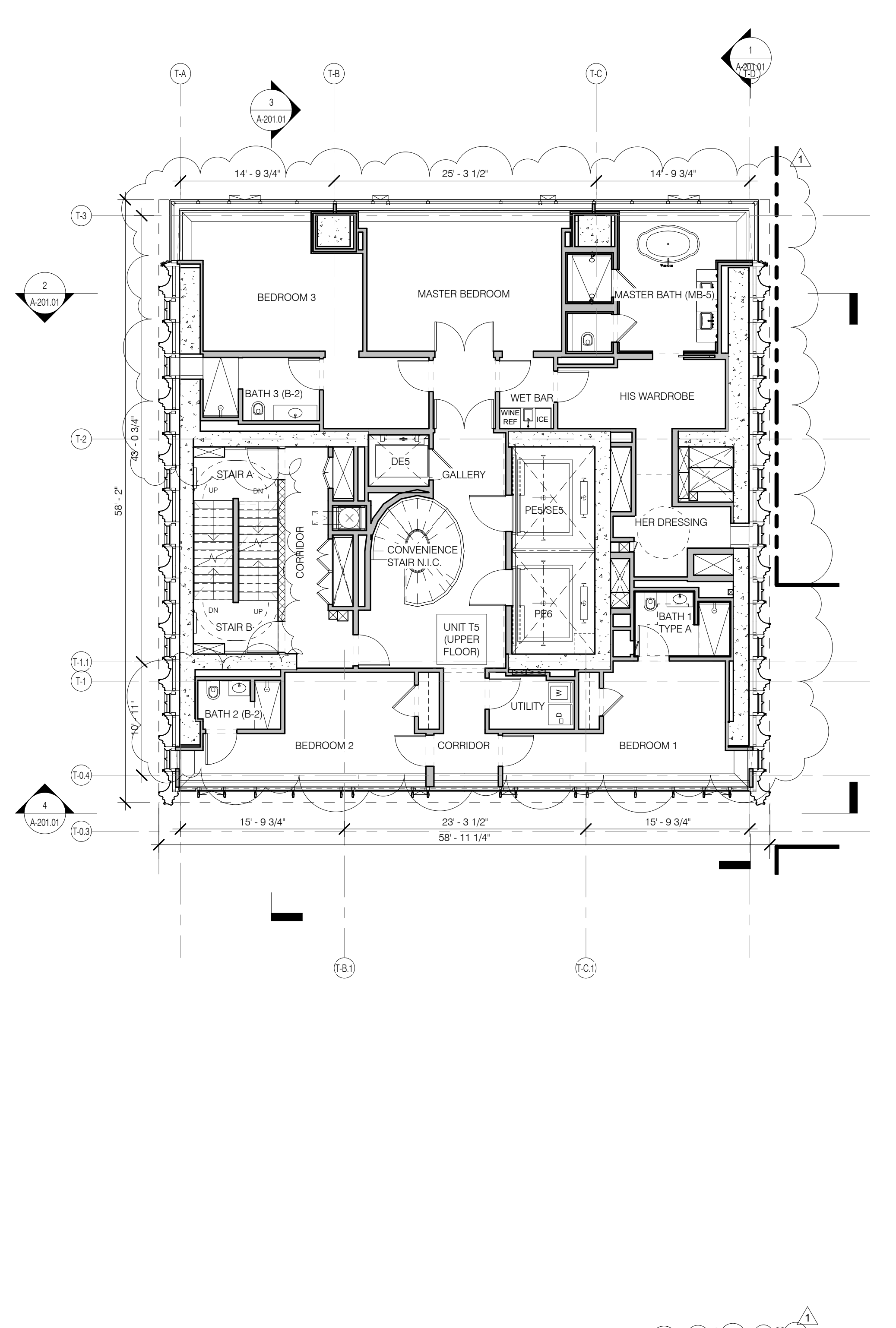
SEAL & SIGNATURE: [Signature] DATE: 3.27.15  
PROJECT NO: 130907  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO: 121332068  
DRAWING NUMBER: A-113.01



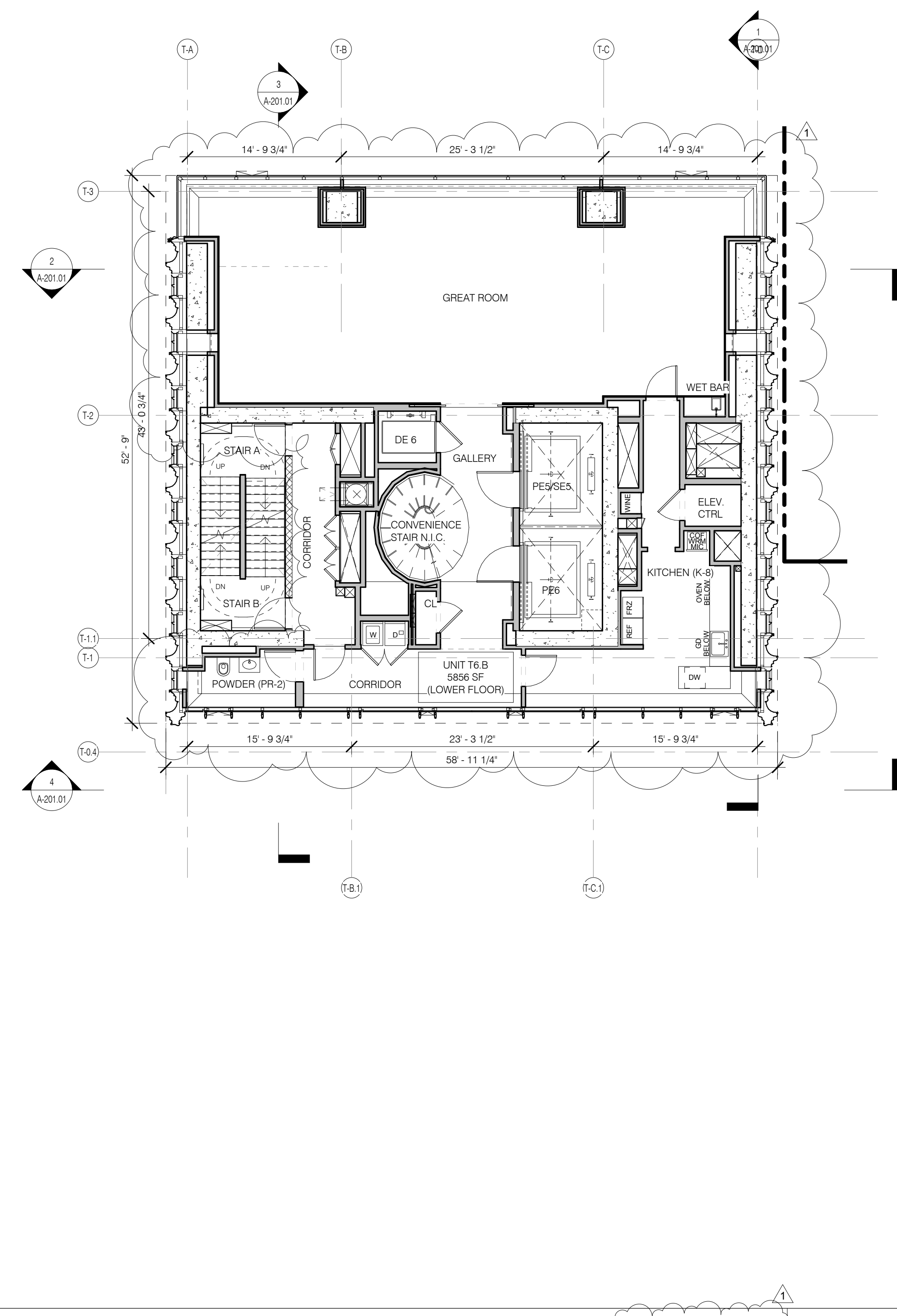
LEVEL 77 PLAN 1/8" = 1'-0" 06



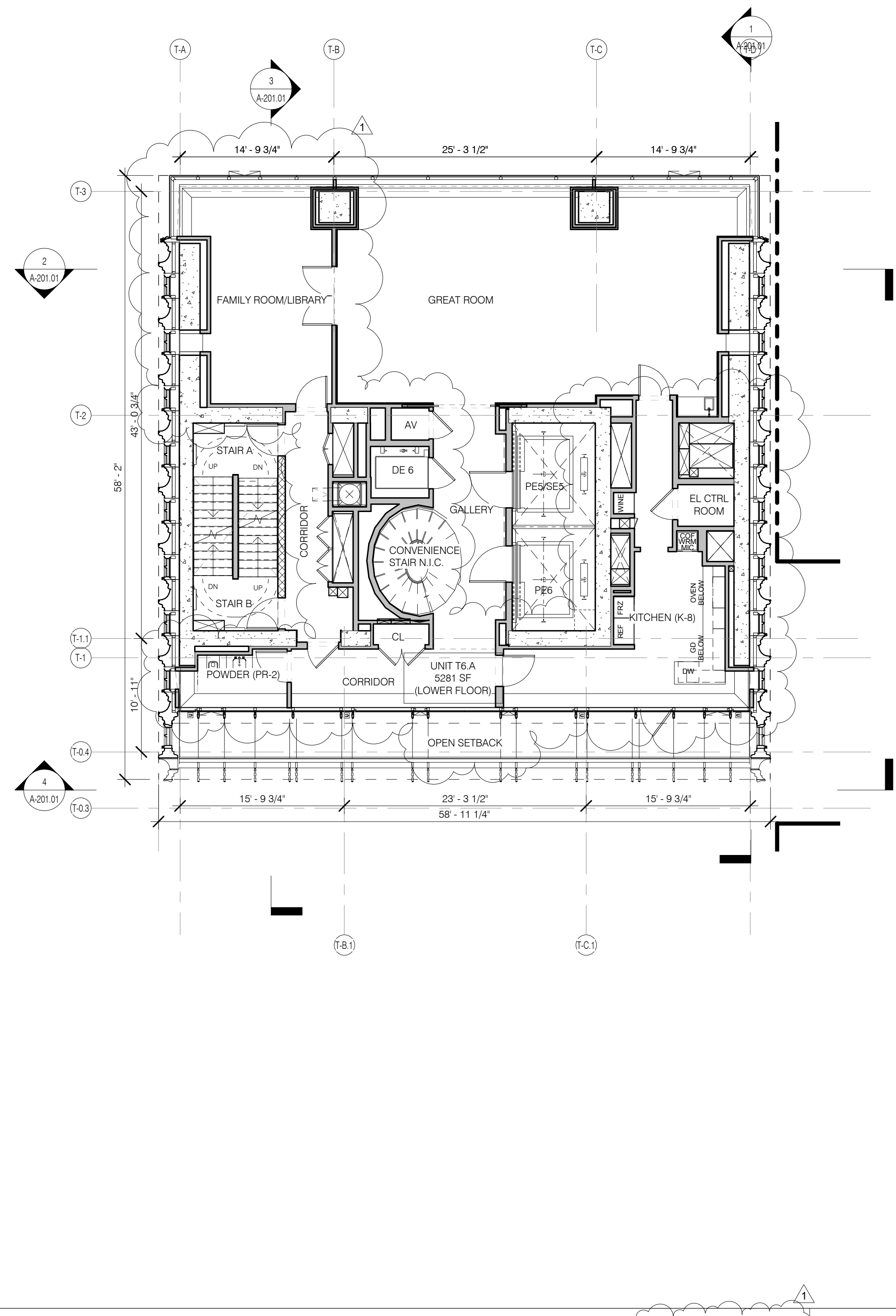
LEVEL 76 PLAN 1/8" = 1'-0" 4



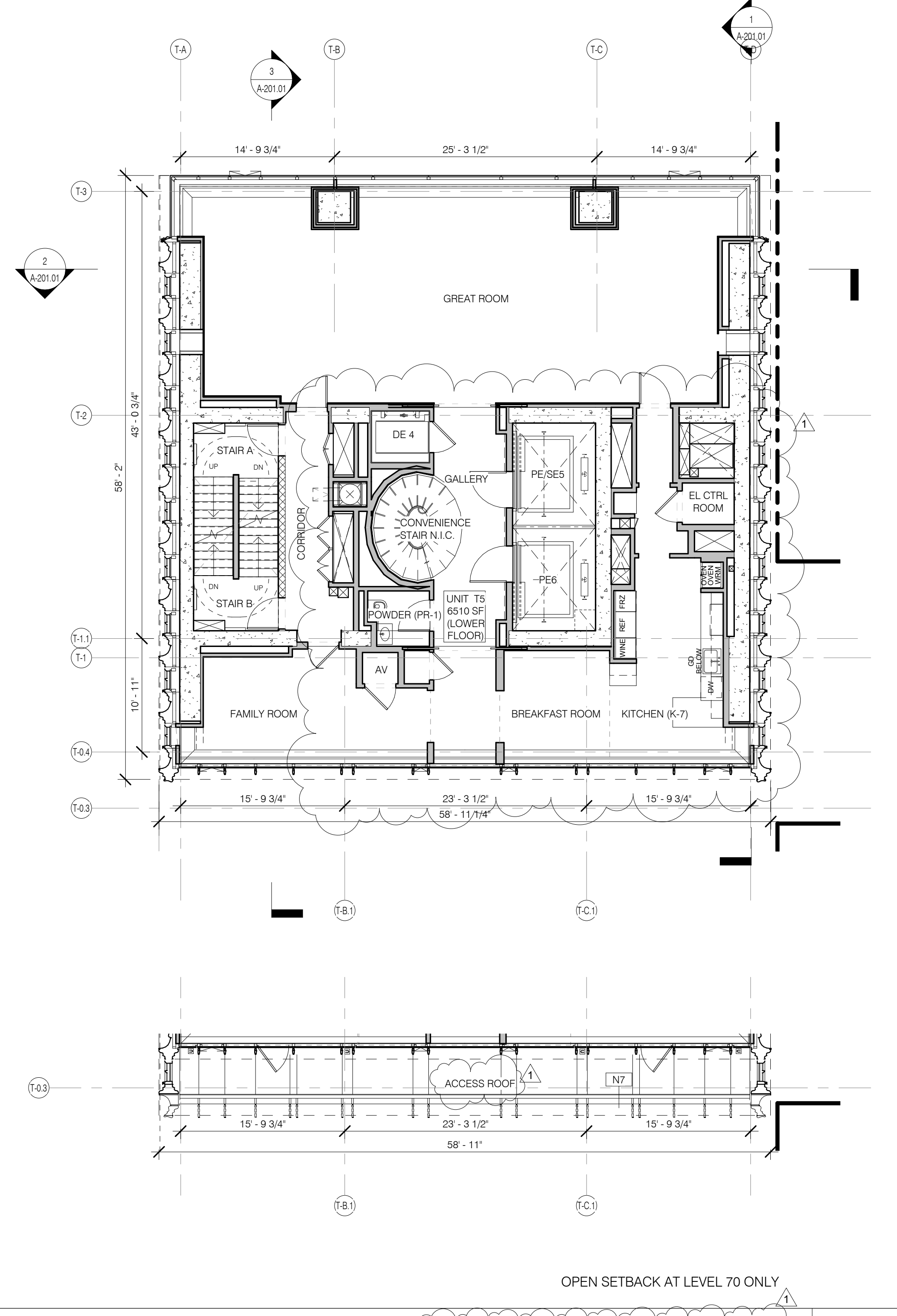
LEVEL 71/73 PLAN 1/8" = 1'-0" 2



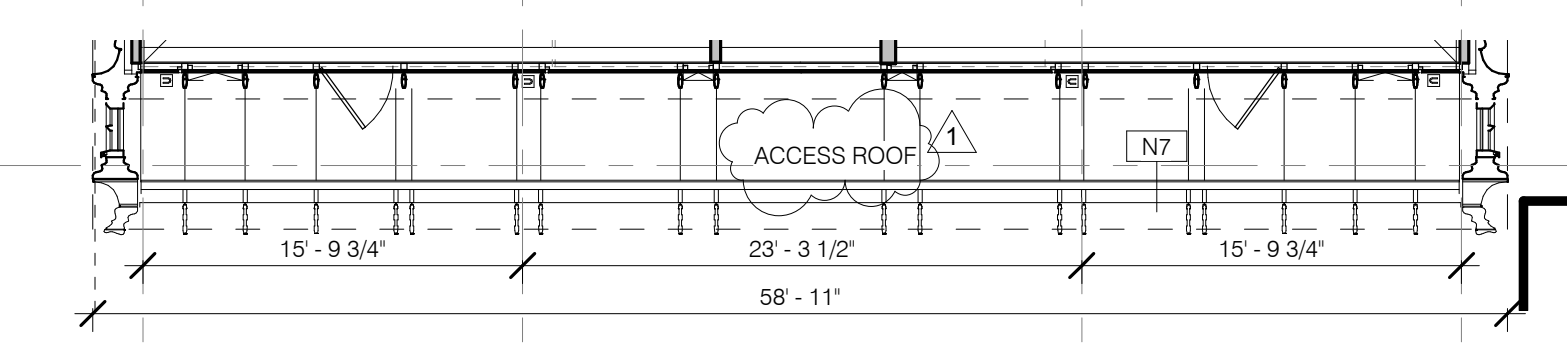
LEVEL 76 PLAN 1/8" = 1'-0" 5



LEVEL 74 PLAN 1/8" = 1'-0" 3



LEVEL 70/72 PLAN 1/8" = 1'-0" 1



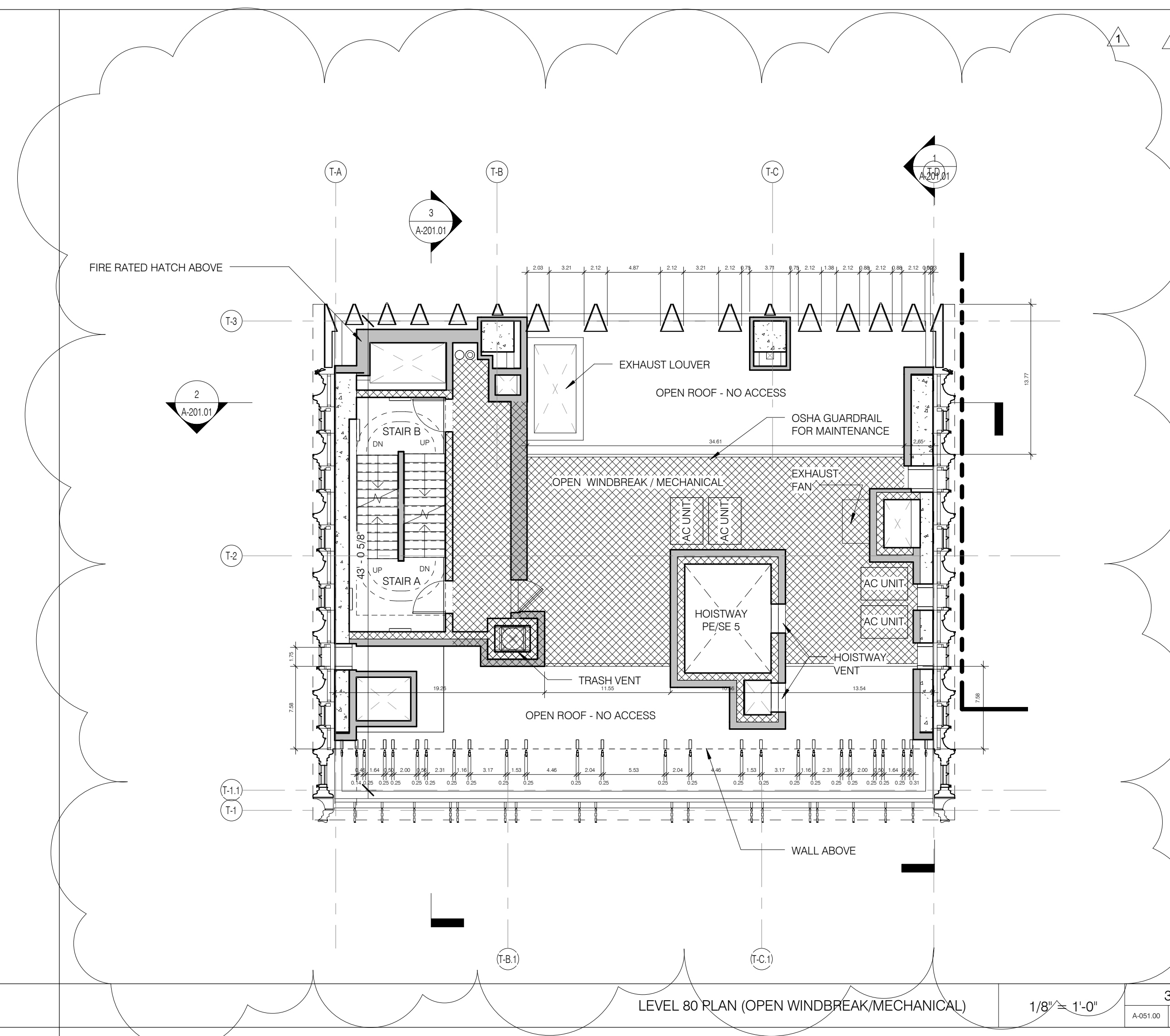
OPEN SETBACK AT LEVEL 70 ONLY

ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212.899.8900
STRUCTURAL ENGINEER	YUSEF GANTOR BENJUMR 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.897.8986
MEP ENGINEER	JARVIS, BALM & BOLLES 40 WEST STREET, 10TH FLOOR NEW YORK, NY 10006 TEL: 212.899.8900
CIVIL ENGINEER	ARIF ENGINEERING, P.C. 40 WEST 44TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212.899.8900
ACOUSTIC	LONGMAN LINDSEY 40 WEST 44TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212.899.8900
INTERIORS	STUDIOS 303FIELD 260 WAREHOUSE STREET NEW YORK, NY 10003 TEL: 212.475.300
FAÇADE	BURROUGHSFIELD 105 BROADWAY NEW YORK, NY 10005 TEL: 212.254.2025
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 HENRIETTA STREET, SUITE 204 LARKSPER, NJ 07033 TEL: 973.984.8775
RESTORATION	JAN HRO POKORNY ASSOCIATES 20 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.258.6482
GEO TECH	MICE 305 WEST 49TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917.288.4900
LIGHTING	CONSERVATIVE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212.255.4463

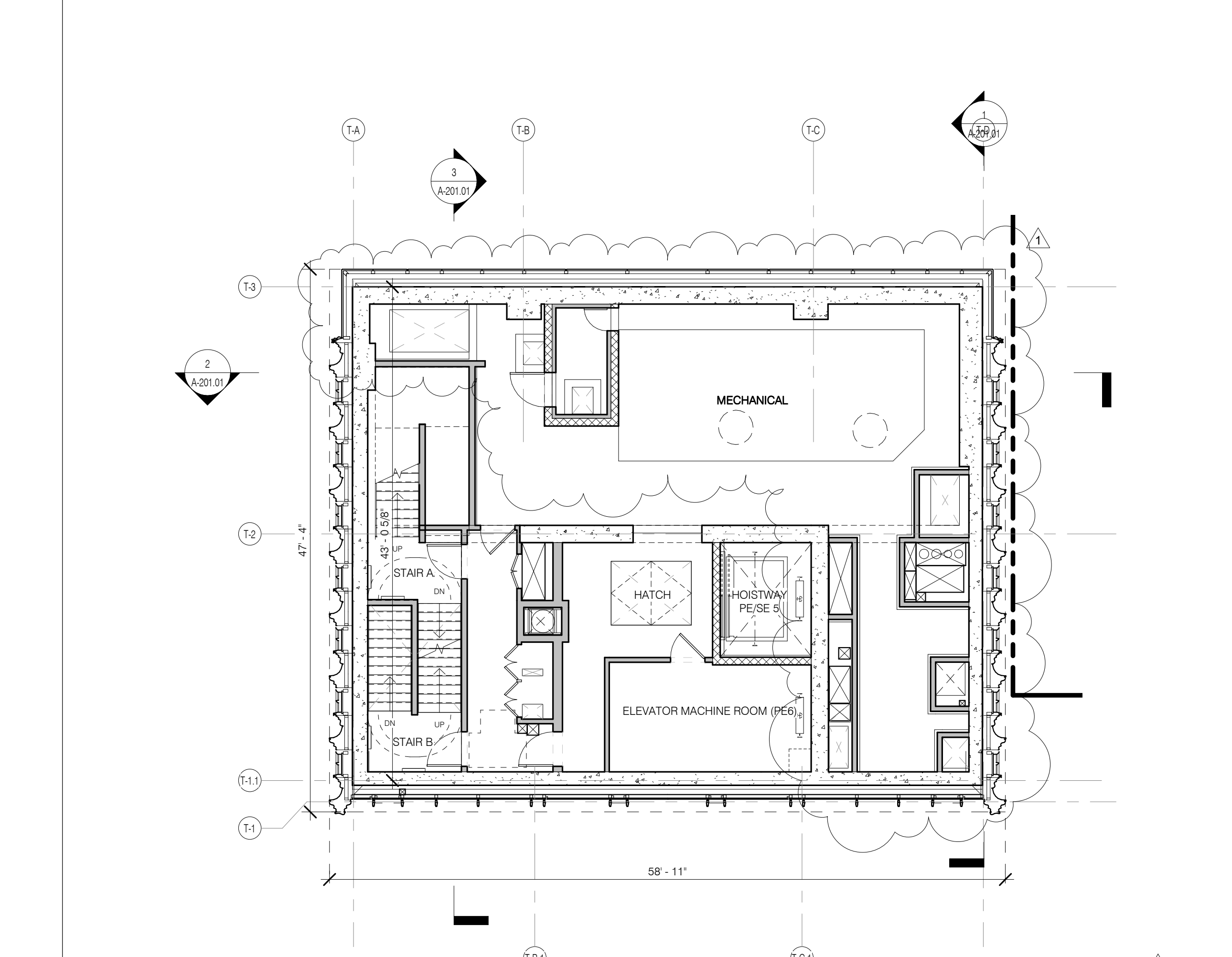
GENERAL NOTES

- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
- G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
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- G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION, AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
- G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
- G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC HIG DRAWINGS. ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB. FILL, UNO.
- G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
- G10 ALL ELEVATIONS ARE FROM TOP OF SLAB.
- G11 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
- G12 SEE DRAWING G-0.00 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
- G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
- G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
- G15 ALL LIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOWN.

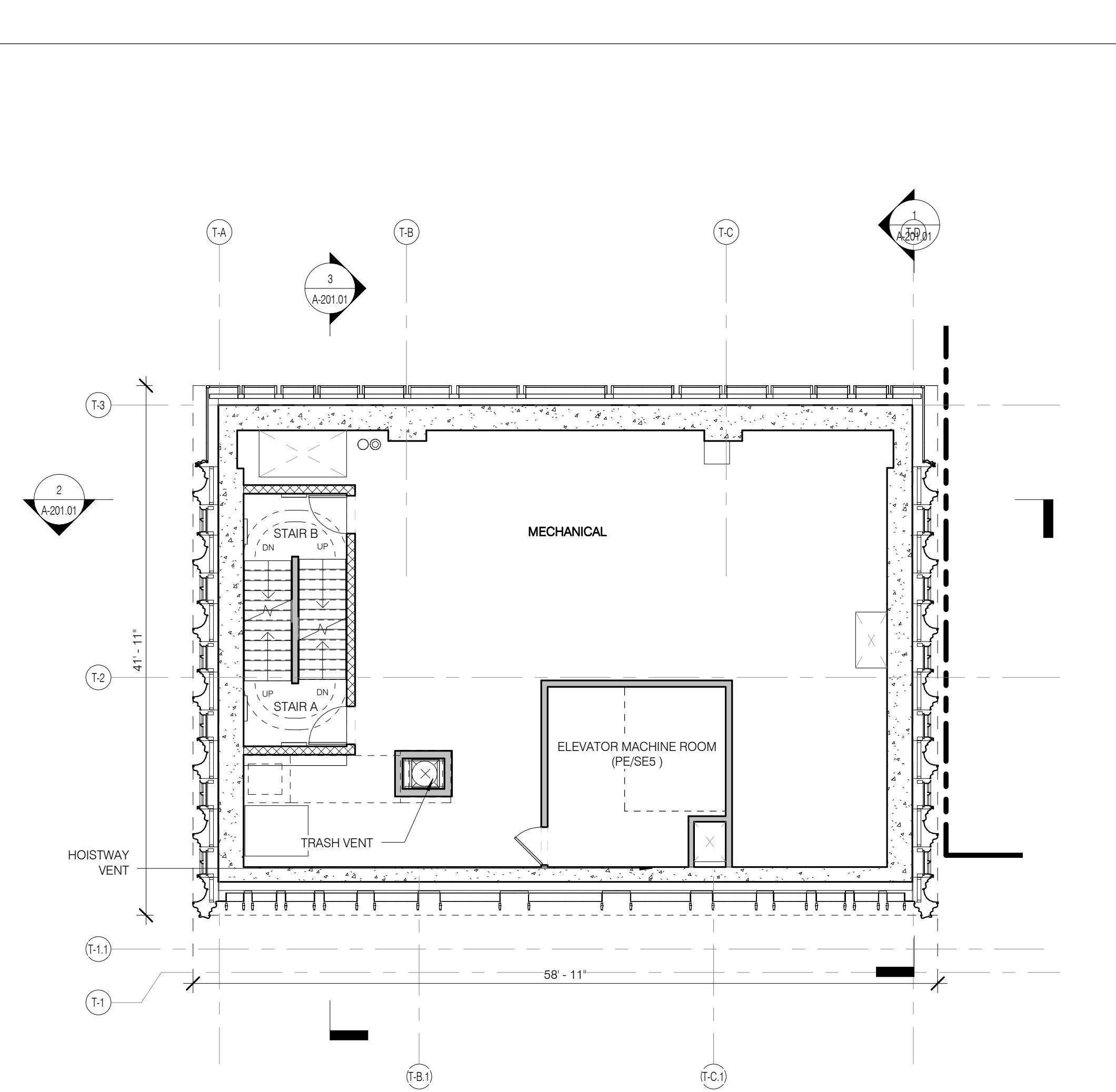
KEY NOTES



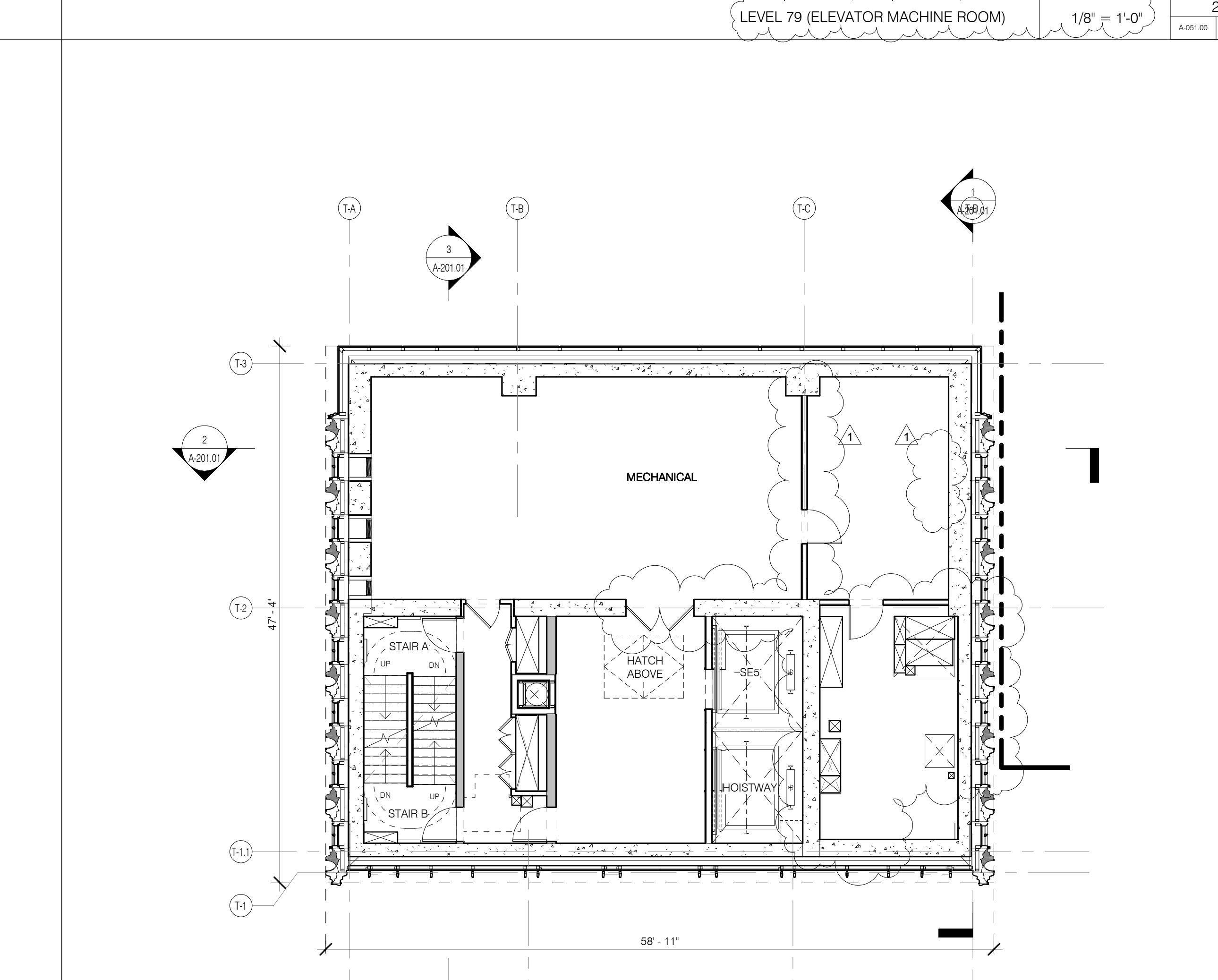
LEVEL 80 PLAN (OPEN WINDBREAK/MECHANICAL) 1/8" = 1'-0" 3 A1140P



LEVEL 79 (ELEVATOR MACHINE ROOM) 1/8" = 1'-0" 2 A1140P



LEVEL 81 (ELEVATOR MACHINE ROOM) 1/8" = 1'-0" 4 A1140P



LEVEL 78 (MECHANICAL) 1/8" = 1'-0" 1 A1140P

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- OPEN GRATING

0 2' 4' 6' 10'

PROPERTY MARKETS GROUP  
3 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212.899.8900

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019



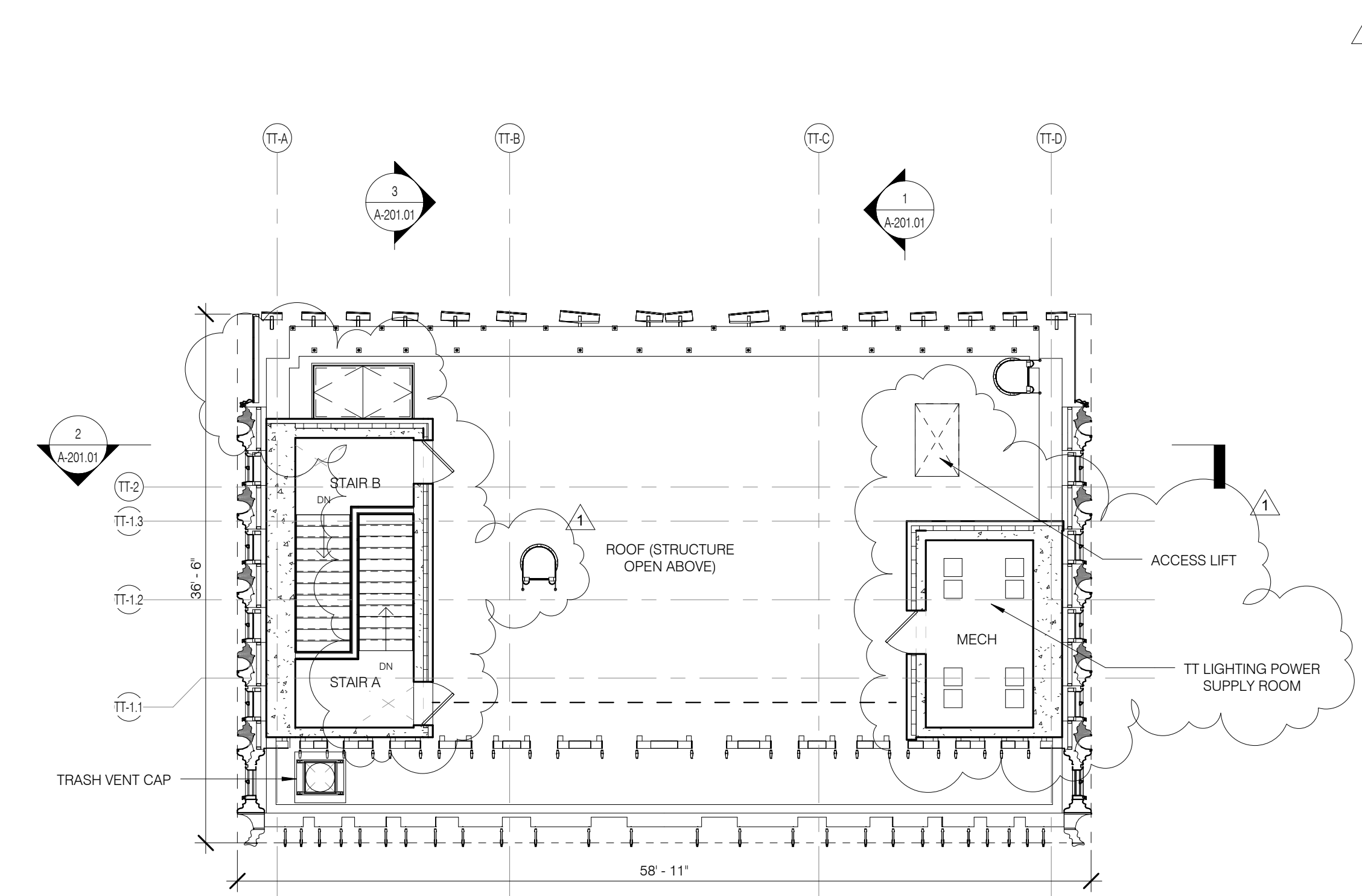
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

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FLOOR KEY PLANS LEVELS 78-81

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121330268	
DRAWING NUMBER	A-114.01	

RECORDS SECTION

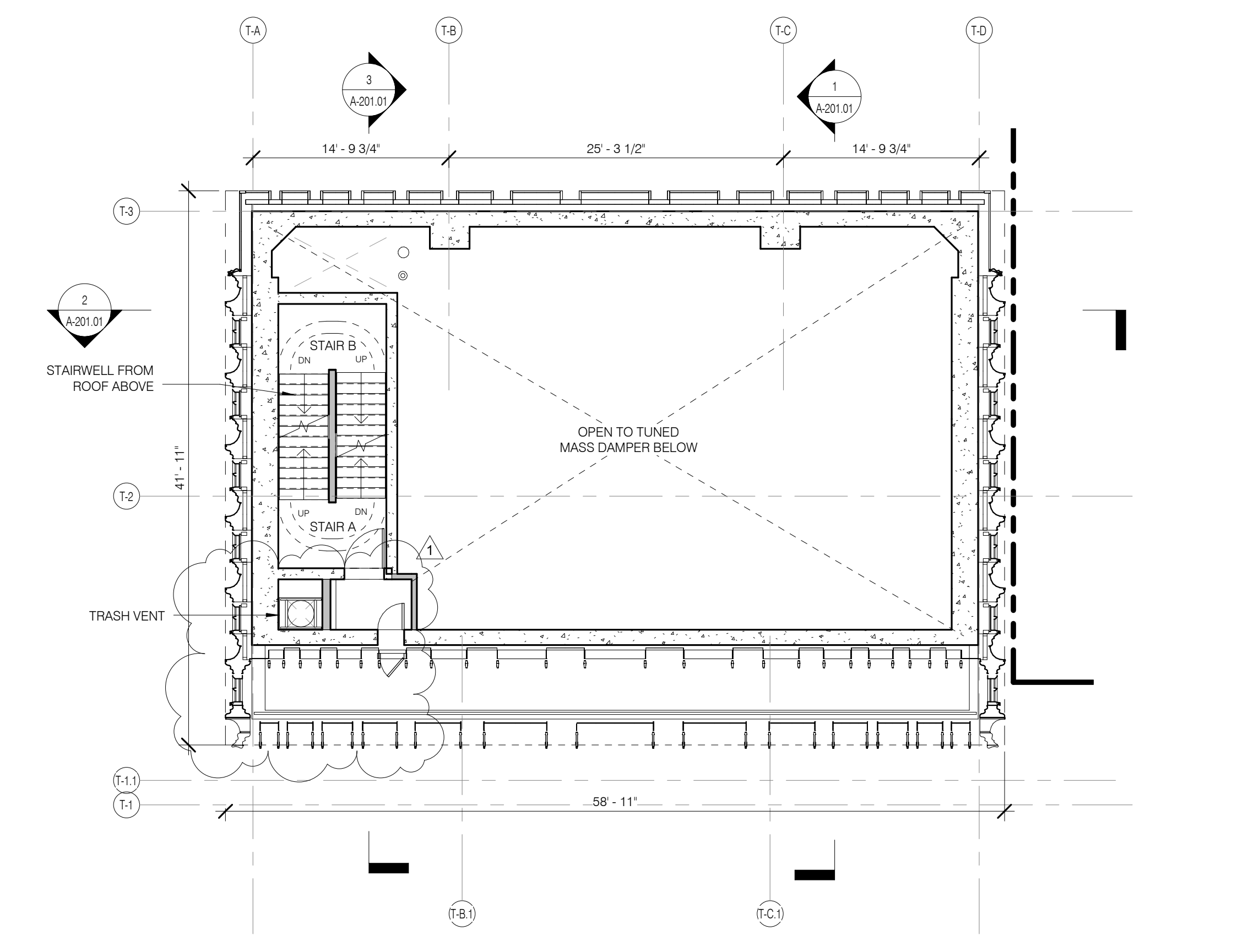


- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT 0-0 = 83.1 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC HGS DRAWINGS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LINO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G10 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
  - G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPFP HANGING LOAD.
  - G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOWN.

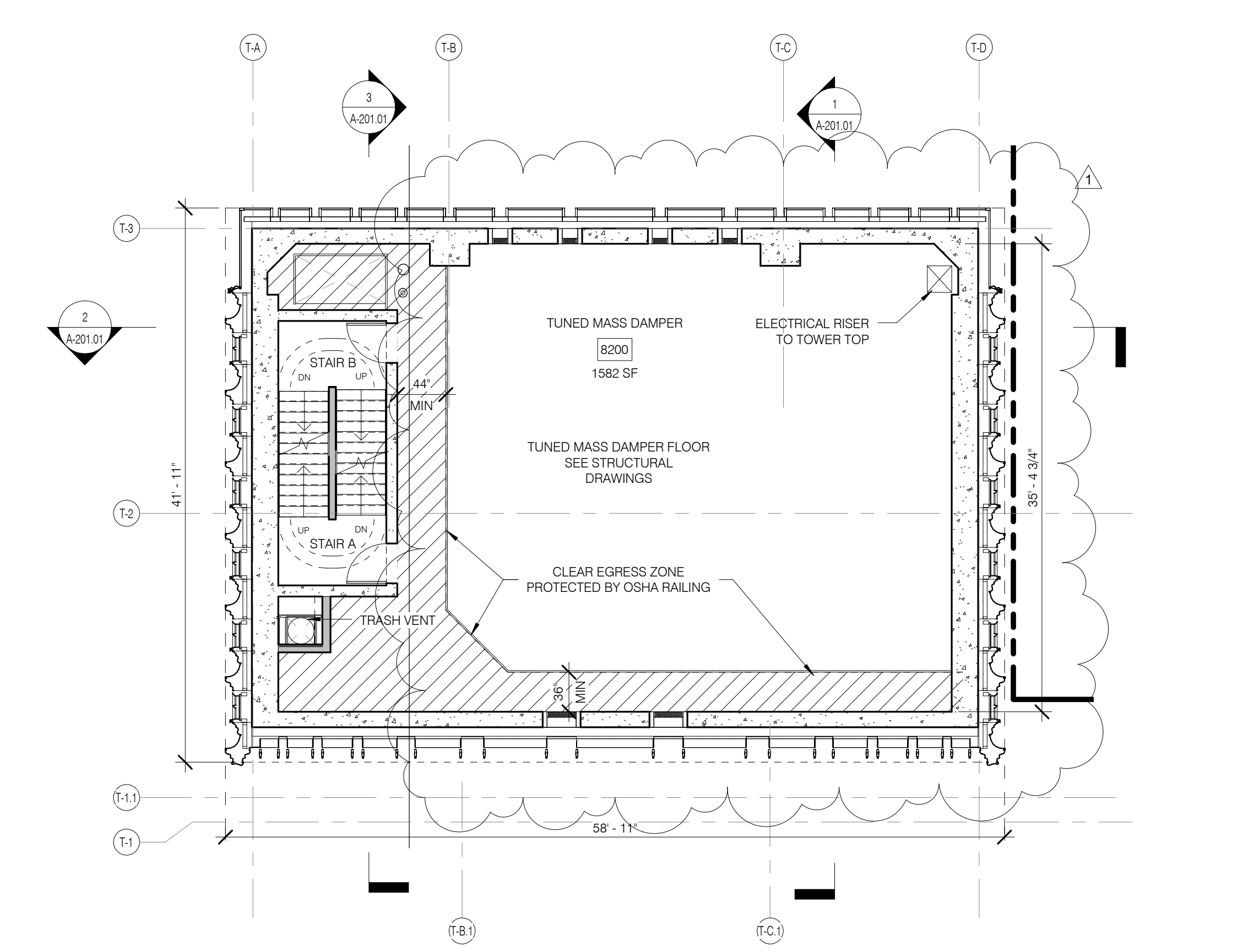
KEY NOTES

<p>ARCHITECT</p> <p>SHAP ARCHITECTS, P.C.</p> <p>235 BROADWAY, 11TH FLOOR</p> <p>NEW YORK, NY 10038</p> <p>TEL: 212.869.9336</p>	<p>STRUCTURAL ENGINEER</p> <p>YUSEF GANTOR BERKUP</p> <p>128 EAST 47TH STREET</p> <p>NEW YORK, NY 10017</p> <p>TEL: 212.897.5886</p>	<p>MEP ENGINEER</p> <p>JAROSLAW &amp; BOLLER</p> <p>49 WINE STREET, 12TH FLOOR</p> <p>NEW YORK, NY 10038</p> <p>TEL: 212.869.8333</p>	<p>CIVIL ENGINEER</p> <p>AKRF ENGINEERING, P.C.</p> <p>40 W 48th St, 20th Floor</p> <p>NEW YORK, NY 10018</p> <p>TEL: 212.868.8928</p>	<p>ACOUSTIC</p> <p>LONGMAN LINDSEY</p> <p>40 WEST 48th STREET, 4TH FLOOR</p> <p>NEW YORK, NY 10018</p> <p>TEL: 917.338.3389</p>	<p>INTERIORS</p> <p>STUDIOS 357 FELD</p> <p>360 LAKEVIEW STREET</p> <p>NEW YORK, NY 10001</p> <p>TEL: 212.475.306</p>	<p>FAÇADE</p> <p>BURD VORPOLD</p> <p>105 BROADWAY</p> <p>NEW YORK, NY 10038</p> <p>TEL: 212.254.2525</p>	<p>VERTICAL TRANSPORTATION</p> <p>VAN DEUSEN &amp; ASSOCIATES</p> <p>1 HENRY STREET, SUITE 204</p> <p>LARKSPER, NJ 07032</p> <p>TEL: 973.984.8775</p>	<p>RESTORATION</p> <p>JAN HRO POKORNY ASSOCIATES</p> <p>30 WEST 37th STREET, 11th Floor</p> <p>NEW YORK, NY 10018</p> <p>TEL: 212.258.6482</p>	<p>GEO TECH</p> <p>MRICE</p> <p>305 WEST 48th STREET, 4th FLOOR</p> <p>NEW YORK, NY 10018</p> <p>TEL: 917.338.4300</p>	<p>LIGHTING</p> <p>CONSERVATIVE INTERNATIONAL</p> <p>105 WALKER STREET, 7TH FLOOR EAST</p> <p>NEW YORK, NY 10013</p> <p>TEL: 212.255.4463</p>
--	--	---	--	---	---	--	---	--	--	---

LEVEL 85 - ROOF PLAN 1/8" = 1'-0" 3



LEVEL 83 (TUNED MASS DAMPER) 1/8" = 1'-0" 2



LEVEL 82 (TUNED MASS DAMPER) 1/8" = 1'-0" 1

**JDS DEVELOPMENT GROUP**

104 FIFTH AVENUE, 8TH FLOOR  
NEW YORK, NY 10011  
TEL: 646.832.3600

**sh p**

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MEP ENGINEER  
JAROSLAW & BOLLER  
49 WINE STREET, 12TH FLOOR  
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TEL: 917.338.4300

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CONSERVATIVE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10013  
TEL: 212.255.4463



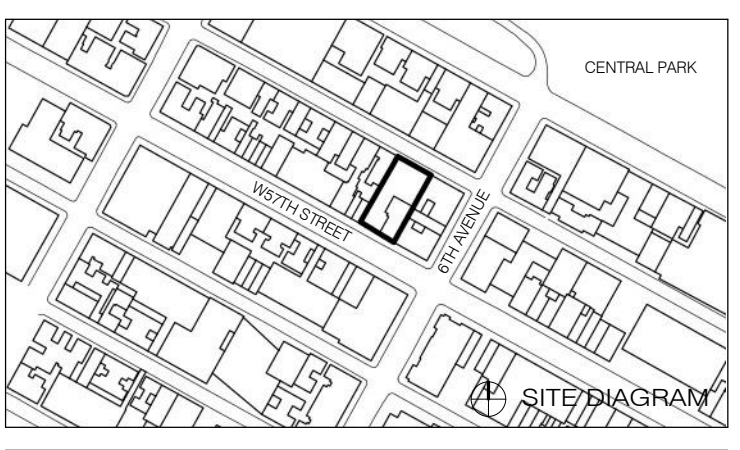
PROPERTY MARKETS GROUP  
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NEW YORK, NY 10003  
TEL: 212.899.9999

CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
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NEW YORK, NY 10019



1	3/27/15	DOB PAA
NO.	DATE	REVISION

DRAWING TITLE

**FLOOR KEY PLANS LEVELS 82-ROOF**

SEAL & SIGNATURE DATE 3/27/15

PROJECT NO. 130007

DRAWN BY Author

CHECKED BY Checker

DOB NO.

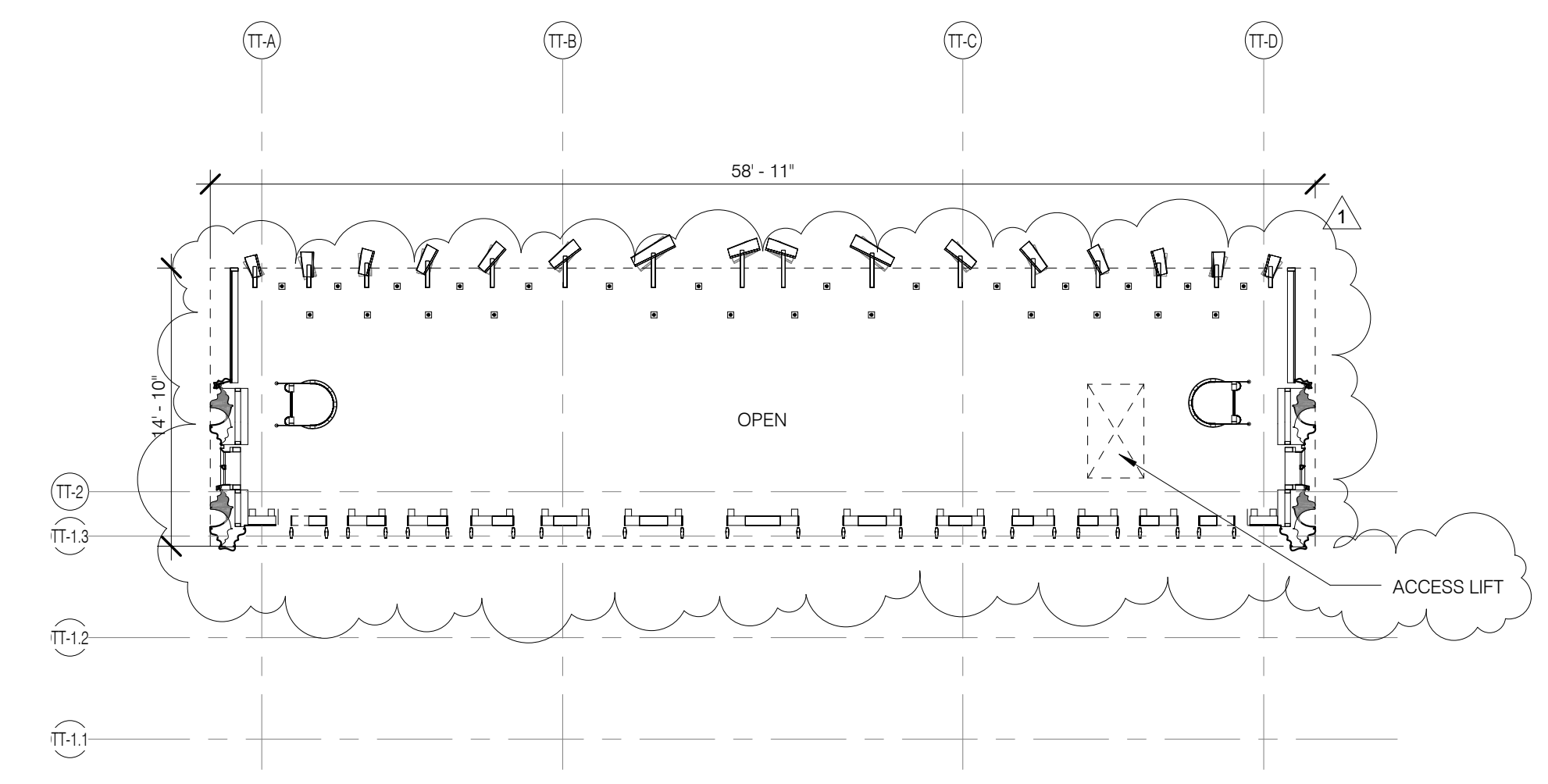
DRAWING NUMBER

**A-115.01**

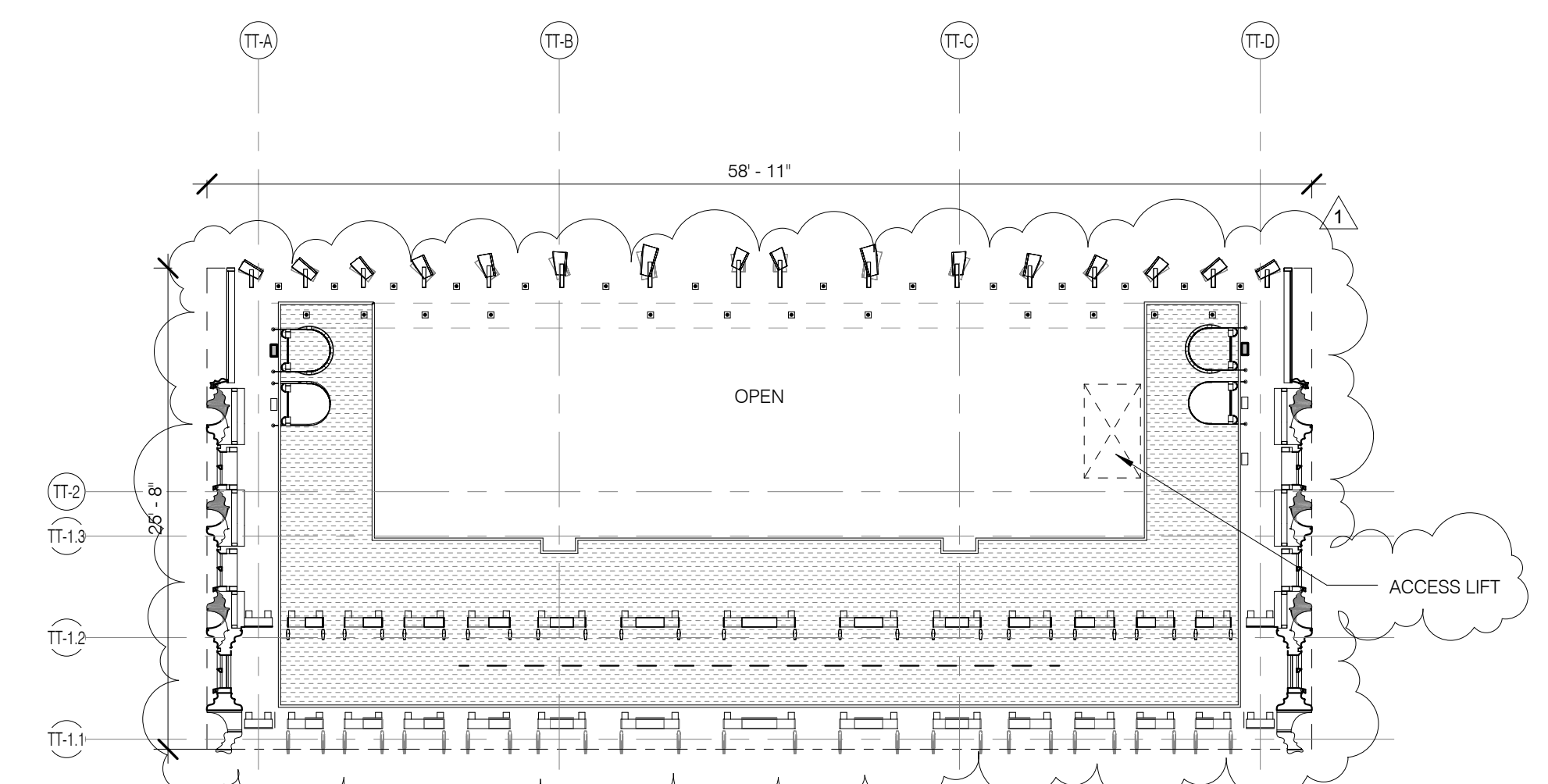
ARCHITECT	SHAP ARCHITECTS, P.C. 635 BROADWAY, 11TH FLOOR NEW YORK, NY 10038 TEL: 212 693 9336
STRUCTURAL ENGINEER	YORP PARTNER REPAIR 128 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 697 5866
MEP ENGINEER	JACOBI, BAUM & BOLLER 80 WINE STREET, 12TH FLOOR NEW YORK, NY 10038 TEL: 212 693 9336
CIVIL ENGINEER	AWR ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 TEL: 212 268 8928
ACOUSTICS	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 3389
INTERIORS	STUDIOS JENSEN 200 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 1300
FAÇADE	BURRO WERFIELD 105 BROADWAY NEW YORK, NY 10038 TEL: 212 234 2625
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY, 20TH FLOOR LARKSPER, NJ 07033 TEL: 973 948 8775
RESTORATION	JAN HRO POKORNY ASSOCIATES 80 WEST 57TH STREET, 1 FLOOR, 2A NEW YORK, NY 10019 TEL: 212 238 6462
GEOTECH	MTC 305 WEST 54TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 238 4900
LIGHTING	CONSERVATIVE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4463

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT G.D. = 63.1 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (R1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION, AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - G6 NON PRESSURIZED EGRESS STAR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORDS. SEE ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB. FILL UNO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB. LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
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  - G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
  - G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
  - G15 ALL LIFT INTERIOR PASSAGE DOORS ARE 36" WIDE, LOK.

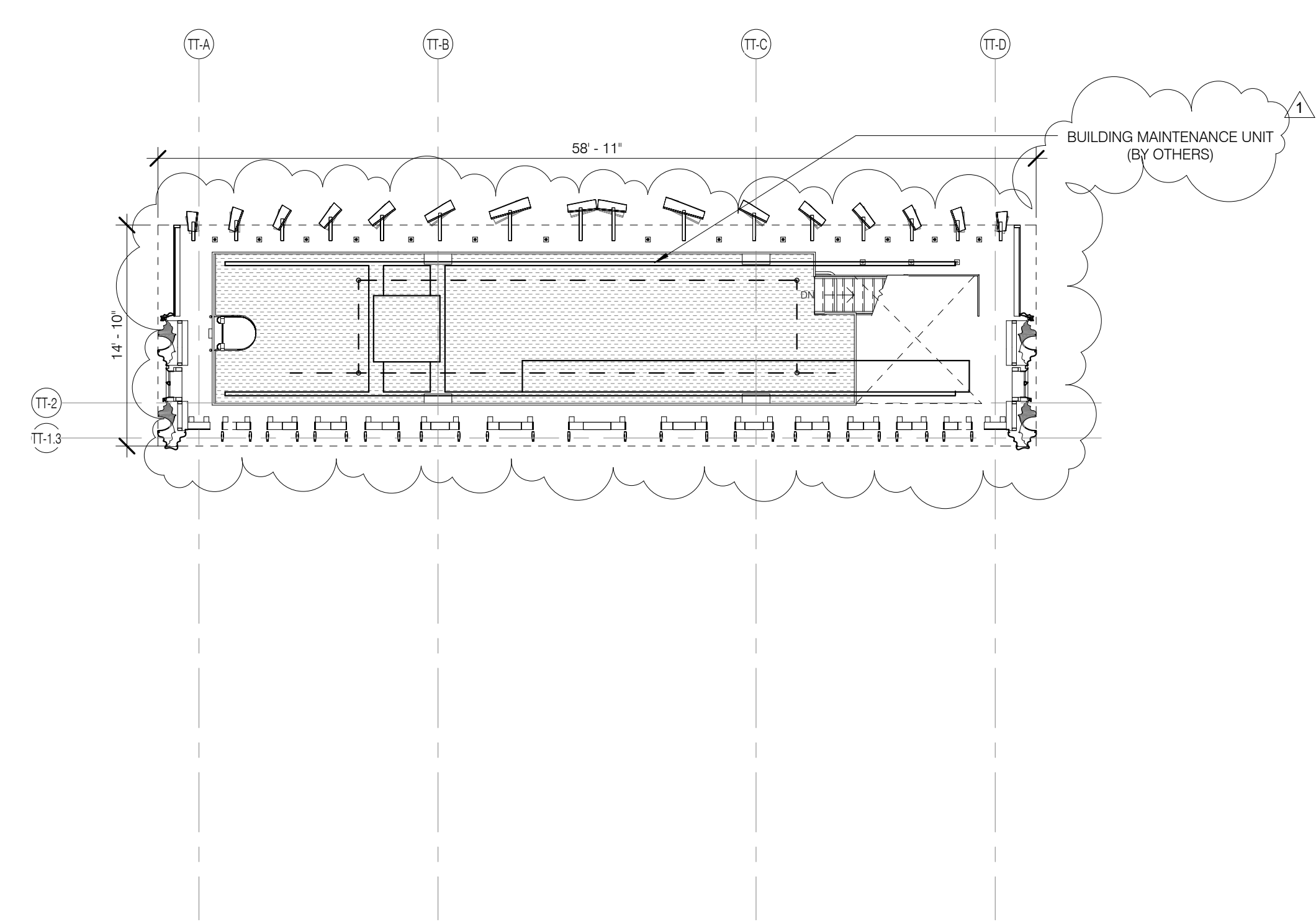
KEY NOTES



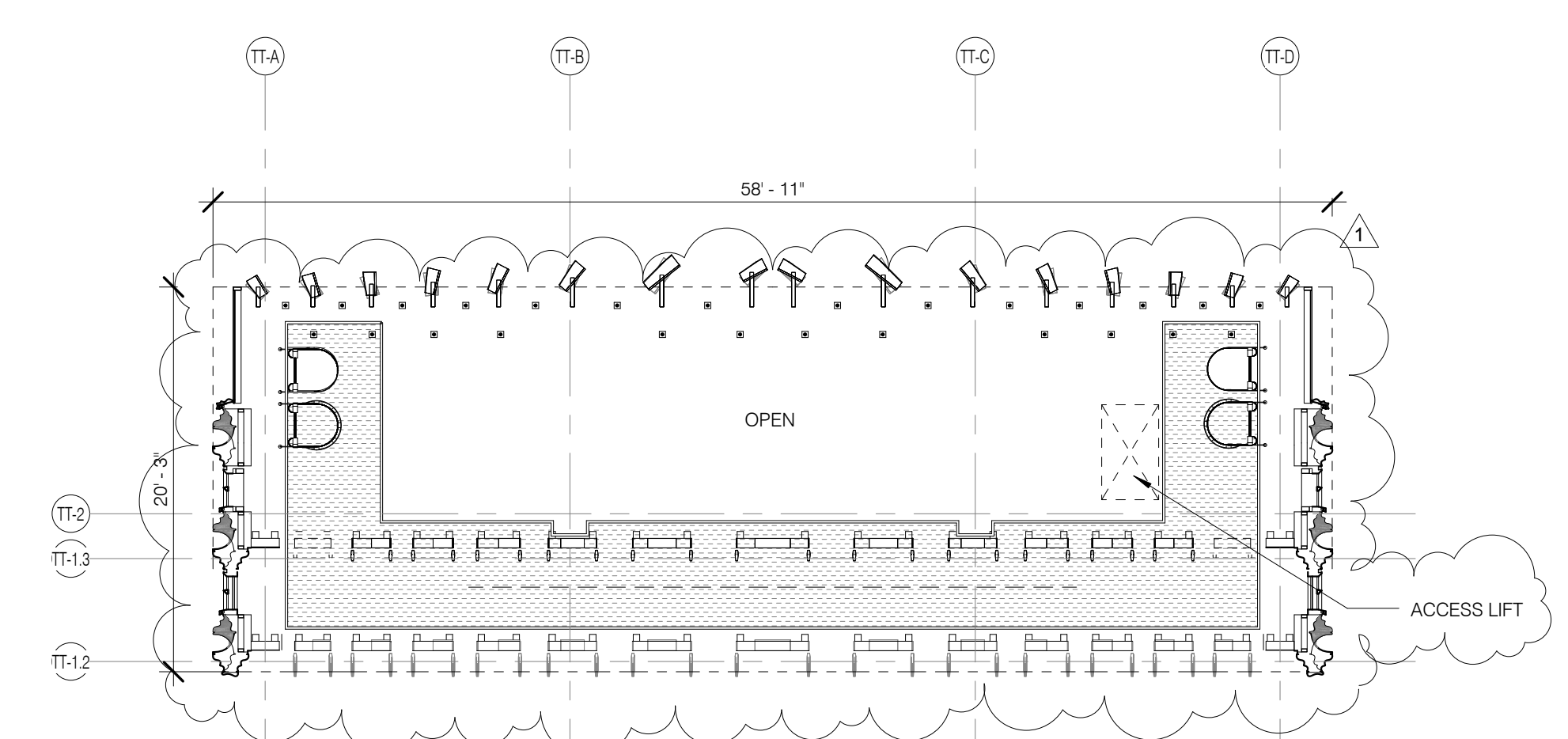
BLKHD LEVEL 3.5 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 4 A-116.01



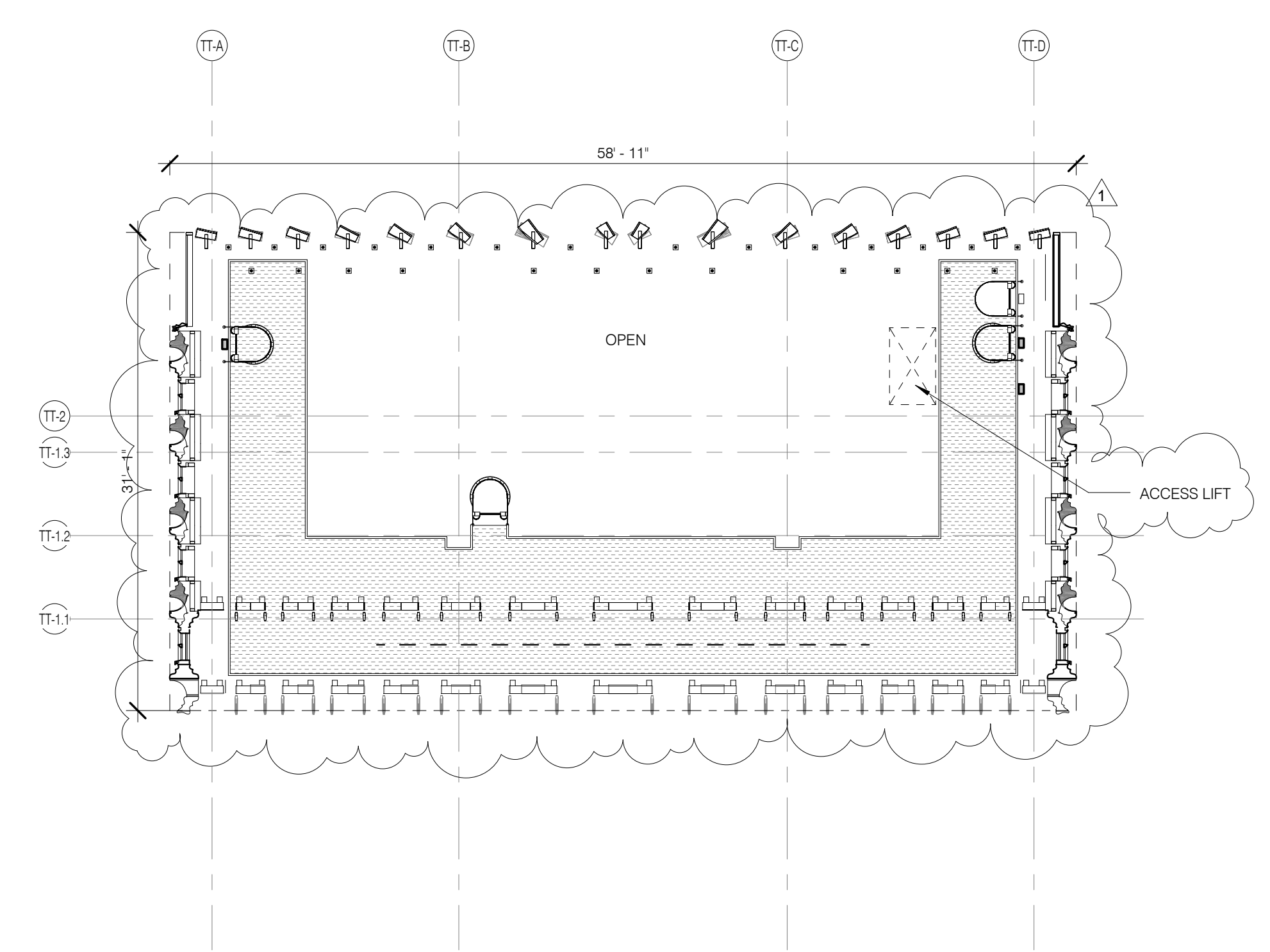
BLKHD LEVEL 2 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 2 A-116.01



BLKHD LEVEL 4 PLAN (BMU) 1/8" = 1'-0" 5 A-116.01



BLKHD LEVEL 3 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 3 A-116.01



BLKHD LEVEL 1 PLAN (MAINTENANCE PLATFORM) 1/8" = 1'-0" 1 A-116.01

LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK
- NO CHANGE
- OPEN GRATING

0 2 4 6 10'



**111 WEST 57TH STREET**  
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NEW YORK, NY 10019



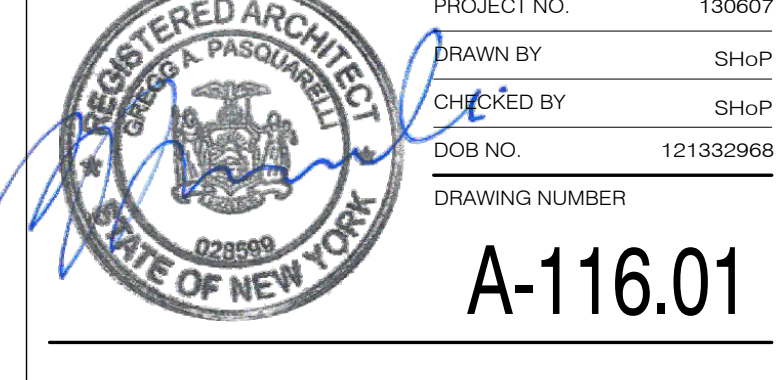
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

DRAWING TITLE

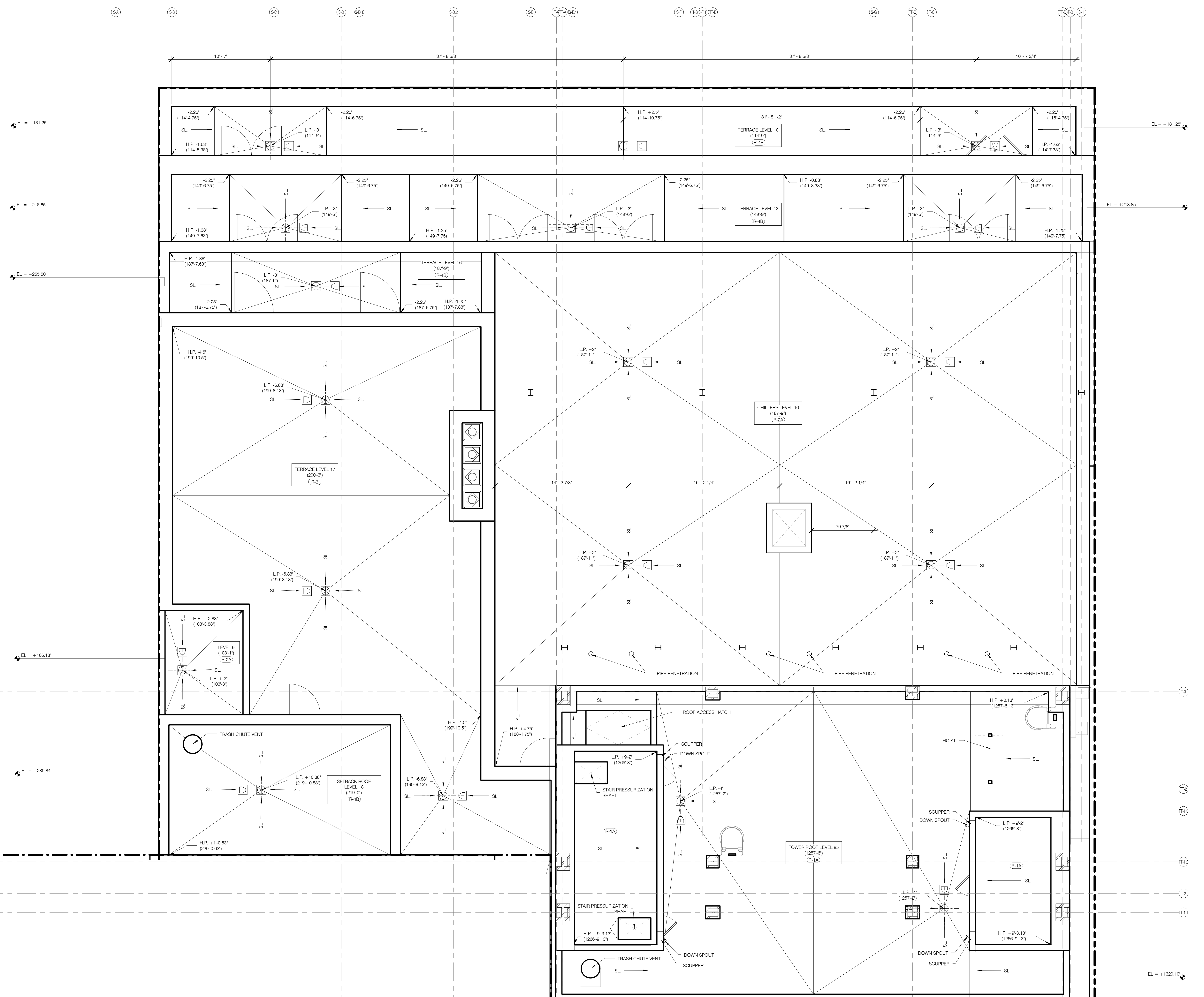
**FLOOR KEY PLANS BLKHD LEVEL 1-TOP/STRUCT**

SEAL & SIGNATURE: DATE: 3.27.15

PROJECT NO.: 130007  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO.: 121332968  
DRAWING NUMBER: A-116.01







- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEDUCTIONS NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT 0-0 = 63.1 MGD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (RPS) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO RESTORATION.
  - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC RECORDS DRAWINGS. ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LINO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING INDICATOR LOCATIONS. SEE SHEET A-120.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - G10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G11 SEE DRAWING 0-00 FOR ABBREVIATIONS, SYMBOLS AND MATERIAL LEGEND.
  - G12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
  - G13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING RISERS FOR MEPP/F HANGING LOAD.
  - G14 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOK.

**JDS DEVELOPMENT GROUP**

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**sh p**

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MPC  
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NEW YORK, NY 10002  
TEL: 212.264.4443



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100 WEST 11TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
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CURRENT ISSUE

DOB PAA

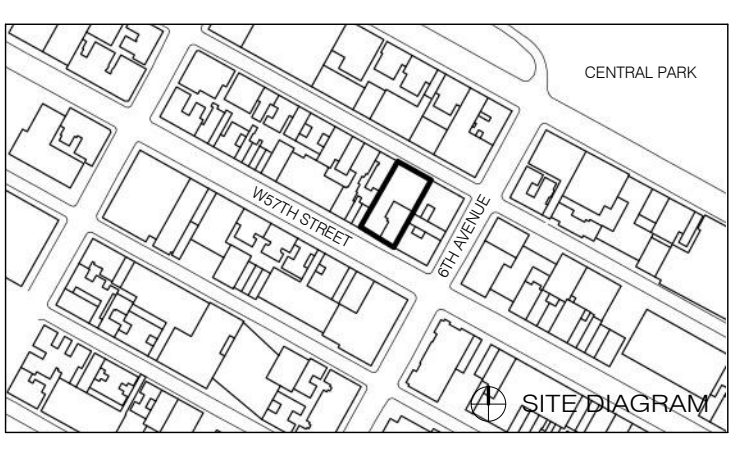
Shauqat Shaikh  
Building  
APPROVED  
Under Directive 2 of 1975  
DATE OF EXPIRATION  
Date: 08/31/2015  
NYC Development Hub

LEGEND

- EXISTING WALL TO REMAIN
  - NEW CONSTRUCTION
  - MECHANICAL
  - RETAIL TENANT FITOUT
  - INTERIOR LANDMARK  
NO CHANGE
  - RISER SUPPORT, SEE  
MEP DRAWINGS
- PAVER TYPES LEGEND
- (PVR-1A) CONCRETE LOCKDOWN PAVER
  - (PVR-1B) CONCRETE PEDESTAL PAVER
  - (PVR-2A) STONE LOCKDOWN PAVER
  - (PVR-2C) STONE PEDESTAL PAVER
  - (PVR-2C) STONE PEDESTAL PAVER AMENITY
  - (PVR-3) COBBLESTONE PAVER
  - (PVR-4) GLASS AND STEEL PLANK

- ROOF TYPES LEGEND
- (R-1A) TOWER  
RMA R-20 W/ CONCRETE  
LOCKDOWN PVR
  - (R-1B) TOWER  
RMA R-20 W/ STONE  
LOCKDOWN PVR
  - (R-2A) STEINWAY EXG SLAB  
RMA R-20 W/ CONCRETE  
PEDESTAL PVR
  - (R-2B) STEINWAY EXG SLAB  
RMA R-20 W/ STONE  
PEDESTAL PVR
  - (R-3) STEINWAY NEW SLAB  
RMA R-20 W/ STONE  
PEDESTAL PVR
  - (R-4A) STEINWAY EXG SLAB  
RMA R-10 W/ STONE  
PEDESTAL PVR
  - (R-4B) STEINWAY EXG SLAB  
RMA R-10 W/ CONCRETE  
PEDESTAL PVR
  - (R-5) 78TH FLOOR MECH  
TRAFFIC COATINGS
  - (R-6) PORTE COCHERE  
COBBLESTONE PAVER

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1	3.27.15	DOB PAA
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DRAWINGS TITLE

**ROOF DRAINAGE PLANS-NORTH**

SEAL AND SIGNATURE DATE 3.27.15

PROJECT NO. 130907

DRAWN BY SHUP

CHECKED BY SHUP

DOB NO. 121332968

DRAWING NUMBER

**A-120A.01**



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TEL: 212.475.1300

FAÇADE  
BURRO HARRFIELD  
105 BROADWAY  
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TEL: 212.254.2025

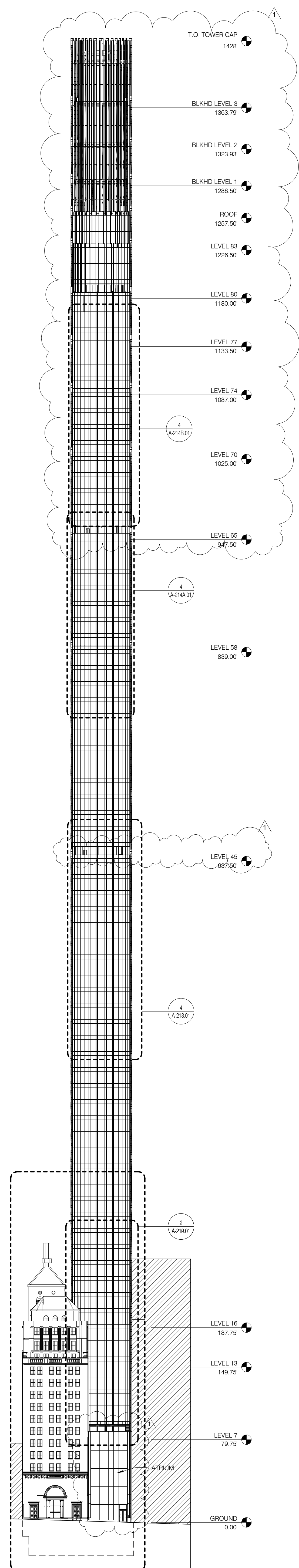
VERTICAL TRANSPORTATION  
VAN DEUSEN & ASSOCIATES  
1 BROADWAY, SUITE 200  
LARKSPER, NJ 07033  
TEL: 973.984.8775

RESTORATION  
JAN HIND FOKORNY ASSOCIATES  
80 WEST 47TH STREET, 7TH FLOOR  
NEW YORK, NY 10018  
TEL: 212.238.4442

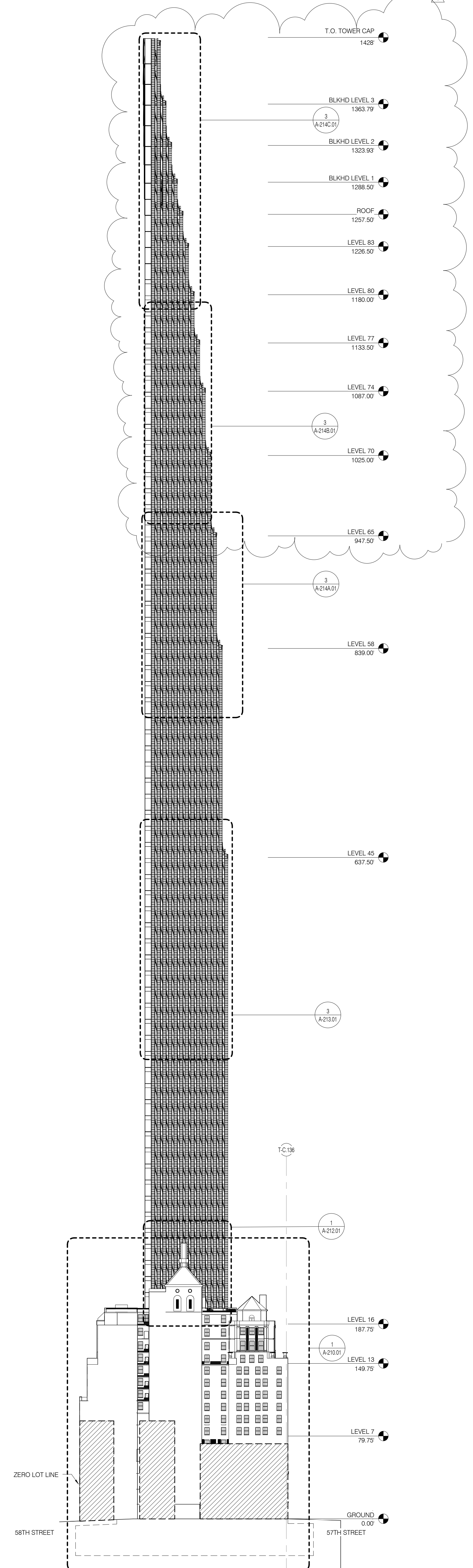
GEOTECH  
MICE  
305 WEST 48TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 917.238.4900

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CONSERVATIVE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10013  
TEL: 212.255.4443

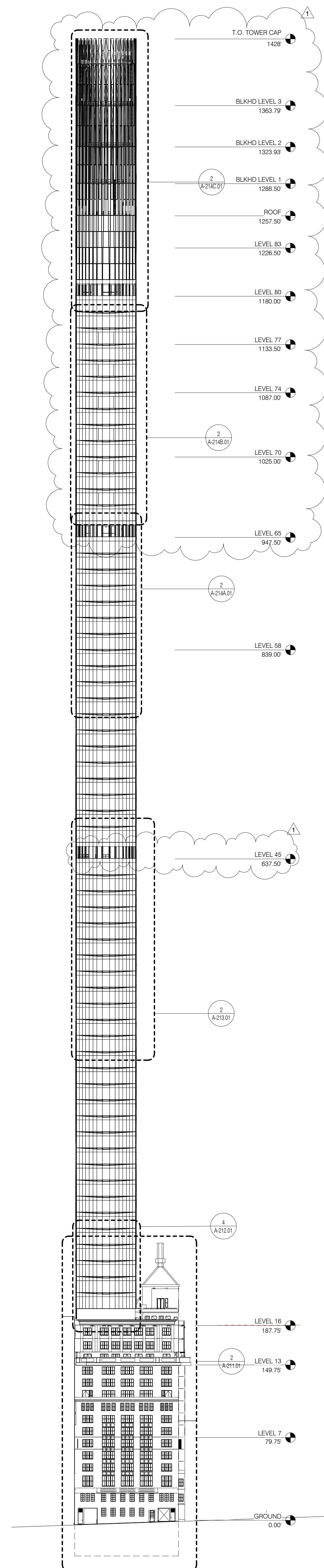
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  - G9 SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - G11 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGENDS.
  - G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TEO.
  - G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FP HANGING LOAD.
  - G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE, LION.



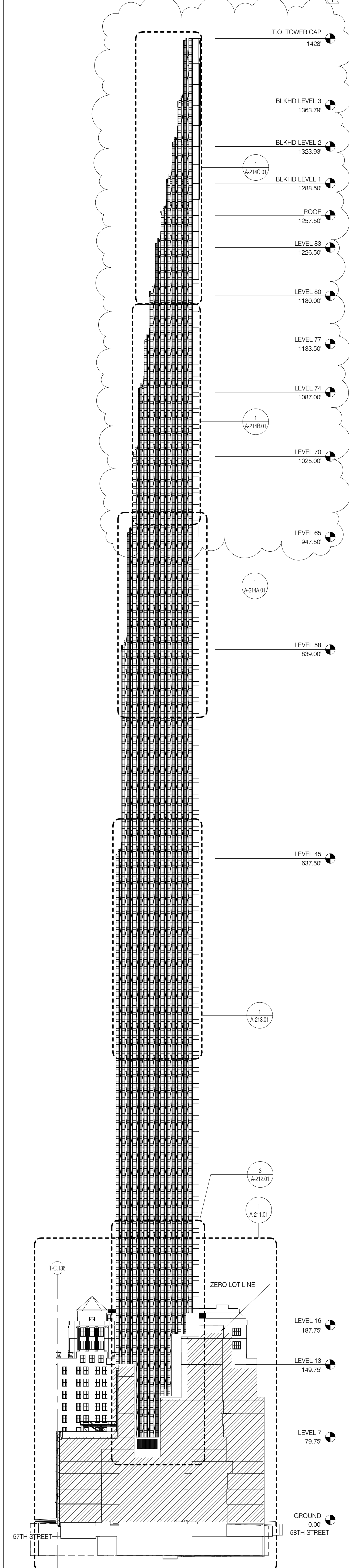
BUILDING ELEVATION - SOUTH 1" = 50'-0" 4 A-201(1) A-200(1)



BUILDING ELEVATION - WEST 1" = 50'-0" 3 A-201(1) A-200(1)



BUILDING ELEVATION - NORTH 1" = 50'-0" 2 A-201(1) A-200(1)

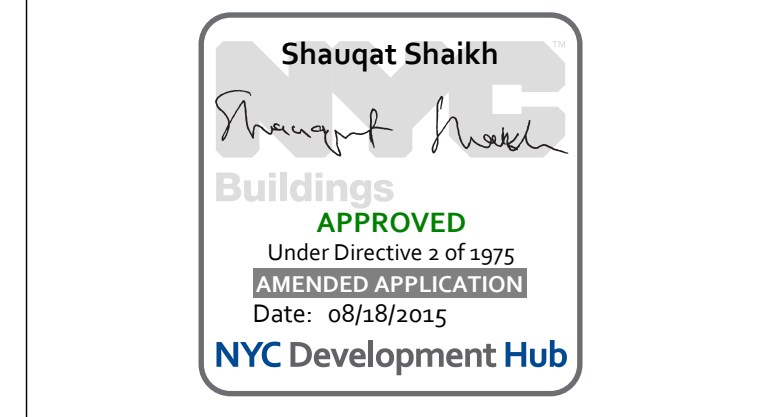


BUILDING ELEVATION - EAST 1" = 50'-0" 1 A-201(1) A-200(1)

PROPERTY MARKETS GROUP  
15 EAST 17TH STREET AND FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.9595

CURRENT ISSUE

DOB PAA



111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLUMB SET
NO.	DATE	REVISION

DRAWING TITLE

**BUILDING ELEVATIONS OVERALL**

SEAL & SIGNATURE: [Professional Seal] DATE: 3.27.15

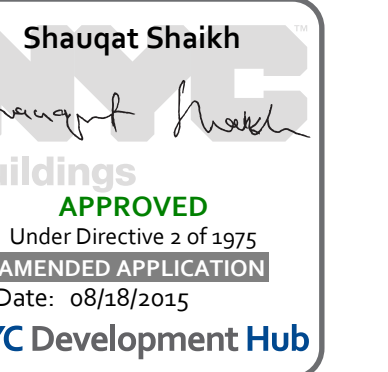
PROJECT NO.: 130007  
DRAWN BY: SH-P  
CHECKED BY: SH-P  
DOB NO.: 121332668  
DRAWING NUMBER: A-200.01

ARCHITECT	SHAP ARCHITECTS, P.C. 233 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212-869-9336	FAÇADE	BURROUGHS WAREFIELD 105 BROADWAY NEW YORK, NY 10002 TEL: 212-254-2025
MEP ENGINEER	YUSEF GANTOR BERKUP 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212-897-2886	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 200 LARKSPUR, NJ 07033 TEL: 201-944-8775
MEP ENGINEER	JANOSI, BAIAM & BOLLES 40 WINE STREET, 12TH FLOOR NEW YORK, NY 10002 TEL: 212-869-8628	RESTORATION	JAN HIND FOKORNY ASSOCIATES 30 WEST 37TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212-288-6880
CIVIL ENGINEER	ARUP ENGINEERING, P.C. 40 WHELAN AVE, SUITE 770, HOUSTON NEW YORK, NY 10002 TEL: 212-869-8628	GEOTECH	LONGMAN LINDSEY 40 WEST 37TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917-288-4900
ACoustics	LONGMAN LINDSEY 40 WEST 37TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917-288-4900	INTERIORS	STUDIOS 20/20 20 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212-475-3300
STRUCTURAL ENGINEER	YUSEF GANTOR BERKUP 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212-897-2886	LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212-254-4943

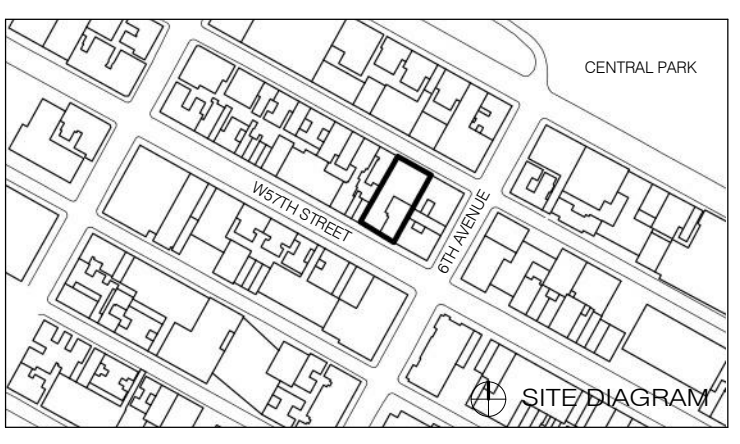


PROPERTY MARKETS GROUP  
1345 FIFTH AVENUE, 2ND FLOOR  
NEW YORK, NY 10019  
TEL: 212-869-9336

DOB PAA



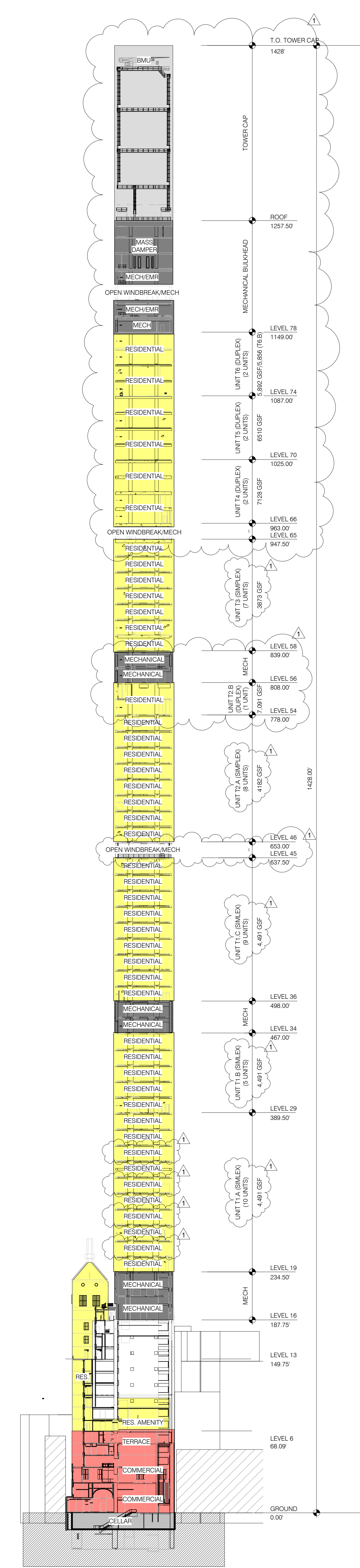
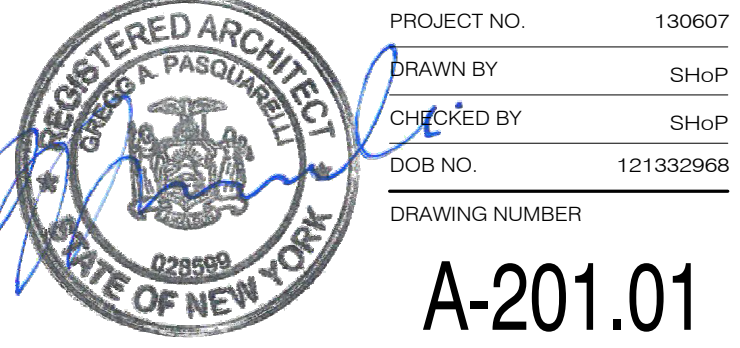
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



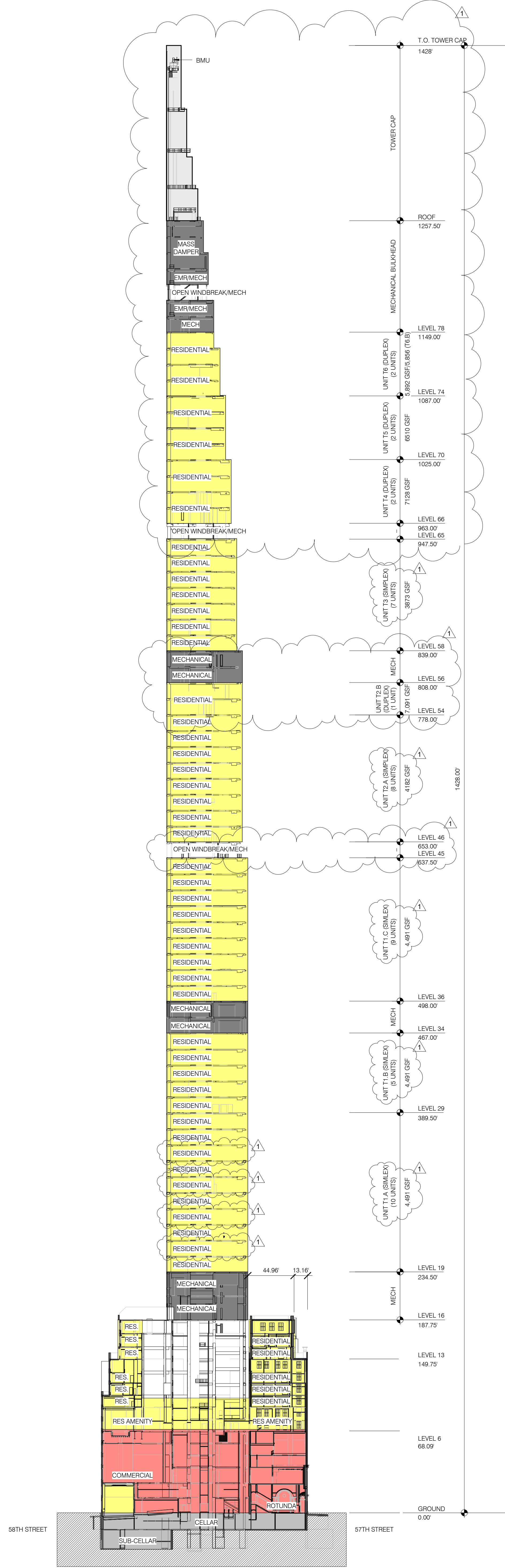
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET
NO.	DATE	REVISION

DRAWING TITLE  
**BUILDING SECTIONS OVERALL**

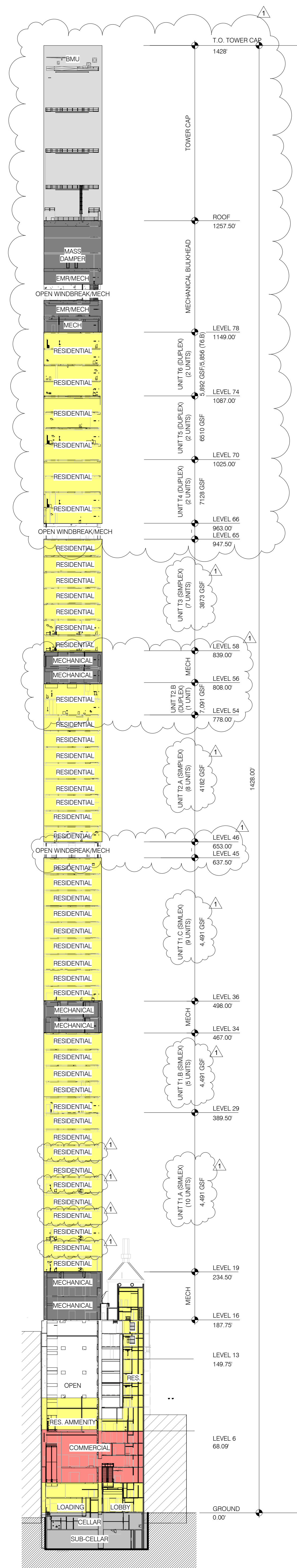
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PROJECT NO: 130007  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO: 121332096  
DRAWING NUMBER: A-201.01



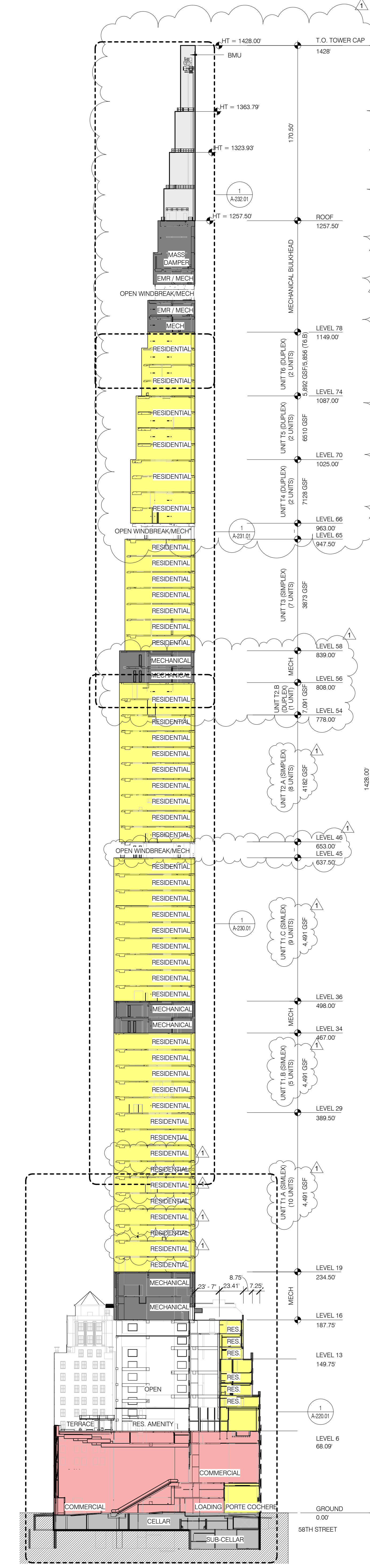
BUILDING SECTION 1' = 50'-0" 4



BUILDING SECTION 1' = 50'-0" 3



BUILDING SECTION 1' = 50'-0" 2



BUILDING SECTION 1' = 50'-0" 1



**LEGEND**

	VISION GLASS
	SHADOW BOX
	BRONZE PANEL / FLUGREE
	PAINTED METAL PANEL
	LOUVER
	ZERO LOT LINE BUILDING
	GALVANIZED STEEL GRATING

**ARCHITECT**  
SH&P ARCHITECTS, P.C.  
233 BROADWAY, 11TH FLOOR  
NEW YORK, NY 10038  
TEL: 212 869 9336

**STRUCTURAL ENGINEER**  
YUSEF GANTO BERKUN  
238 EAST 47TH STREET  
NEW YORK, NY 10017  
TEL: 212 897 5886

**MEP ENGINEER**  
JAVROD, BALM & BOLLER  
49 WEST STREET, 12TH FLOOR  
NEW YORK, NY 10005  
TEL: 212 869 8333

**CIVIL ENGINEER**  
ARIF ENGINEERING, P.C.  
44 FIFTH AVE, 20TH FLOOR  
NEW YORK, NY 10003  
TEL: 646 288 8828

**ACOUSTIC**  
LONGMAN LINDSEY  
4 WEST 58TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 917 288 3389

**INTERIORS**  
STUDIO SCENEFIELD  
20 WALKER STREET  
NEW YORK, NY 10002  
TEL: 212 475 3300

**FAÇADE**  
BURROUGHS WERFIELD  
105 BROADWAY  
NEW YORK, NY 10002  
TEL: 212 244 2025

**VERTICAL TRANSPORTATION**  
VAN DEUSEN & ASSOCIATES  
8 WEST STREET, SUITE 204  
LARKSPER, NJ 07033  
TEL: 973 944 5775

**RESTORATION**  
JAN HRO POKORNY ASSOCIATES  
26 WEST 34TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 212 288 6482

**GEOTECH**  
MICE  
335 WEST 40TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 917 288 4300

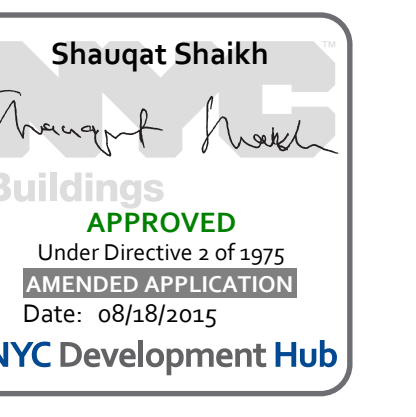
**LIGHTING**  
CONSERVATORIE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10002  
TEL: 212 255 4463



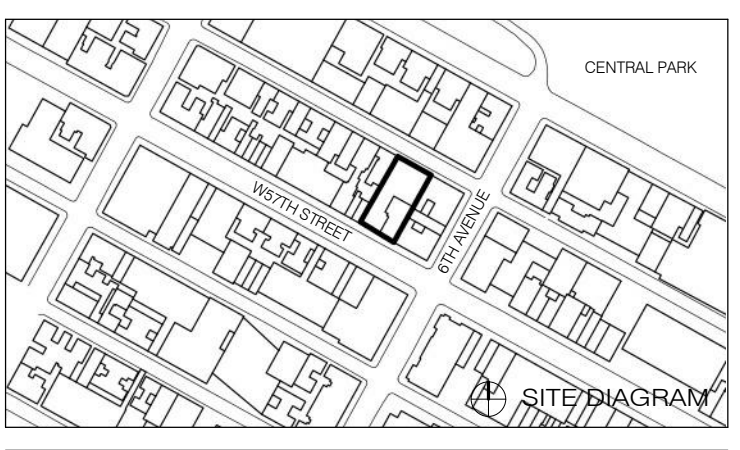
PROPERTY MARKETS GROUP  
18 WEST 40TH STREET, 2ND FLOOR  
NEW YORK, NY 10018  
TEL: 212 899 9900

**CURRENT ISSUE**

DOB PAA



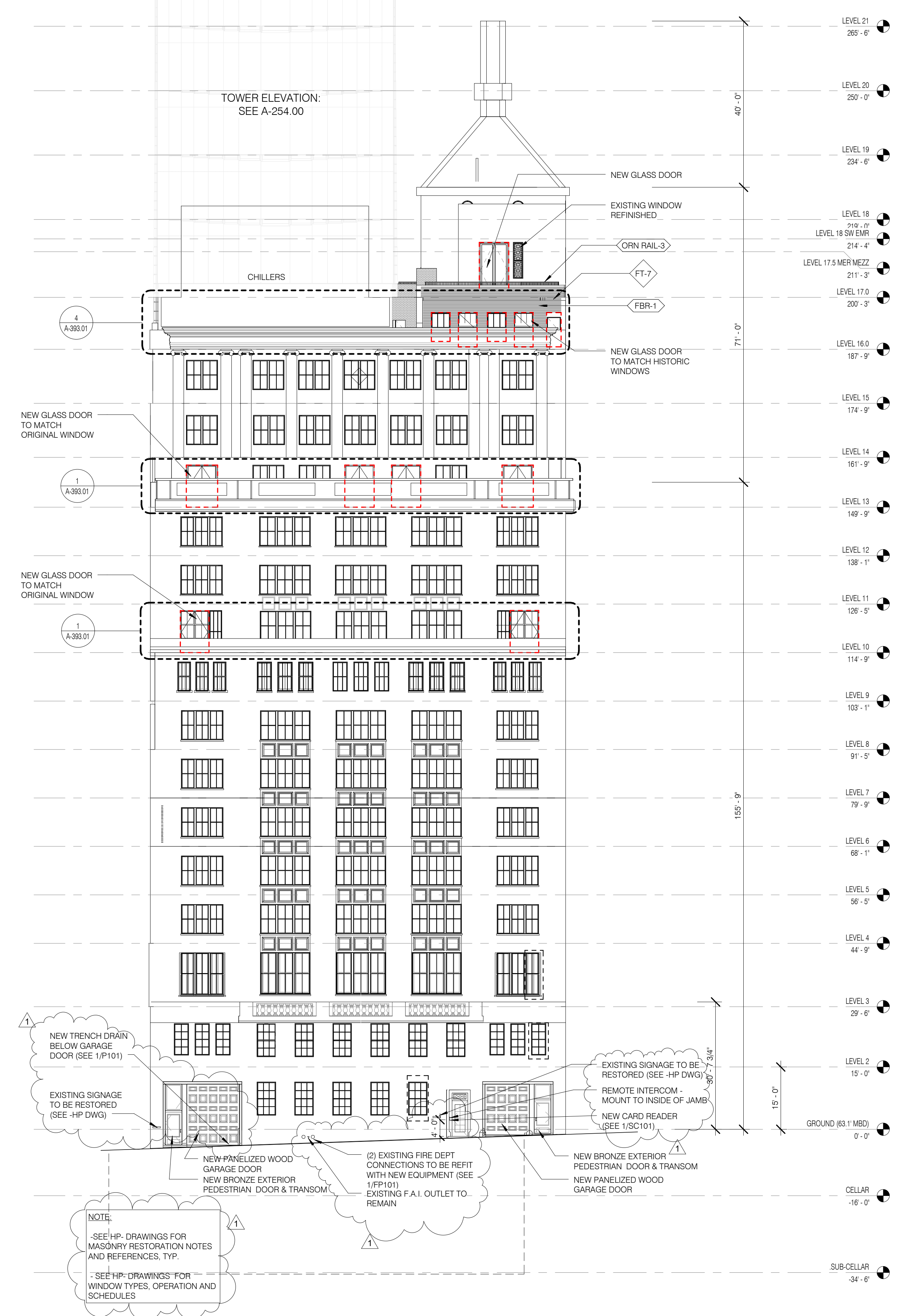
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



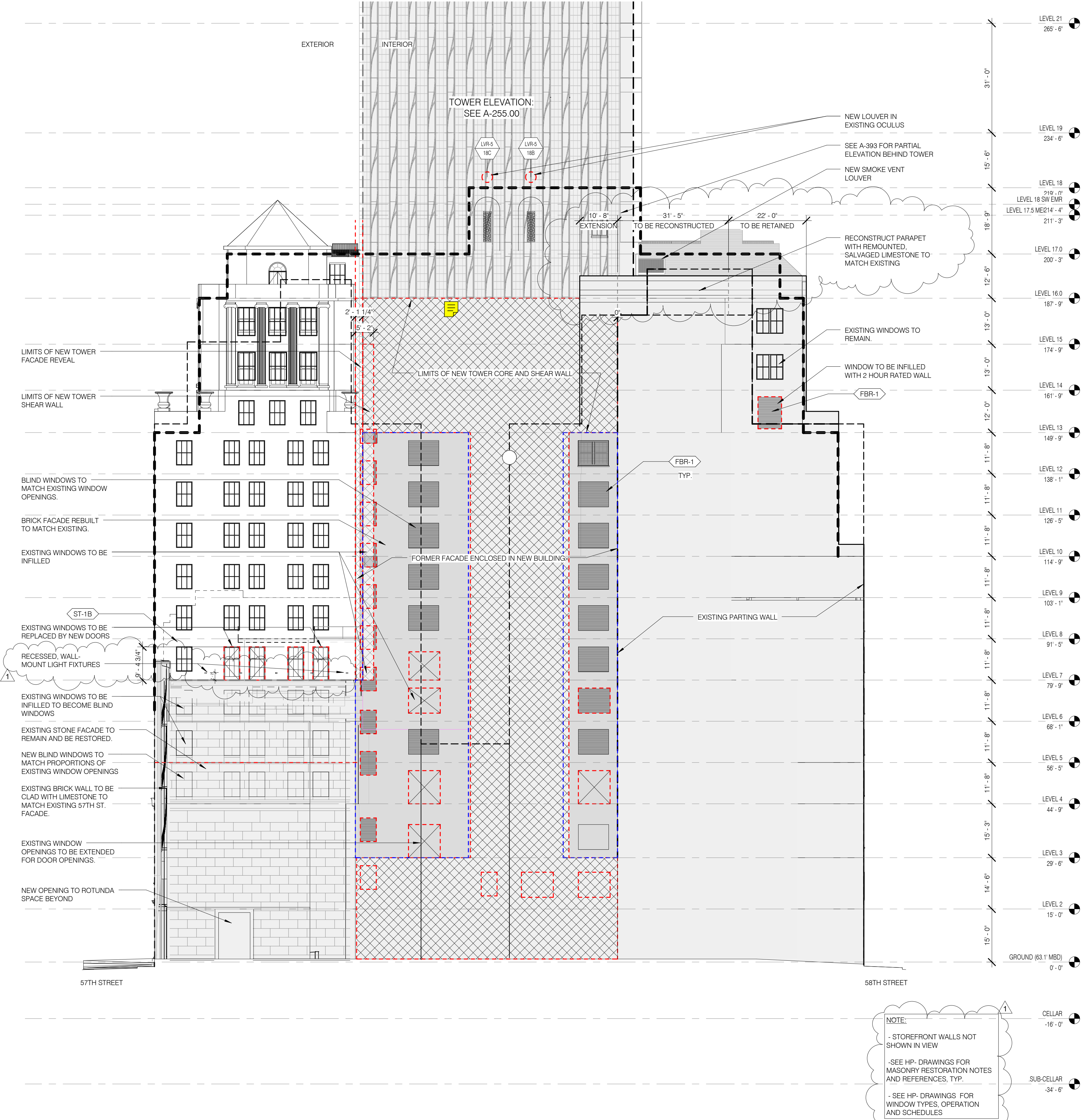
NO.	DATE	REVISION
1	3.27.15	DOB PAA

**BUILDING ELEVATIONS - STEINWAY BUILDING EN**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121332968	
DRAWING NUMBER	A-211.01	



BUILDING ELEVATION NORTH - STEINWAY 1/16" = 1'-0" 2 A-200 A-210



BUILDING ELEVATION EAST - STEINWAY 1/16" = 1'-0" 1 A-200 A-210

ARCHITECT  
SHP ARCHITECTS, P.C.  
230 EAST 47TH STREET  
NEW YORK, NY 10017  
TEL: 212.869.9300

STRUCTURAL ENGINEER  
TOPP CONSULTING GROUP  
230 EAST 47TH STREET  
NEW YORK, NY 10017  
TEL: 212.869.9300

MEP ENGINEER  
JORDI BAIAM & ASSOCIATES  
80 WEST STREET, SUITE 200  
LAWRENCE, NJ 07044  
TEL: 973.983.8300

CIVIL ENGINEER  
AHRIF ENGINEERING, P.C.  
40 WEST 86TH STREET, 17TH FLOOR  
NEW YORK, NY 10024  
TEL: 212.724.6442

ACOUSITICS  
LONGMAN LINDSEY  
40 WEST 86TH STREET, 17TH FLOOR  
NEW YORK, NY 10024  
TEL: 212.724.6442

INTERIORS  
STUDIO SCARFIELD  
300 WALKER STREET, 17TH FLOOR  
NEW YORK, NY 10014  
TEL: 212.475.3300

FAÇADE  
SUNSHINE WORLD  
100 BROADWAY  
NEW YORK, NY 10004  
TEL: 212.244.2025

VERTICAL TRANSPORTATION  
VAN DEUSEN & ASSOCIATES  
80 WEST STREET, SUITE 200  
LAWRENCE, NJ 07044  
TEL: 973.983.8300

RESTORATION  
JAN HRC FOKORNY ASSOCIATES  
40 WEST 86TH STREET, 17TH FLOOR  
NEW YORK, NY 10024  
TEL: 212.724.6442

GEOTECH  
MTC  
220 WEST 86TH STREET, 4TH FLOOR  
NEW YORK, NY 10024  
TEL: 917.288.8900

LIGHTING  
CONSERVATIVE INTERNATIONAL  
100 WALKER STREET, 17TH FLOOR  
NEW YORK, NY 10014  
TEL: 212.475.3300



PROPERTY MARKETS GROUP  
100 WEST STREET, 17TH FLOOR  
NEW YORK, NY 10006  
TEL: 212.869.9300

CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA
1.1	5.1.14	DOB FLUNG SET

DRAWING TITLE  
**TOWER ELEVATIONS ZONE 2**

NO.	DATE	REVISION
1	3.27.15	DOB PAA
1.1	5.1.14	DOB FLUNG SET

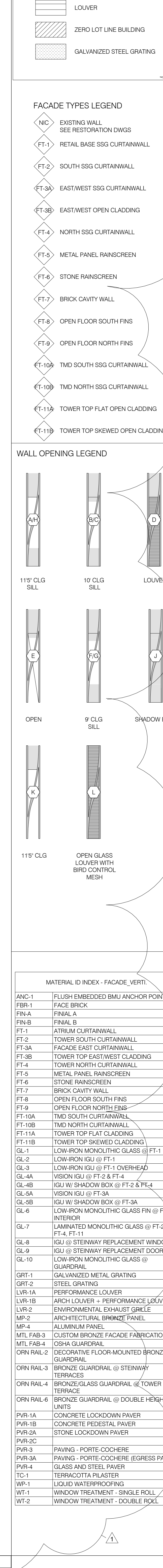
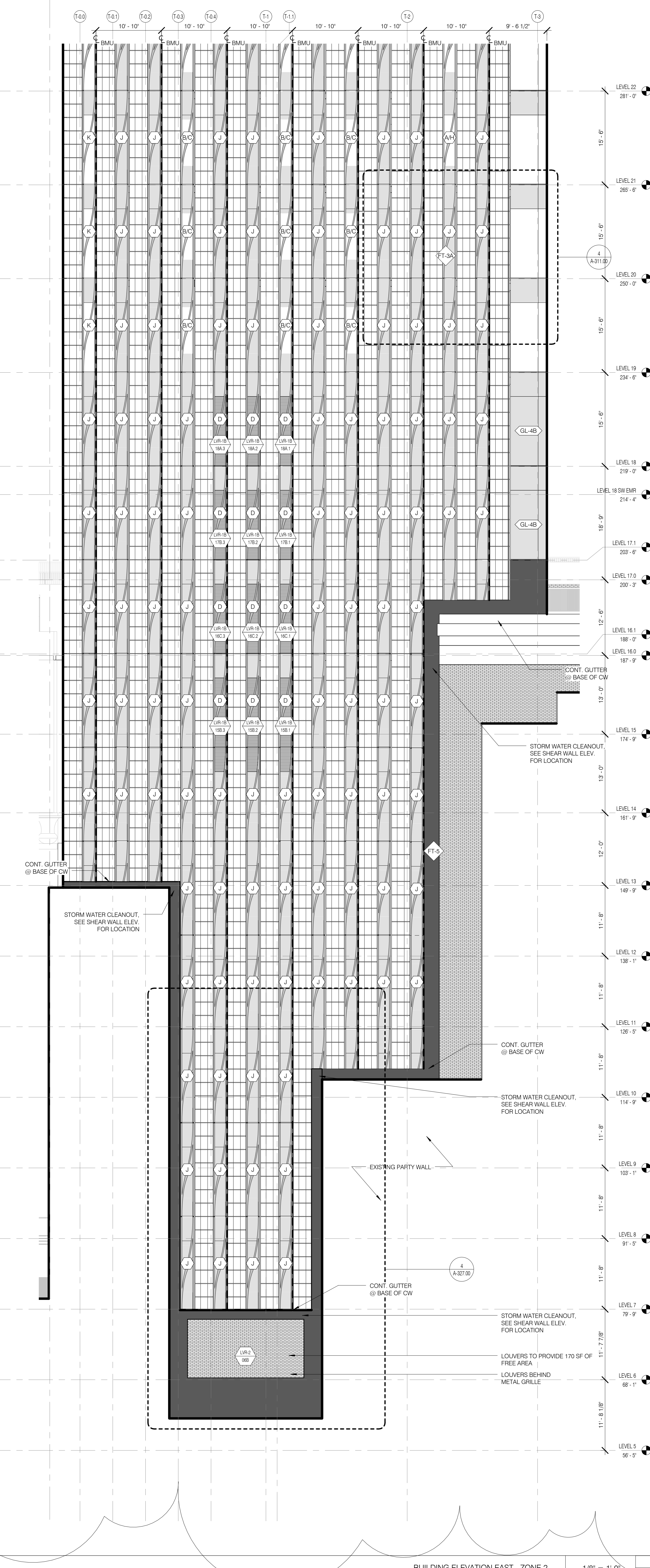
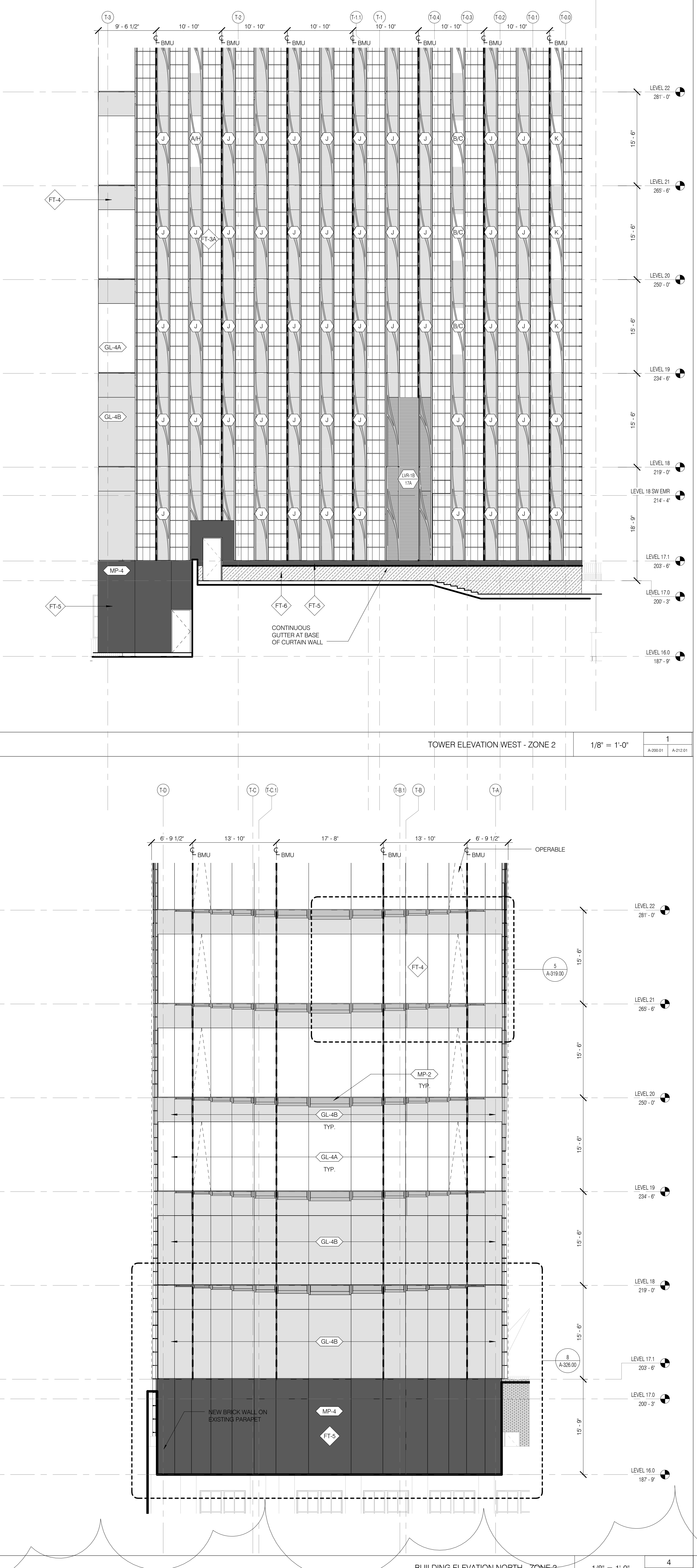
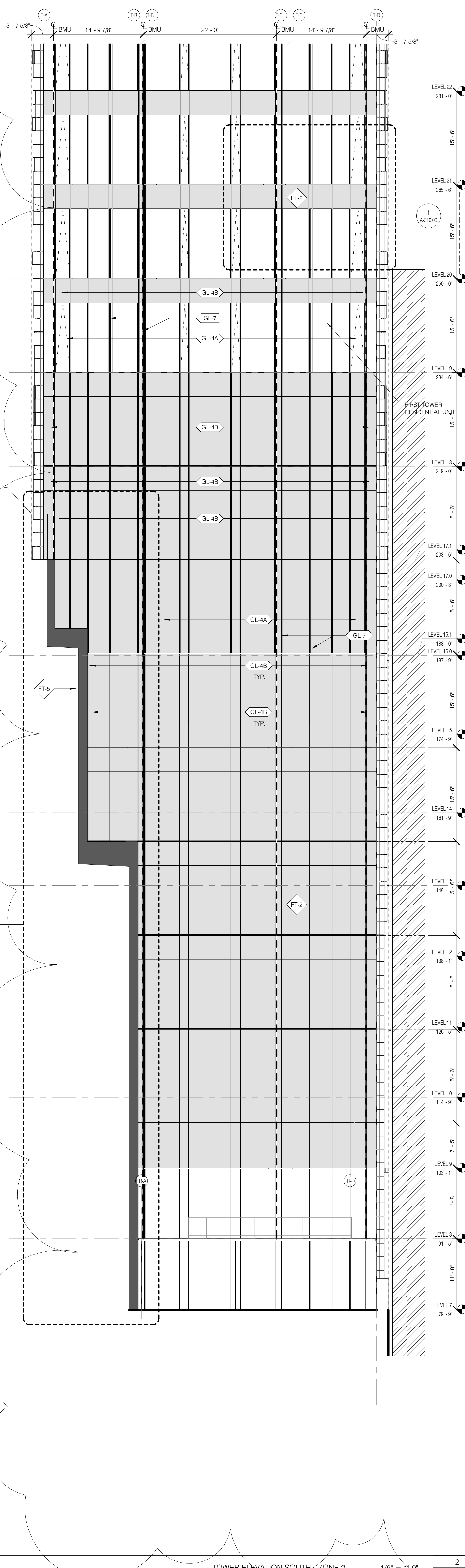
SEAL & SIGNATURE  
DATE: 3.27.15  
PROJECT NO: 130007  
DRAWN BY: SHP  
CHECKED BY: SHP  
DOB NO: 121332068  
DRAWING NUMBER: A-212.01

- LEGEND**
- VISION GLASS
  - SHADOW BOX
  - BRONZE PANEL / FLUGREE
  - PAINTED METAL PANEL
  - LOUVER
  - ZERO LOT LINE BUILDING
  - GALVANIZED STEEL GRATING

- FAÇADE TYPES LEGEND**
- EXISTING WALL SEE RESTORATION DWGS
  - FT-1 METAL BASE SSG CURTAINWALL
  - FT-2 SOUTH SSG CURTAINWALL
  - FT-3A EASTWEST SSG CURTAINWALL
  - FT-3B EASTWEST OPEN CLADDING
  - FT-4 NORTH SSG CURTAINWALL
  - FT-5 METAL PANEL RAINSCREEN
  - FT-6 STONE RAINSCREEN
  - FT-7 BRICK CAVITY WALL
  - FT-8 OPEN FLOOR SOUTH FINS
  - FT-9 OPEN FLOOR NORTH FINS
  - FT-10A TMD SOUTH SSG CURTAINWALL
  - FT-10B TMD NORTH SSG CURTAINWALL
  - FT-11A TOWER TOP FLAT OPEN CLADDING
  - FT-11B TOWER TOP SKEWED OPEN CLADDING

- WALL OPENING LEGEND**
- 11'5" CLG SILL
  - 10' CLG SILL
  - LOUVER
  - OPEN
  - 9' CLG SILL
  - SHADOW BOX
  - 11'5" CLG
  - OPEN GLASS LOUVER WITH BIRD CONTROL MESH

- MATERIAL ID INDEX - FAÇADE\_VERT**
- ANC-1 FLUSH EMBEDDED BMU ANCHOR POINT
  - FBR-1 FACE BRICK
  - FRN-A FRNAL A
  - FRN-B FRNAL B
  - FT-1 ATRIUM CURTAINWALL
  - FT-2 TOWER SOUTH CURTAINWALL
  - FT-3A FAÇADE EAST CURTAINWALL
  - FT-3B TOWER TOP EASTWEST CLADDING
  - FT-4 TOWER NORTH CURTAINWALL
  - FT-5 METAL PANEL RAINSCREEN
  - FT-6 STONE RAINSCREEN
  - FT-7 BRICK CAVITY WALL
  - FT-8 OPEN FLOOR SOUTH FINS
  - FT-9 OPEN FLOOR NORTH FINS
  - FT-10A TMD SOUTH CURTAINWALL
  - FT-10B TMD NORTH CURTAINWALL
  - FT-11A TOWER TOP FLAT CLADDING
  - FT-11B TOWER TOP SKEWED CLADDING
  - GL-1 LOW-IRON MONOLITHIC GLASS @ FT-1
  - GL-2 LOW-IRON IGU @ FT-1 OVERHEAD
  - GL-3 VISION IGU @ FT-2 & FT-4
  - GL-4A IGU W/ SHADOW BOX @ FT-2 & FT-4
  - GL-4B IGU W/ SHADOW BOX @ FT-3A
  - GL-5A VISION IGU @ FT-3A
  - GL-5B IGU W/ SHADOW BOX @ FT-3A
  - GL-6 LOW-IRON MONOLITHIC GLASS FIN @ FT-4 INTERIOR
  - GL-7 LAMINATED MONOLITHIC GLASS @ FT-2
  - GL-8 IGU @ STERWAY REPLACEMENT WINDOW
  - GL-9 IGU @ STERWAY REPLACEMENT WINDOW
  - GL-10 LOW-IRON MONOLITHIC GLASS @ GUARDRAIL
  - GRT-1 GALVANIZED METAL GRATING
  - GRT-2 STEEL GRATING
  - LVR-1 PERFORMANCE LOUVER
  - LVR-1B ARCH LOUVER - PERFORMANCE LOUVER
  - LVR-2 ENVIRONMENTAL EXHAUST SCREEN
  - MP-2 ARCHITECTURAL BRONZE PANEL
  - MP-4 ALUMINUM PANEL
  - MFL-FAB-3 CUSTOM BRONZE FAÇADE FABRICATIONS
  - MFL-FAB-4 COPA GUARDRAIL
  - ORN-RAL-2 DECORATIVE FLOOR MOUNTED BRONZE GUARDRAIL
  - ORN-RAL-3 BRONZE GUARDRAIL @ STERWAY TERRACE
  - ORN-RAL-4 BRONZE GLASS GUARDRAIL @ TOWER TERRACE
  - ORN-RAL-5 BRONZE GUARDRAIL @ DOUBLE HEIGHT LITE
  - PVR-1A CONCRETE LOCKDOWN PAVEN
  - PVR-1B CONCRETE PEDESTAL PAVEN
  - PVR-2A STONE LOCKDOWN PAVEN
  - PVR-2C PAVING - PORTE-COCHERE
  - PVR-3 GLASS AND STEEL PAVEN
  - PVR-4 PAVING - PORTE-COCHERE (JESSUP PATH)
  - TC-1 TERRACOTTA PLASTER
  - WT-1 LIQUID WATERPROOFING
  - WT-1 WINDOW TREATMENT - SINGLE ROLL
  - WT-2 WINDOW TREATMENT - DOUBLE ROLL



ARCHITECT  
SHP ARCHITECTS, P.C.  
225 BROADWAY, 17TH FLOOR  
NEW YORK, NY 10038  
TEL: 212.688.9999

STRUCTURAL ENGINEER  
SEIF CENTER GROUP  
228 EAST 47TH STREET  
NEW YORK, NY 10017  
TEL: 212.687.8888

MEP ENGINEER  
JAMES BAIAM & COLLES  
89 WEST 34TH STREET, 17TH FLOOR  
NEW YORK, NY 10018  
TEL: 212.687.8822

CIVIL ENGINEER  
AKRF ENGINEERING, P.C.  
400 WEST 34TH STREET, 17TH FLOOR  
NEW YORK, NY 10018  
TEL: 212.687.8822

ACOUSTICIST  
LONGMAN LINDESEY  
40 WEST 34TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 212.239.3300

INTERIORS  
STUDIO SCHEFFEL  
28 WALKER STREET  
NEW YORK, NY 10002  
TEL: 212.679.3366

FAÇADE  
DESIGN PARTNERS  
100 BROADWAY  
NEW YORK, NY 10038  
TEL: 212.241.9252

VERTICAL TRANSPORTATION  
VAN DEUSEN & ASSOCIATES  
8 BROADWAY, SUITE 204  
LAWRENCEVILLE, NJ 07046  
TEL: 973.886.8200

RESTORATION  
JAN HRO POKORNY ASSOCIATES  
30 WEST 34TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 212.782.4442

CEOTECH  
MICE  
225 WEST 34TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
TEL: 917.228.8900

LIGHTING  
COOPERATIVE INTERNATIONAL  
100 WALKER STREET, 17TH FLOOR EAST  
NEW YORK, NY 10013  
TEL: 212.252.4442



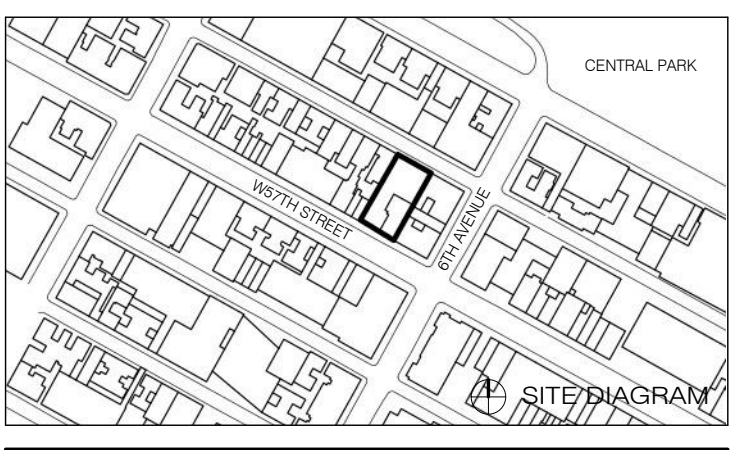
PROPERTY MARKETS GROUP  
150 WEST STREET, 24TH FLOOR  
NEW YORK, NY 10038  
TEL: 212.688.8800

CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

DRAWING TITLE  
**TOWER ELEVATIONS ZONE 3**

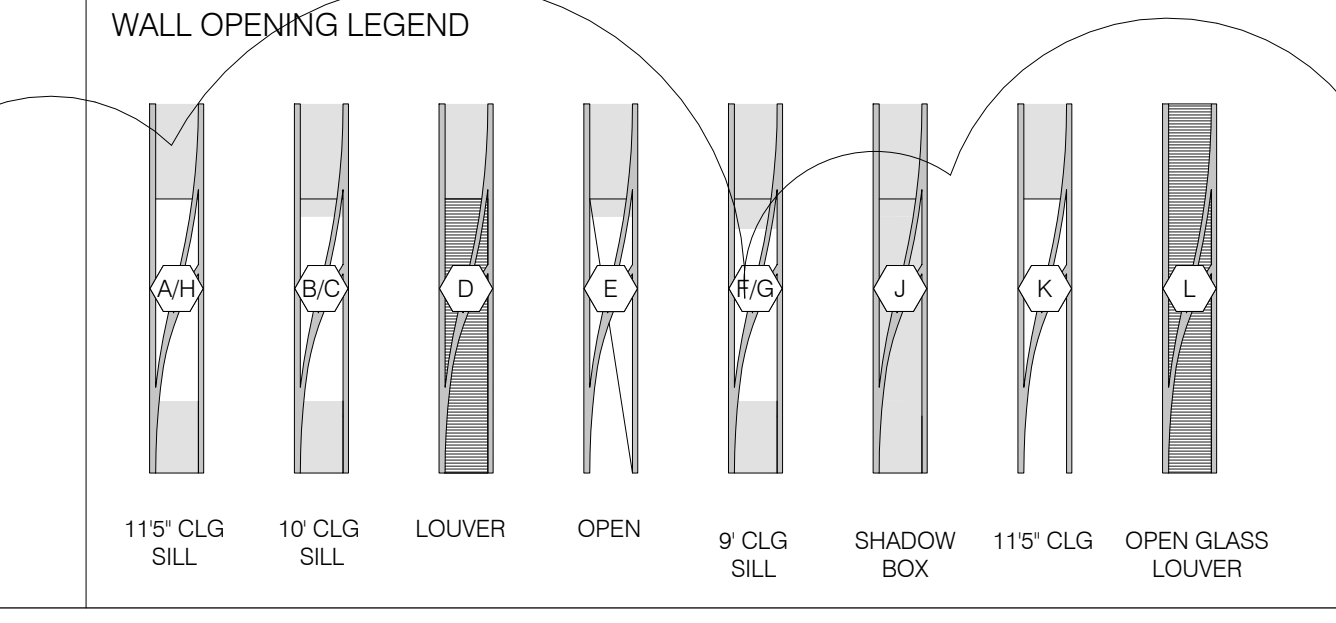
SEAL & SIGNATURE  
DATE: 3.27.15  
PROJECT NO.: 130607  
DRAWN BY: SHP  
CHECKED BY: SHP  
DATE: 08/28/15  
DATE: 12/13/2016  
DRAWING NUMBER: A-213.01

**LEGEND**

- VISION GLASS
- SHADOW BOX
- BROWSE PANEL / FLGURE
- PAINTED METAL PANEL
- LOUVER
- ZERO LOT LINE BUILDING
- GALVANIZED STEEL GRATING

**FAÇADE TYPES LEGEND**

- EXISTING WALL
- RETAL BASE SSG CURTAINWALL
- SOUTH SSG CURTAINWALL
- EASTWEST SSG CURTAINWALL
- EASTWEST OPEN CLADDING
- NORTH SSG CURTAINWALL
- METAL PANEL RAINSCREEN
- STONE RAINSCREEN
- BRICK CAVITY WALL
- OPEN FLOOR SOUTH FINS
- OPEN FLOOR NORTH FINS
- TMD SOUTH SSG CURTAINWALL
- TMD NORTH SSG CURTAINWALL
- TOWER TOP FLAT OPEN CLADDING
- TOWER TOP SKEWED OPEN CLADDING

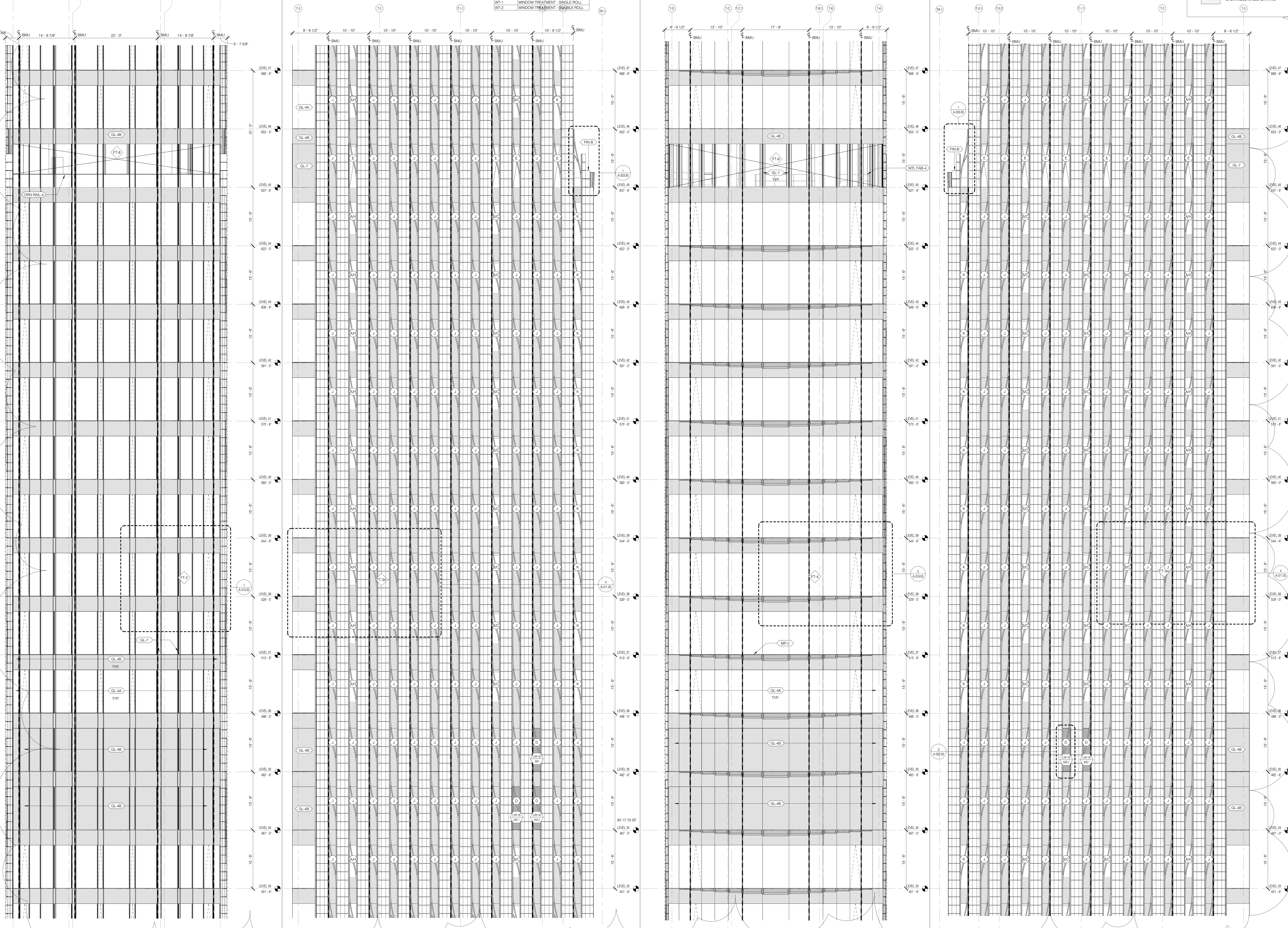


**MATERIAL ID INDEX - FAÇADE**

AND-1	FLUSH EMBEDDED BMU ANCHOR POINT	GL-8	IGU @ STEINWAY REPLACEMENT WINDOW	ORN-RAL-2	DECORATIVE FLOOR-MOUNTED BRONZE QUADRANT
FIN-1	FACE BRICK	GL-4	IGU @ STEINWAY REPLACEMENT DOOR	ORN-RAL-3	BRONZE QUADRANT @ STEINWAY TERRACES
FIN-2	PANEL A	GL-10	LOW IRON MONOLITHIC GLASS @ QUADRANT	ORN-RAL-4	BRONZE QUADRANT @ TOWER TERRACE
FIN-3	FINAL B	GRT-1	UNPAVED METAL GRATING	ORN-RAL-6	BRONZE QUADRANT @ DOUBLE HEIGHT UNITS
GL-1	LOW IRON MONOLITHIC GLASS @ FT.1	GRT-2	STEEL GRATING	PVR-1A	CONCRETE LOCKDOWN PAVER
GL-2	LOW IRON IGU @ FT.1	LVR-1A	PERFORMANCE LOUVER	PVR-1B	CONCRETE PEDESTAL PAVER
GL-3	LOW IRON IGU @ FT.1 OVER-HEAD	LVR-1B	ARCH LOUVER + PERFORMANCE LOUVER	PVR-2A	STONE LOCKDOWN PAVER
GL-4A	VISION IGU @ FT.2 & FT.4	LVR-2	ENVIRONMENTAL EXHAUST GRILLE	PVR-2C	
GL-4B	IGU W/ SHADOW BOX @ FT.2 & FT.4	MP-2	ARCHITECTURAL BRONZE PANEL	PVR-3	
GL-5A	VISION IGU @ FT.3A	MP-4	ALUMINUM PANEL	PVR-3A	
GL-5B	IGU W/ SHADOW BOX @ FT.3A	MTL-FAB-3	CUSTOM BRONZE FAÇADE FABRICATIONS	TC-1	GLASS AND STEEL PASTER
GL-6	LOW IRON MONOLITHIC GLASS FIN @ FT.4 INTERIOR	MTL-FAB-4	CSHA GUARDRAIL	TC-4	TERRAZZITA PLASTER
GL-7	LAMINATED MONOLITHIC GLASS @ FT.2, FT.4, FT.1			WT-1	LIQUID WATERPROOFING

**MATERIAL ID INDEX - FAÇADE**

ORN-RAL-2	DECORATIVE FLOOR-MOUNTED BRONZE QUADRANT
ORN-RAL-3	BRONZE QUADRANT @ STEINWAY TERRACES
ORN-RAL-4	BRONZE QUADRANT @ TOWER TERRACE
ORN-RAL-6	BRONZE QUADRANT @ DOUBLE HEIGHT UNITS
PVR-1A	CONCRETE LOCKDOWN PAVER
PVR-1B	CONCRETE PEDESTAL PAVER
PVR-2A	STONE LOCKDOWN PAVER
PVR-2C	
PVR-3	
PVR-3A	
TC-1	GLASS AND STEEL PASTER
TC-4	TERRAZZITA PLASTER
WT-1	LIQUID WATERPROOFING
WT-1	WINDOW TREATMENT - SINGLE ROLL
WT-2	WINDOW TREATMENT - DOUBLE ROLL





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GEOTECH  
MPC  
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LIGHTING  
LABORATORIE INTERNATIONAL  
120 MADISON STREET, 7TH FLOOR EAST  
NEW YORK, NY 10013  
TEL: 212.226.4444

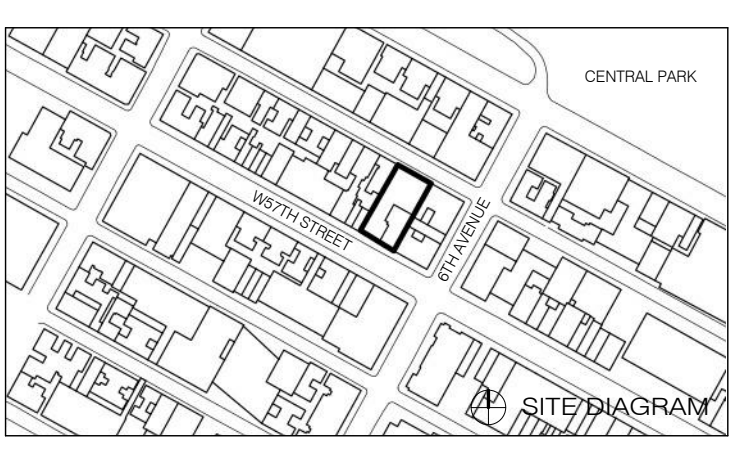


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NEW YORK, NY 10022  
TEL: 212.613.2800  
CURRENT ISSUE

DOB PAA

Shauqat Shaikh  
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PLANNING DEPARTMENT  
Date: 08/28/2018  
NYC Development Hub

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NEW YORK, NY 10019



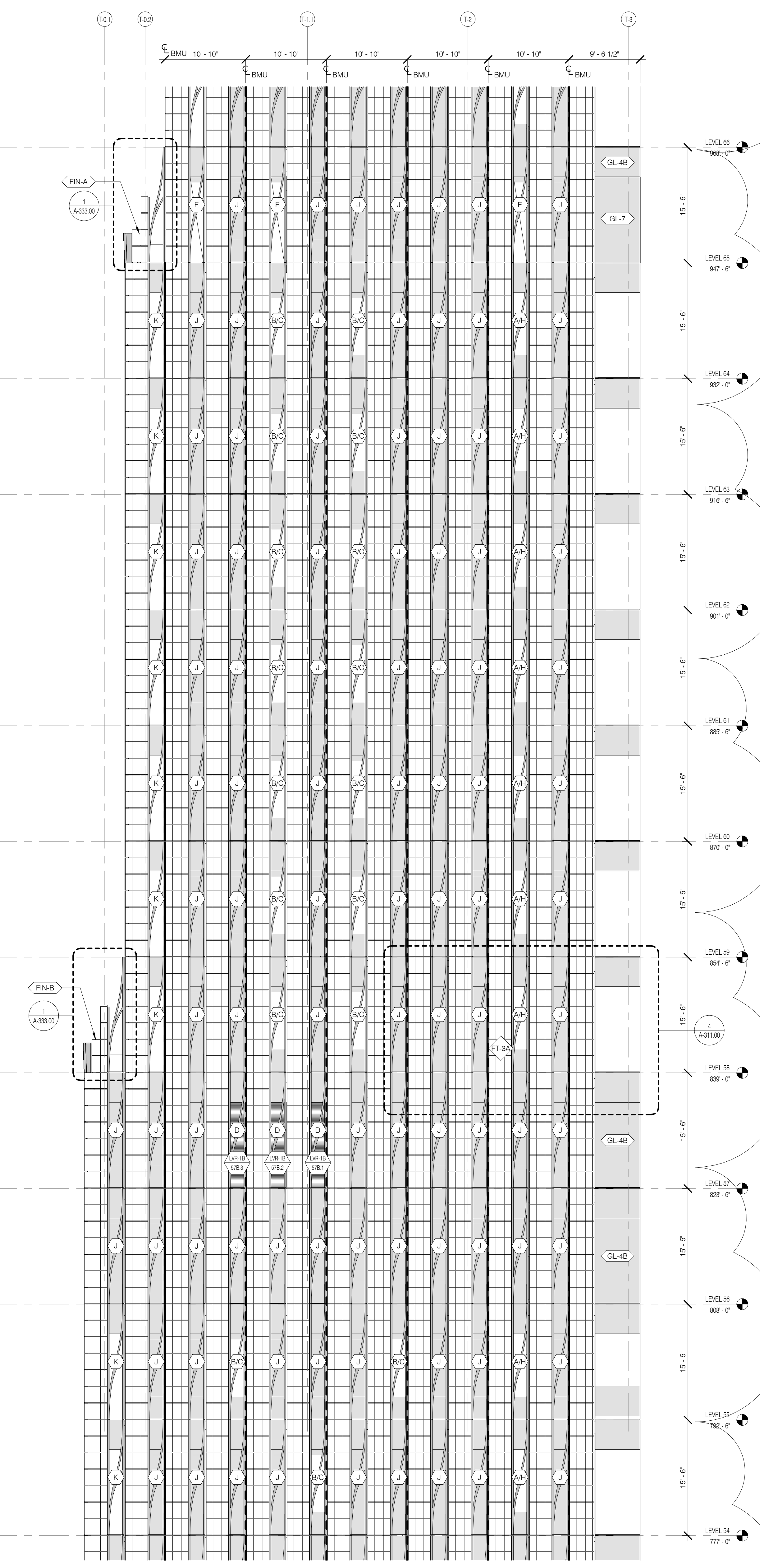
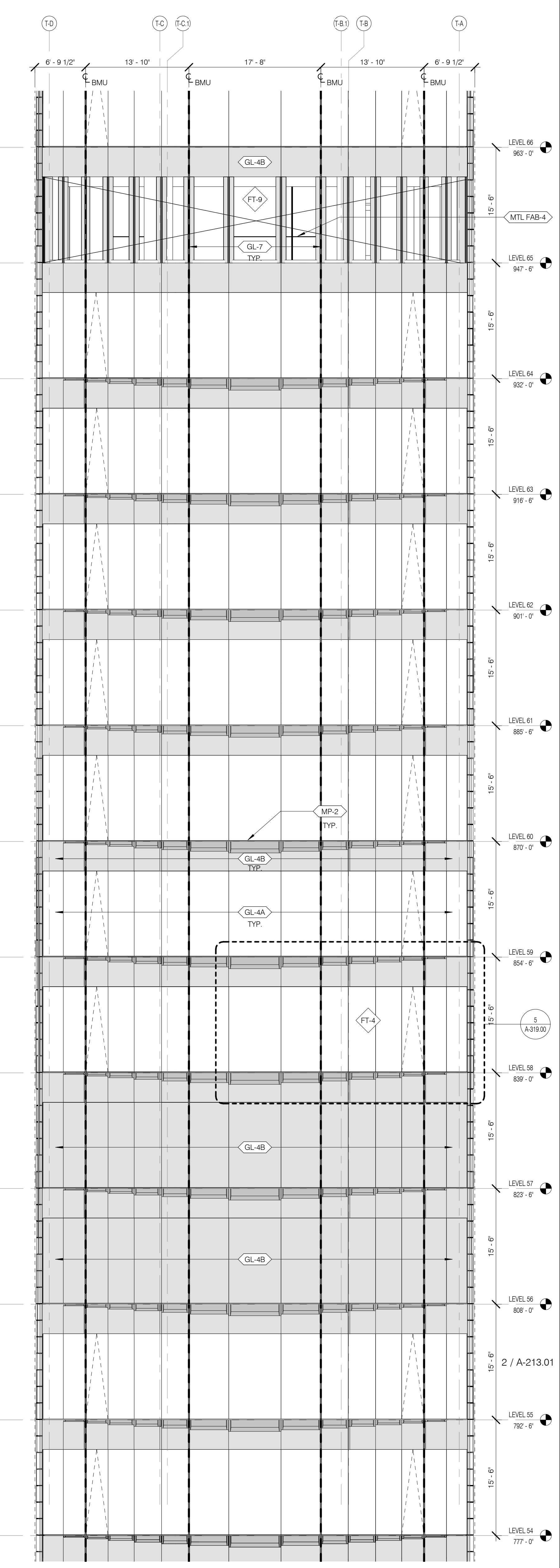
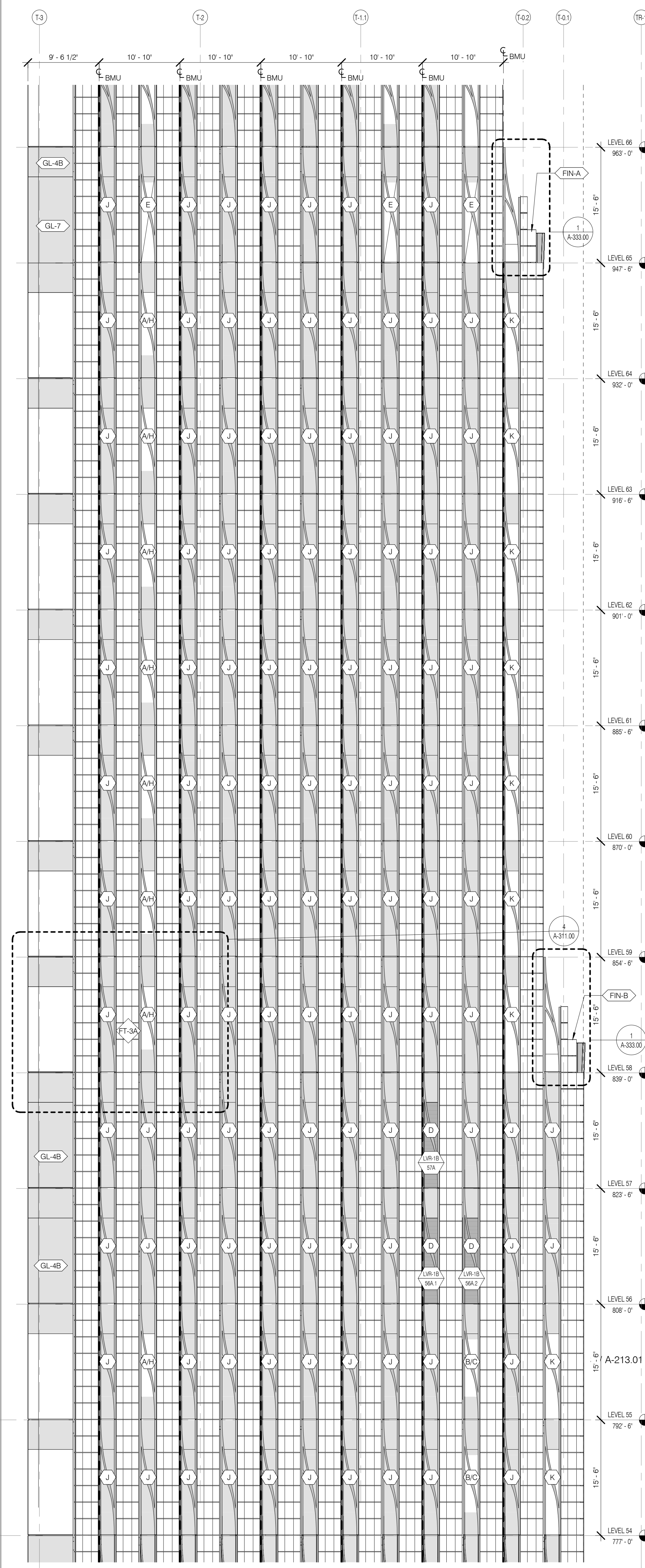
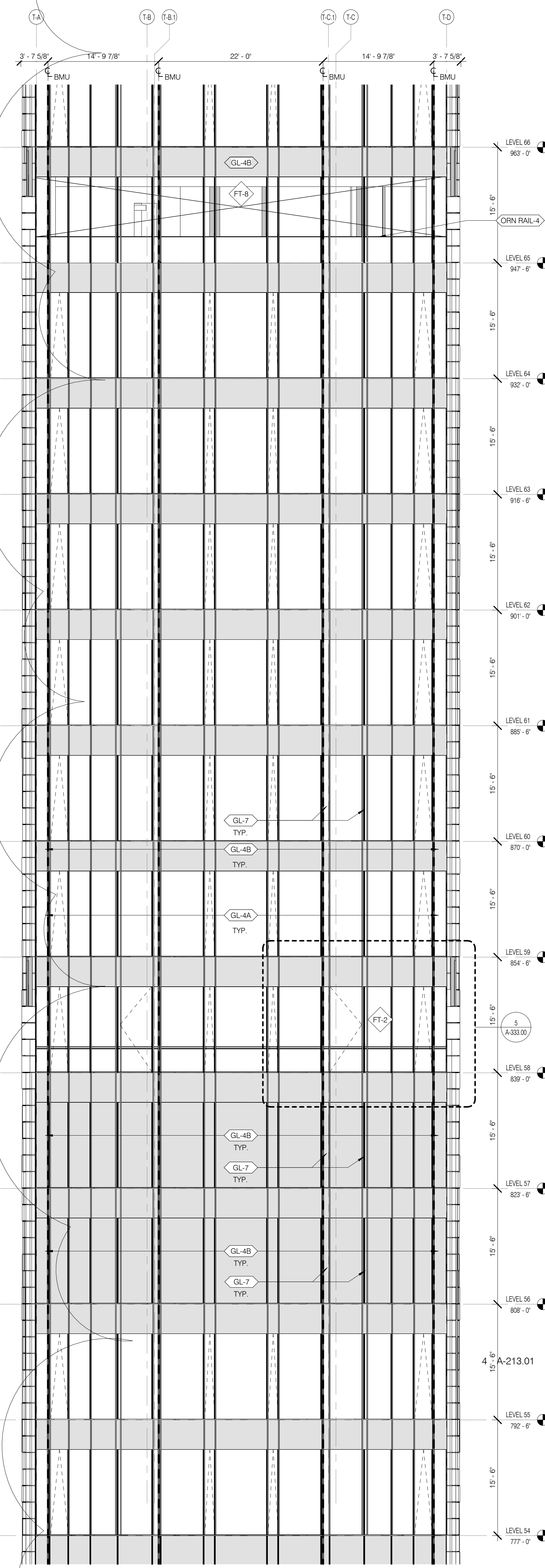
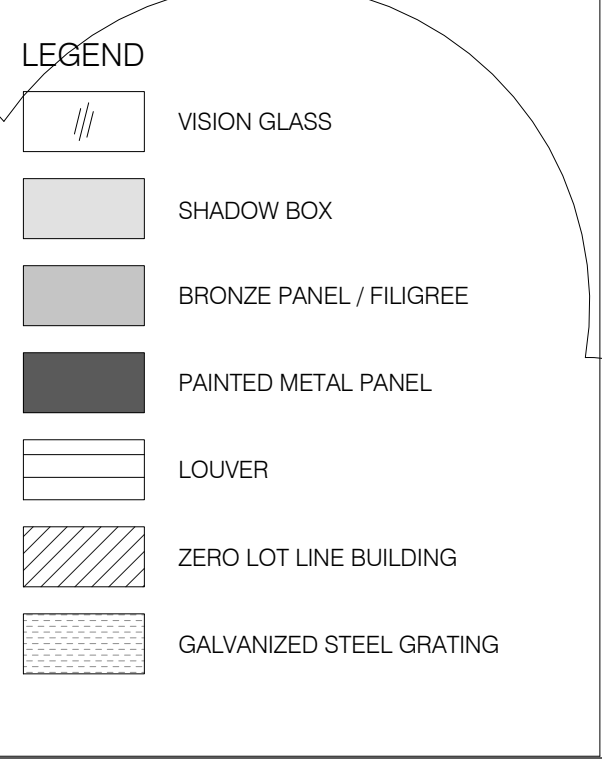
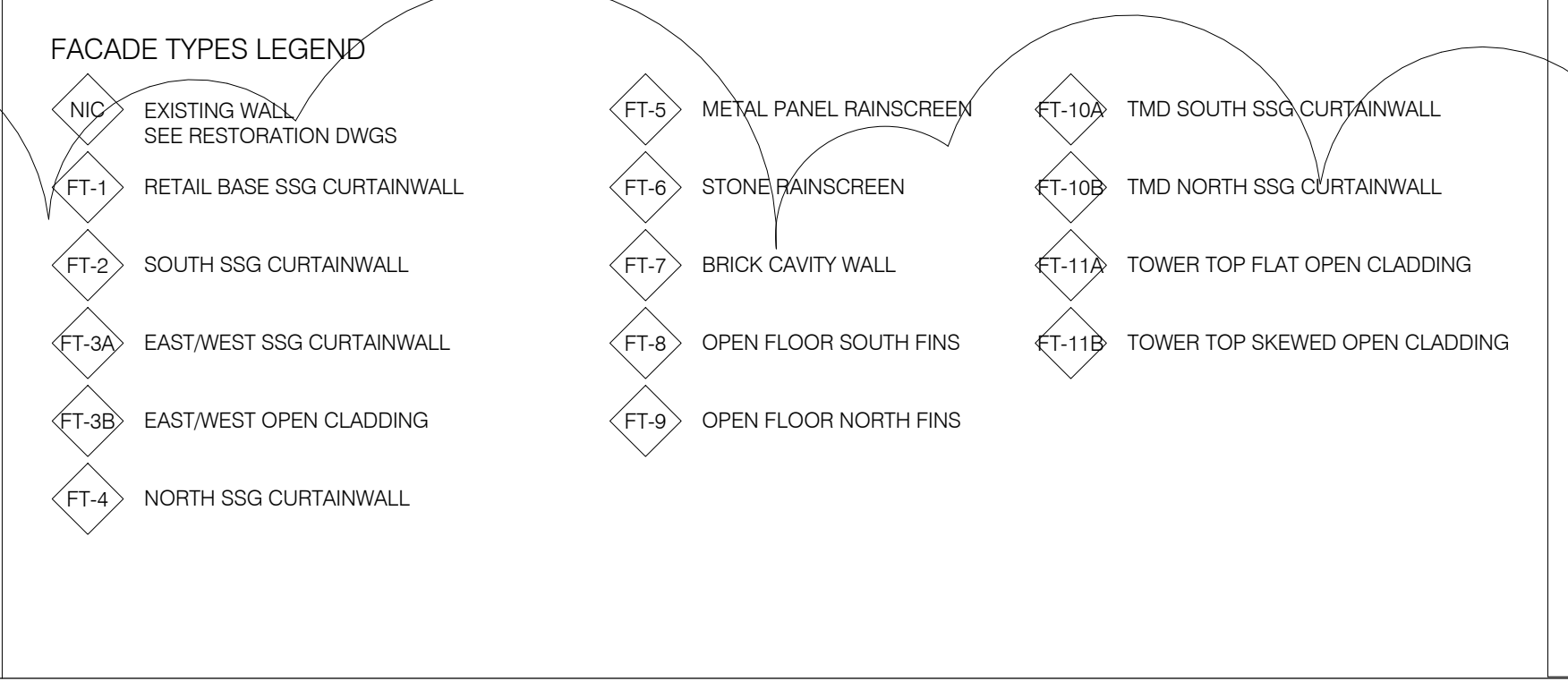
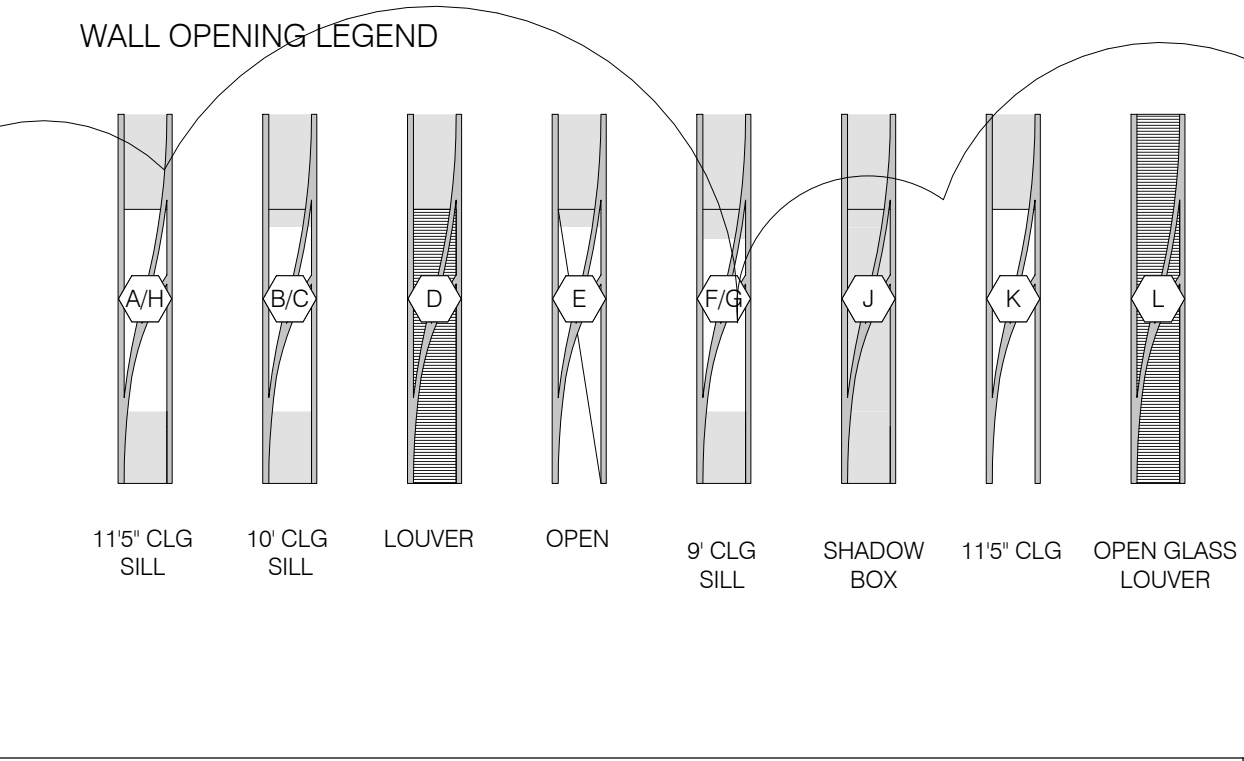
1	3.27.15	DOB PAA
2	5.1.14	DOB FILING SET
NO.	DATE	REVISION
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DRAWING TITLE  
**TOWER ELEVATIONS ZONE 4**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DESIGNED BY	SHAP	
CHECKED BY	SHAP	
DRAWN BY	1213202008	
DRAWING NUMBER		

**A-214A.01**

MATERIAL ID INDEX - FAÇADE	
ANC-1	FLUSH EMBEDDED BMU ANCHOR POINT
BNR-1	FACE BRICK
FIN-A	FINISH 'A'
FIN-B	FINISH 'B'
GL-1	LOW-IRON MONOLITHIC GLASS @ FT-1
GL-2	LOW-IRON IGU @ FT-1
GL-3	LOW-IRON IGU @ FT-1 OVERHEAD
GL-4	VISION IGU @ FT-2 & FT-4
GL-4B	IGU W/ SHADOW BOX @ FT-2 & FT-4
GL-5A	VISION IGU @ FT-3A
GL-5B	IGU W/ SHADOW BOX @ FT-3A
GL-6	LOW-IRON MONOLITHIC GLASS FIN @ FT-4 INTERIOR
GL-7	LAMINATED MONOLITHIC GLASS @ FT-2, FT-4, FT-11
GL-8	IGU @ STENWAY REPLACEMENT WINDOW
GL-9	IGU @ STENWAY REPLACEMENT DOOR
GL-10	LOW-IRON MONOLITHIC GLASS @ STENWAY TERRACE
GR-1	GALVANIZED METAL GRATING
GR-2	STEEL GRATING
LVR-1A	PERFORMANCE LOUVER
LVR-1B	ARCH LOUVER + PERFORMANCE LOUVER
LVR-2	ENVIRONMENTAL EVALUATOR GRILLE
MP-2	ARCHITECTURAL BRONZE PANEL
MP-4	ALUMINUM PANEL
MTL FAB-3	CUSTOM BRONZE FAÇADE FABRICATIONS
MTL FAB-4	OSHA GUARDRAIL
ORN RAIL-2	DECORATIVE FLOOR MOUNTED BRONZE GUARDRAIL
ORN RAIL-3	BRONZE GUARDRAIL @ STENWAY TERRACE
ORN RAIL-4	BRONZE GUARDRAIL @ TOWER TERRACE
PVR-1A	CONCRETE LOCKDOWN PAVER
PVR-1B	CONCRETE PEDESTAL PAVER
PVR-2A	STONE LOCKDOWN PAVER
PVR-2C	
PVR-3	PAVING - PORTE COCHERE
PVR-3A	PAVING - PORTE COCHERE (EGRESS PATH)
PVR-4	GLASS AND STEEL PAVER
TC-1	TERRAZZOTA PLASTER
WP-1	LIQUID WATERPROOFING
WT-1	WINDOW TREATMENT - SINGLE ROLL
WT-2	WINDOW TREATMENT - DOUBLE ROLL



BUILDING ELEVATION SOUTH - ZONE 4 1/8" = 1'-0" 4 A-214A.01

BUILDING ELEVATION WEST - ZONE 4 1/8" = 1'-0" 3 A-214A.01

BUILDING ELEVATION NORTH - ZONE 4 1/8" = 1'-0" 2 A-214A.01

BUILDING ELEVATION EAST - ZONE 4 1/8" = 1'-0" 1 A-214A.01

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 LOEWSERATORNE INTERNATIONAL  
 120 MADISON STREET 7TH FLOOR EAST  
 NEW YORK, NY 10005  
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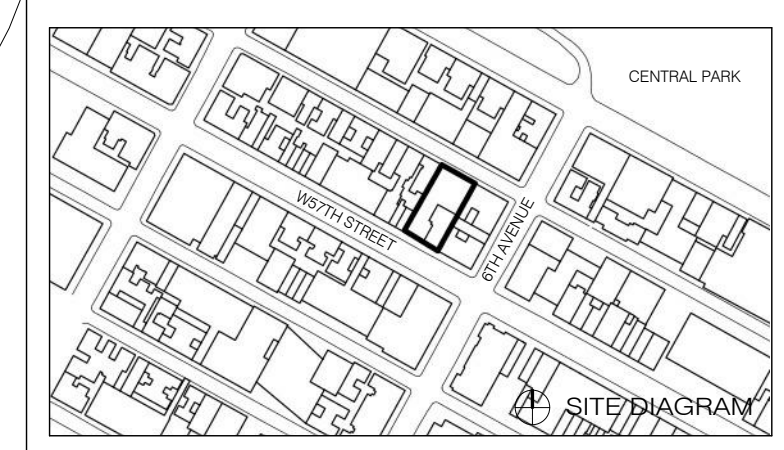


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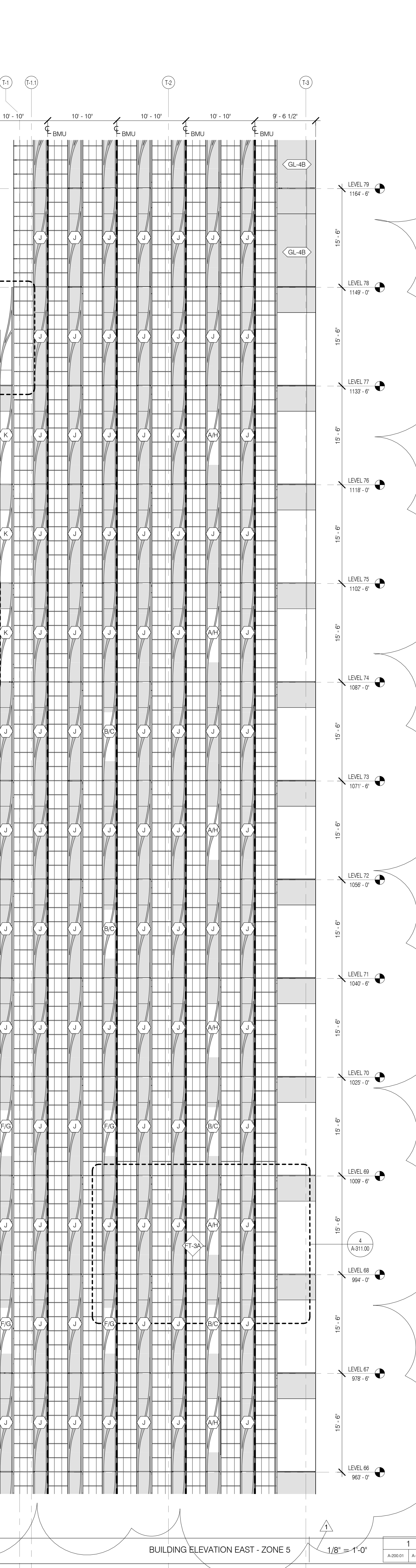
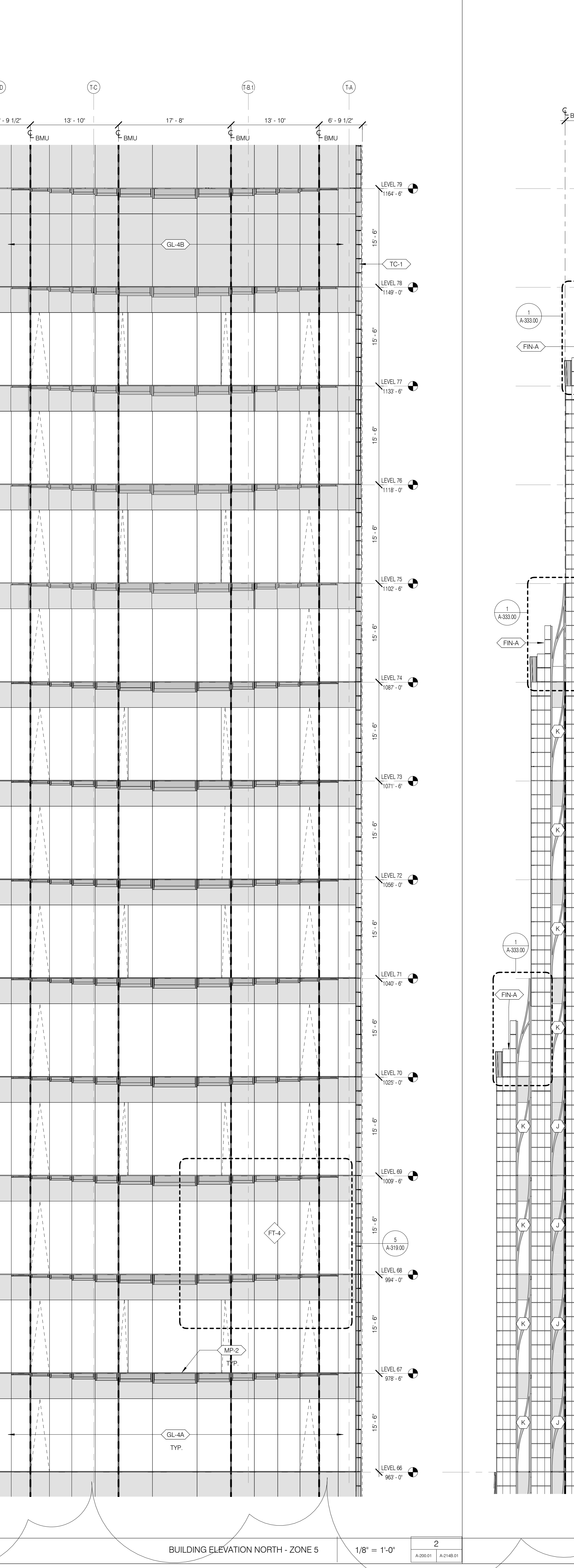
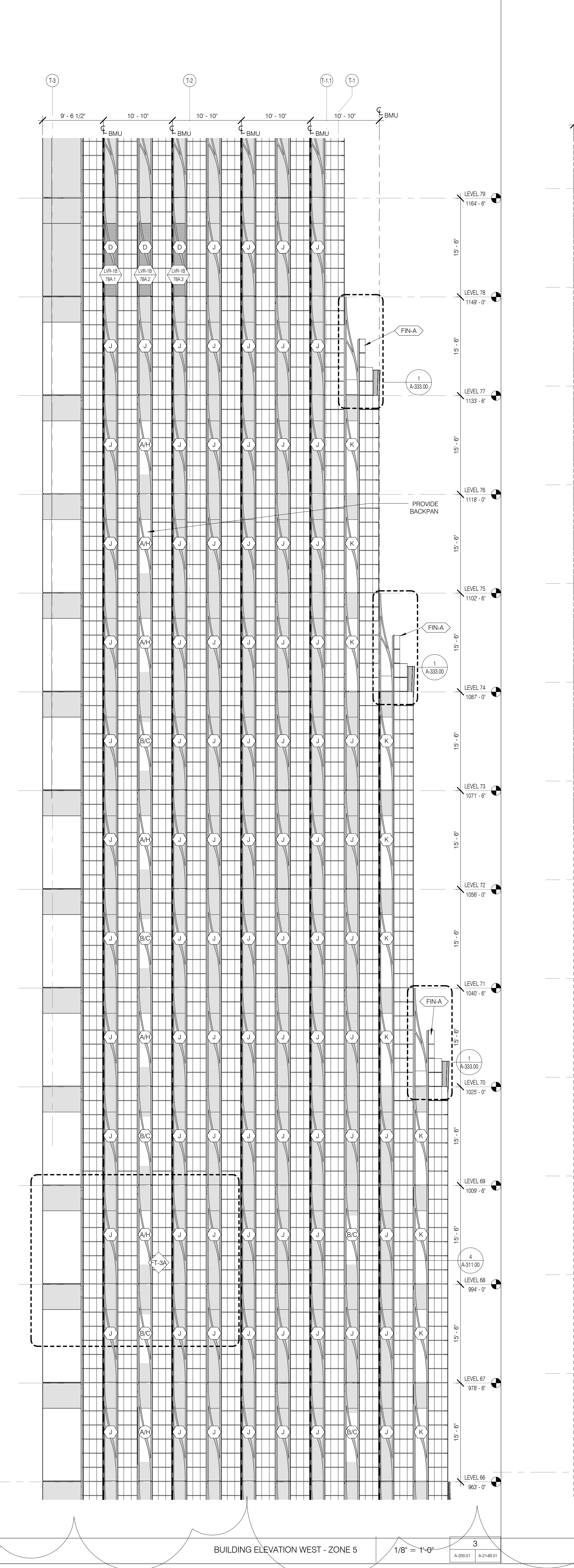
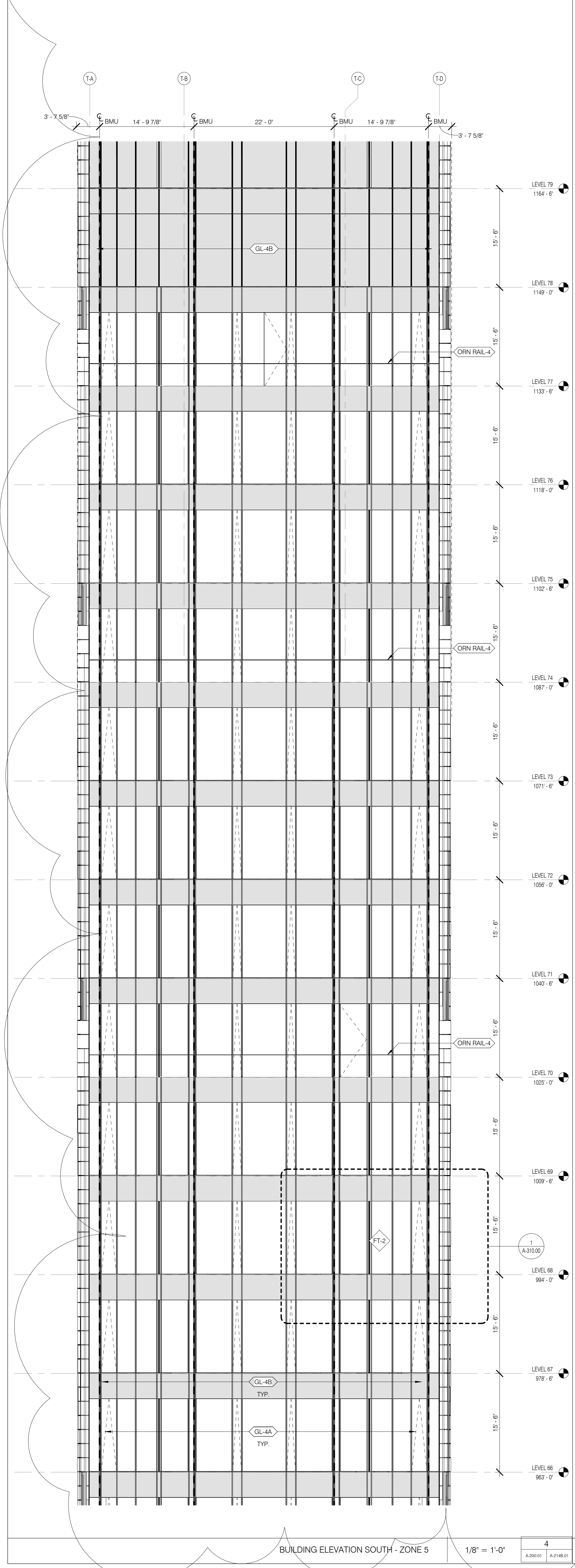
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DRAWING TITLE  
**TOWER ELEVATIONS ZONE 5**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DESIGNED BY	SHAP	
CHECKED BY	SHAP	
DRAWN BY	1213232006	
DRAWING NUMBER		

**A-214B.01**

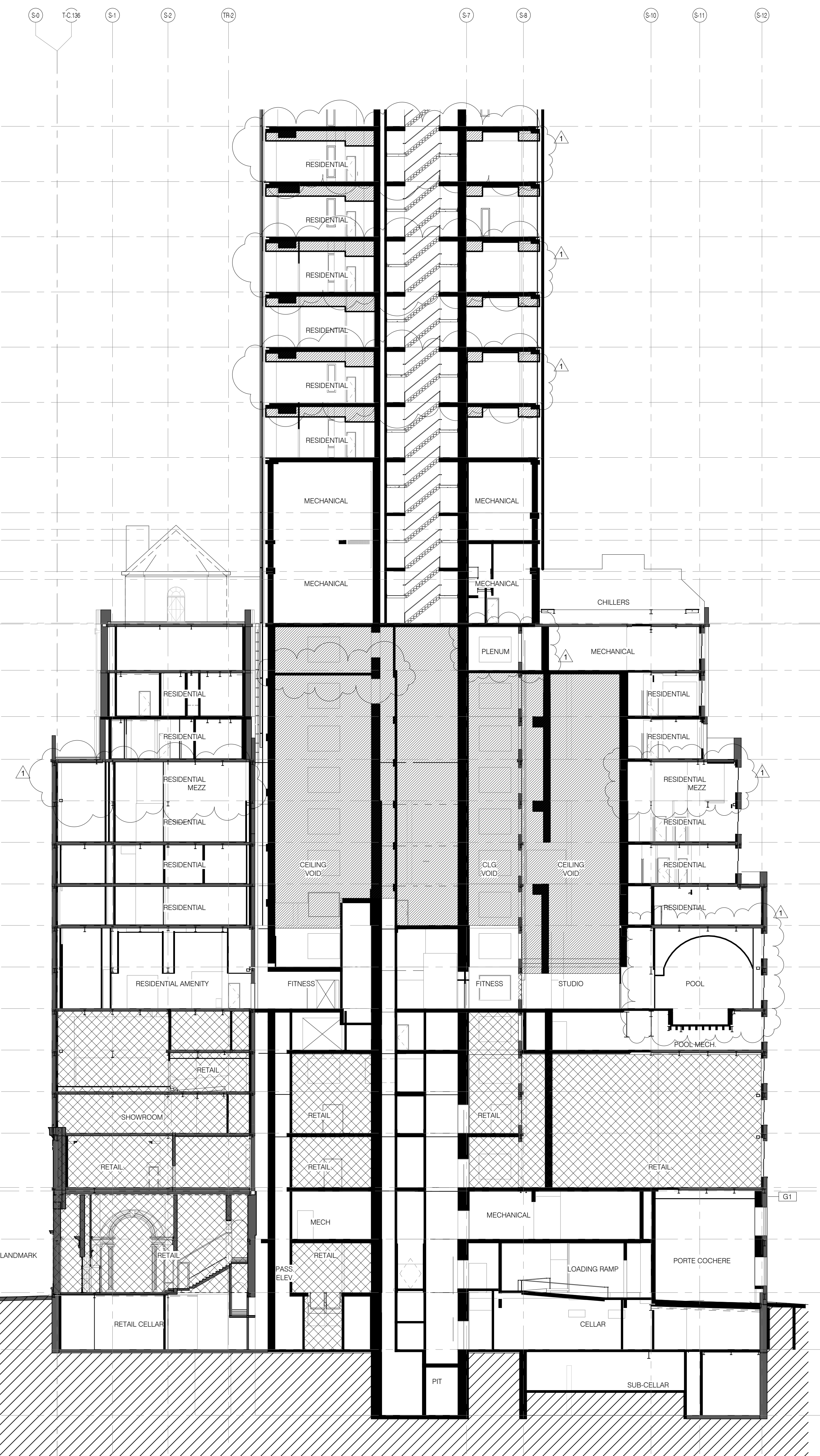
MATERIAL ID INDEX - FAÇADE		MATERIAL ID INDEX - FAÇADE		MATERIAL ID INDEX - FAÇADE		WALL OPENING LEGEND		FAÇADE TYPES LEGEND		LEGEND	
ANC-1	FLUSH EMBEDDED BMU ANCHOR POINT	GL-8	IGU @ STEINWAY REPLACEMENT WINDOW	OSN-RAI-2	DECORATIVE FLOOR-MOUNTED BRONZE GUARDRAIL	11'-0" CLG SILL	11'-0" CLG SILL	FT-5	METAL PANEL RAINSCREEN	FT-10A	TWD SOUTH SSG CURTAINWALL
NBR-1	FACE BRICK	GL-9	IGU @ STEINWAY REPLACEMENT DOOR	OSN-RAI-3	BRONZE GUARDRAIL @ STEINWAY TERRACE	10' CLG SILL	LOUVER	FT-6	STONE RAINSCREEN	FT-10B	TWD NORTH SSG CURTAINWALL
FIN-A	FINIAL	GL-10	LOW-IRON MONOLITHIC GLASS @ QUADRANT	OSN-RAI-4	BRONZE GLASS GUARDRAIL @ TOWER TERRACE	OPEN	OPEN	FT-7	RETAL BASE SSG CURTAINWALL	FT-11A	TOWER TOP FLAT OPEN CLADDING
FIN-B	FINIAL B	GL-11	LOW-IRON MONOLITHIC GLASS @ FT-1	PVR-1A	CONCRETE LOCKDOWN PAVER	9' CLG SILL	SHADOW BOX	FT-8	SOUTH SSG CURTAINWALL	FT-11B	TOWER TOP SKEWED OPEN CLADDING
GL-1	LOW-IRON MONOLITHIC GLASS @ FT-1	GL-12	LOW-IRON IGU @ FT-1 OVERHEAD	PVR-1B	CONCRETE PEDESTAL PAVER	11'-0" CLG SILL	OPEN GLASS LOUVER	FT-9	EASTWEST SSG CURTAINWALL	FT-12	OPEN FLOOR SOUTH FNS
GL-2	LOW-IRON IGU @ FT-1	GL-13	IGU W/ SHADOW BOX @ FT-2 & FT-4	PVR-2A	STONE LOCKDOWN PAVER			FT-10	NORTH SSG CURTAINWALL		
GL-3	LOW-IRON IGU @ FT-1 OVERHEAD	GL-14	VISION IGU @ FT-3A	PVR-2C	PAVING - PORTE-COCHERE						
GL-4A	VISION IGU @ FT-2 & FT-4	GL-15	IGU W/ SHADOW BOX @ FT-2 & FT-4	PVR-3	PAVING - PORTE-COCHERE (EGRESS PATH)						
GL-4B	IGU W/ SHADOW BOX @ FT-2 & FT-4	GL-16	ENVIRONMENTAL EXHAUST GRILLE	PVR-4	GLASS AND STEEL PAVER						
GL-5A	VISION IGU @ FT-3A	GL-17	ARCHITECTURAL BRONZE PANEL	TC-1	TERRACOTTA PLASTER						
GL-5B	IGU W/ SHADOW BOX @ FT-3A	GL-18	ALUMINUM PANEL	WP-1	LIQUID WATERPROOFING						
GL-6	LOW-IRON MONOLITHIC GLASS FN @ FT-4 INTERIOR	MTL-FAB-3	CUSTOM BRONZE FAÇADE FABRICATIONS	WT-1	WINDOW TREATMENT - SINGLE ROLL						
GL-7	LAMINATED MONOLITHIC GLASS @ FT-2, FT-3, FT-1	MTL-FAB-4	OSHA GUARDRAIL	WT-2	WINDOW TREATMENT - DOUBLE ROLL						



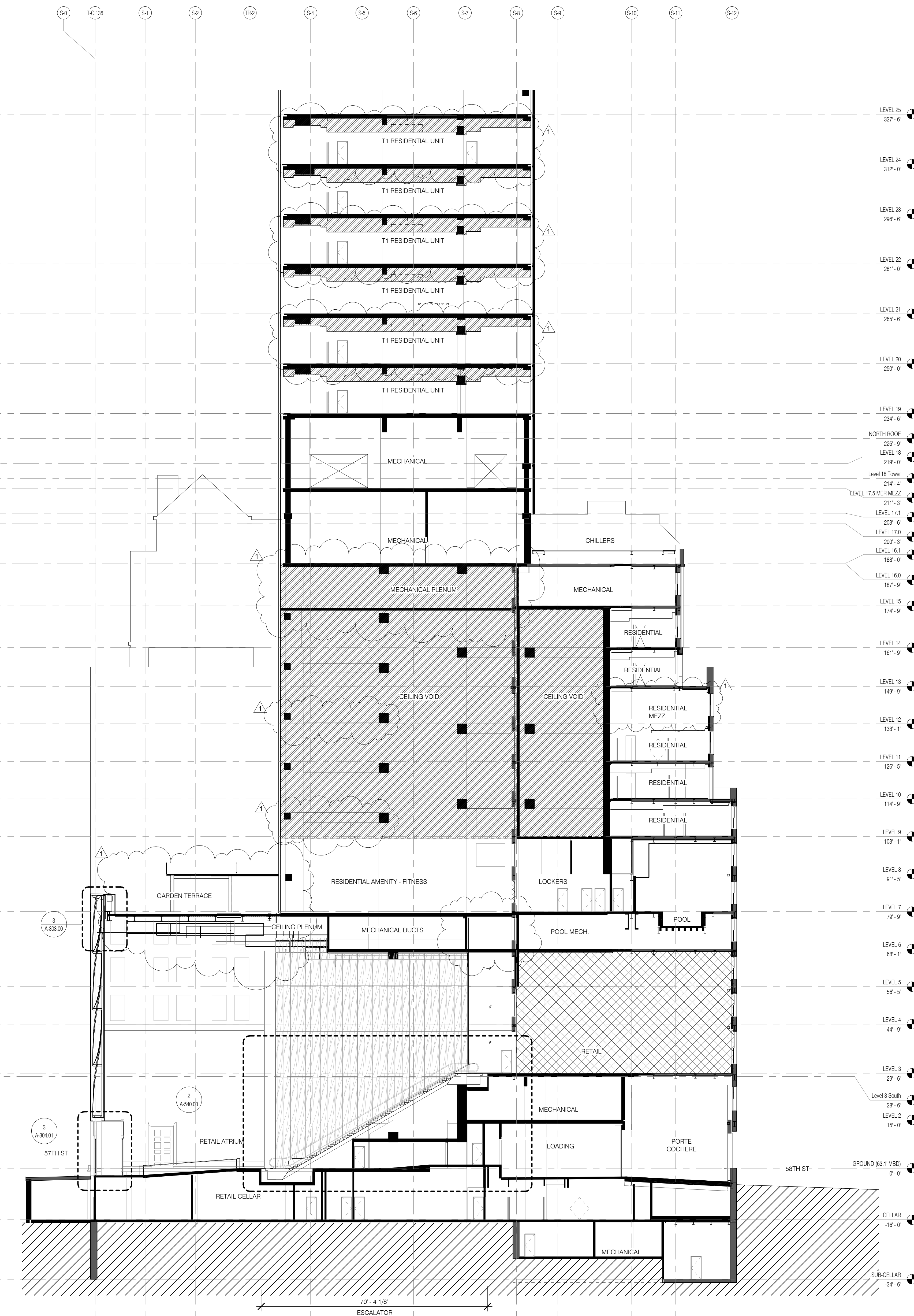


GENERAL NOTES  
01 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.  
02 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.  
03 PROJECT 0.0 - 63.1 MBD  
04 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.  
05 REFER TO RESTORATION DRAWINGS (RHS) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.  
06 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.  
07 ALL FLOOR ELEVATIONS IN STENWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. WF ALL NEW SLAB IN STENWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FULL LINO.  
08 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.  
09 ALL ELEVATIONS ARE FROM TOP OF SLAB.  
10 LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.  
11 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS AND MATERIAL LEGEND.  
12 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM T80.  
13 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPFP HANGING LOAD.  
14 ALL LINT INTERIOR PASSAGE DOORS ARE 30" WIDE LCN.  
15

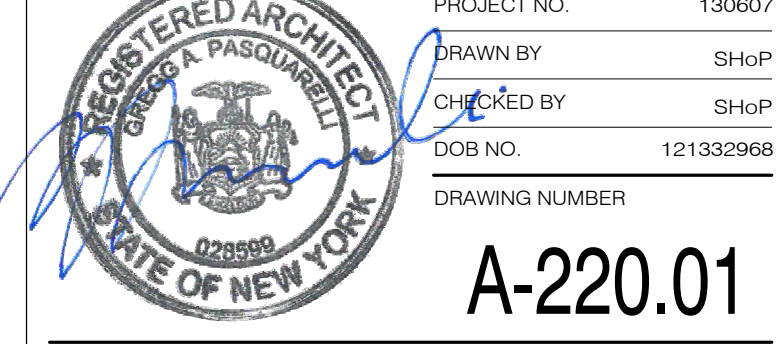
KEY NOTES  
01 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.

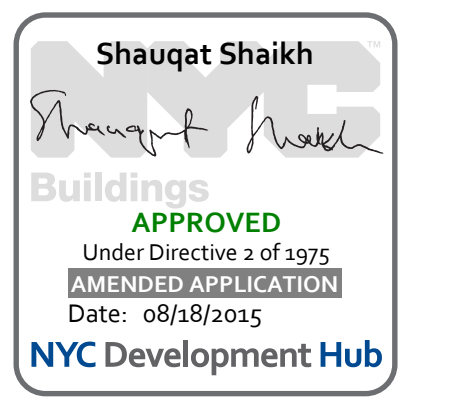


BUILDING SECTION BASE N-S (B) 1/16" = 1'-0" 2

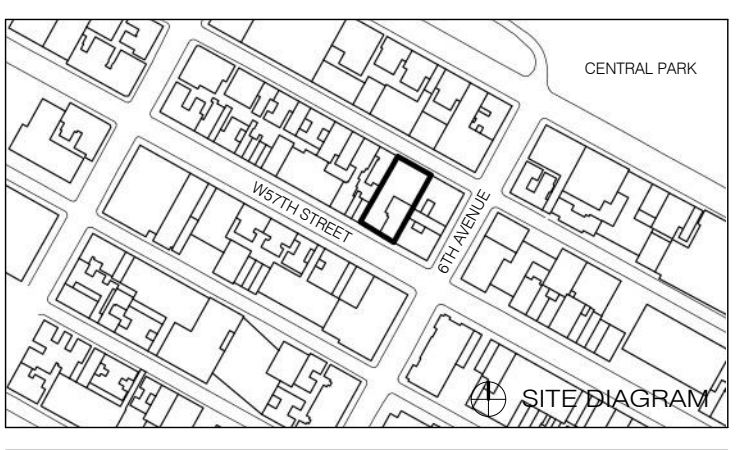


BUILDING SECTION BASE N-S (A) 1/16" = 1'-0" 1





**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

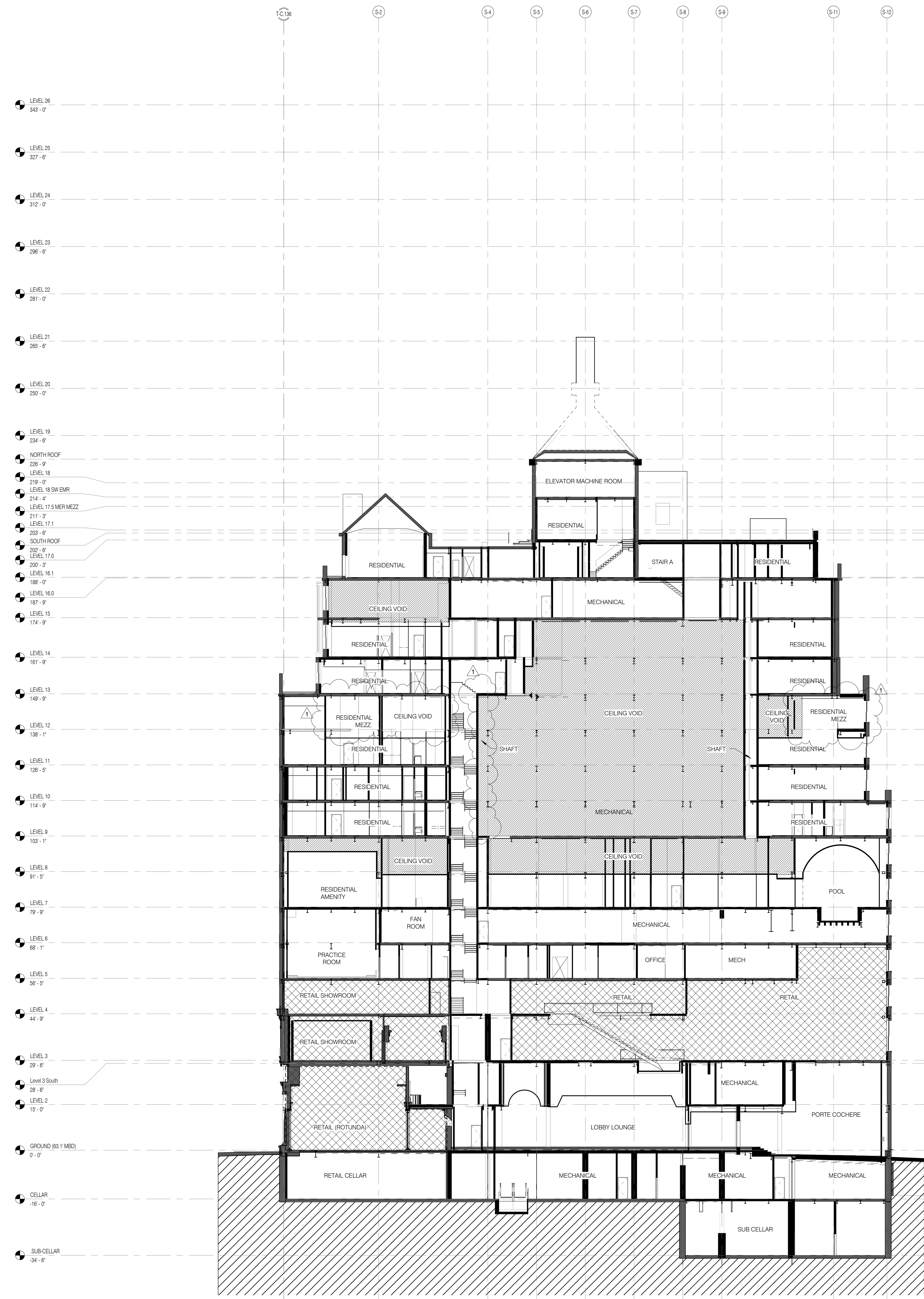
DRAWING TITLE  
**BUILDING SECTIONS BASE N/S**

SEAL & SIGNATURE

DATE: 3.27.15  
PROJECT NO.: 190607  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO.: 121332068  
DRAWING NUMBER: A-221.01

- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT 0-0 = 63.1 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (R1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - G6 NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STERWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. ALL NEW SLAB IN STERWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB. FILL UNO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G10 ALL ELEVATIONS ARE FROM TOP OF SLAB. LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G12 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G13 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
  - G14 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
  - G15 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE UNO.

KEY NOTES



- LEVEL 25: 307'-0"
- LEVEL 24: 307'-6"
- LEVEL 24: 312'-0"
- LEVEL 23: 306'-6"
- LEVEL 22: 281'-0"
- LEVEL 21: 266'-6"
- LEVEL 20: 250'-0"
- LEVEL 19: 234'-6"
- NORTH ROOF: 229'-0"
- LEVEL 18: 219'-0"
- LEVEL 18 SWEMR: 214'-6"
- LEVEL 17.5 MER MEZZ: 211'-0"
- LEVEL 17.1: 207'-6"
- SOUTH ROOF: 202'-0"
- LEVEL 17.0: 200'-0"
- LEVEL 16.1: 187'-0"
- LEVEL 16.0: 187'-0"
- LEVEL 15: 174'-0"
- LEVEL 14: 161'-0"
- LEVEL 13: 149'-0"
- LEVEL 12: 136'-1"
- LEVEL 11: 123'-0"
- LEVEL 10: 114'-0"
- LEVEL 9: 107'-1"
- LEVEL 8: 91'-0"
- LEVEL 7: 79'-0"
- LEVEL 6: 66'-1"
- LEVEL 5: 56'-0"
- LEVEL 4: 44'-0"
- LEVEL 3: 29'-0"
- Level 3 South: 28'-6"
- LEVEL 2: 19'-0"
- GROUND (63.1 MBD): 0'-0"
- CELLAR: -10'-0"
- SUBCELLAR: -34'-6"

- LEGEND
- EXISTING STERWAY BUILDING
  - PROPOSED NEW CONSTRUCTION
  - RETAIL T.C.O.
  - CEILING VOID

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MEP ENGINEER: JAVORS, BALM & BOLLER  
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CIVIL ENGINEER: ANIR ENGINEERING, P.C.  
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FAÇADE: BURKH HARRPOLD  
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LARKSPER, NJ 07033  
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GEOTECH: MTRC  
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LIGHTING: COSMOPOLITANE INTERNATIONAL  
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TEL: 212.255.4453

- GENERAL NOTES
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - PROJECT G.O.D. - 03.1.1 MBD.
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - REFER TO RESTORATION DRAWINGS (R-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC HGS DRAWINGS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB. FILL, UNO.
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPP/HANGING LOAD.
  - ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOCK.

KEY NOTES

PROPERTY MARKETS GROUP  
3 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212.869.8936

CURRENT ISSUE: DOB PAA

Shauqat Shaikh  
Building APPROVED  
Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

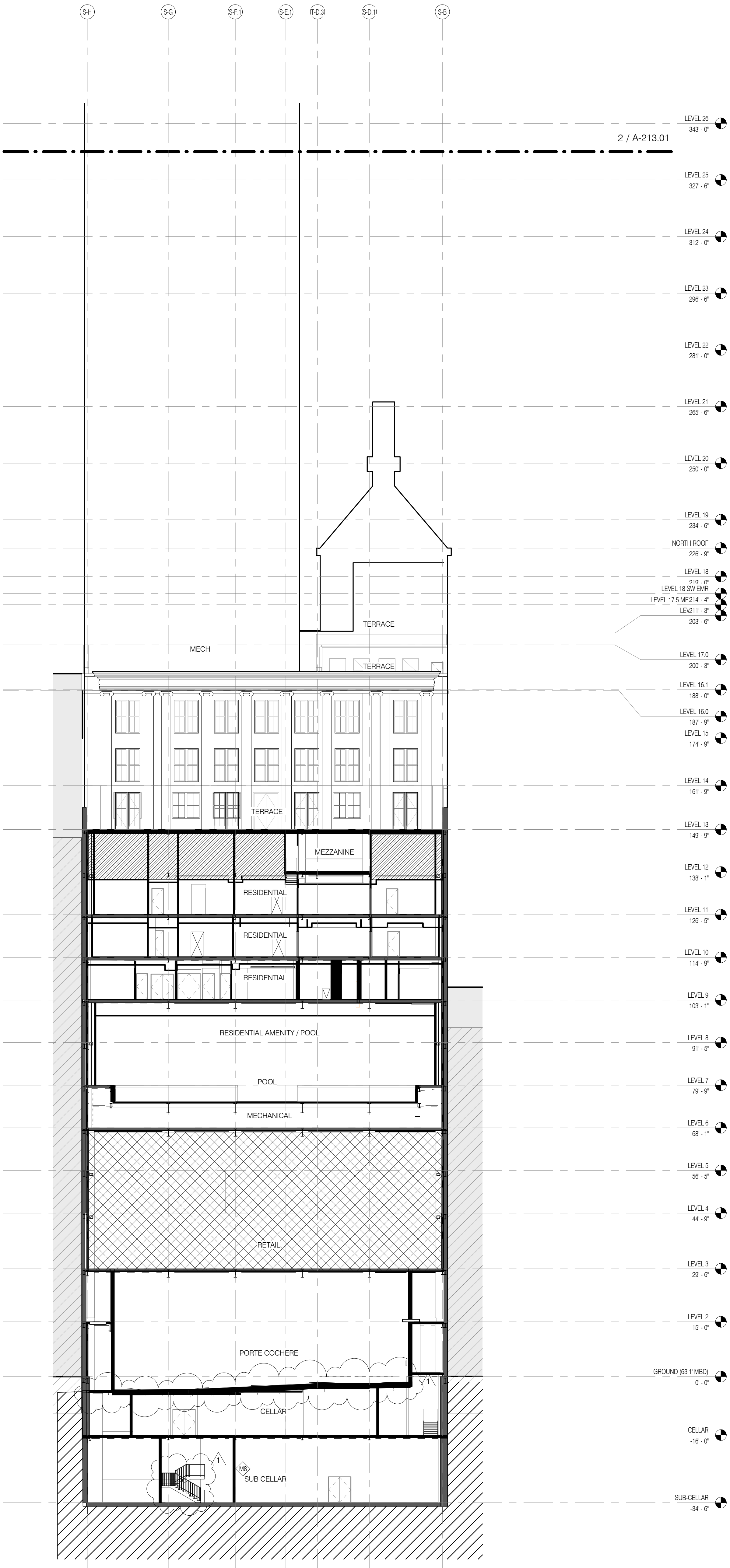
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



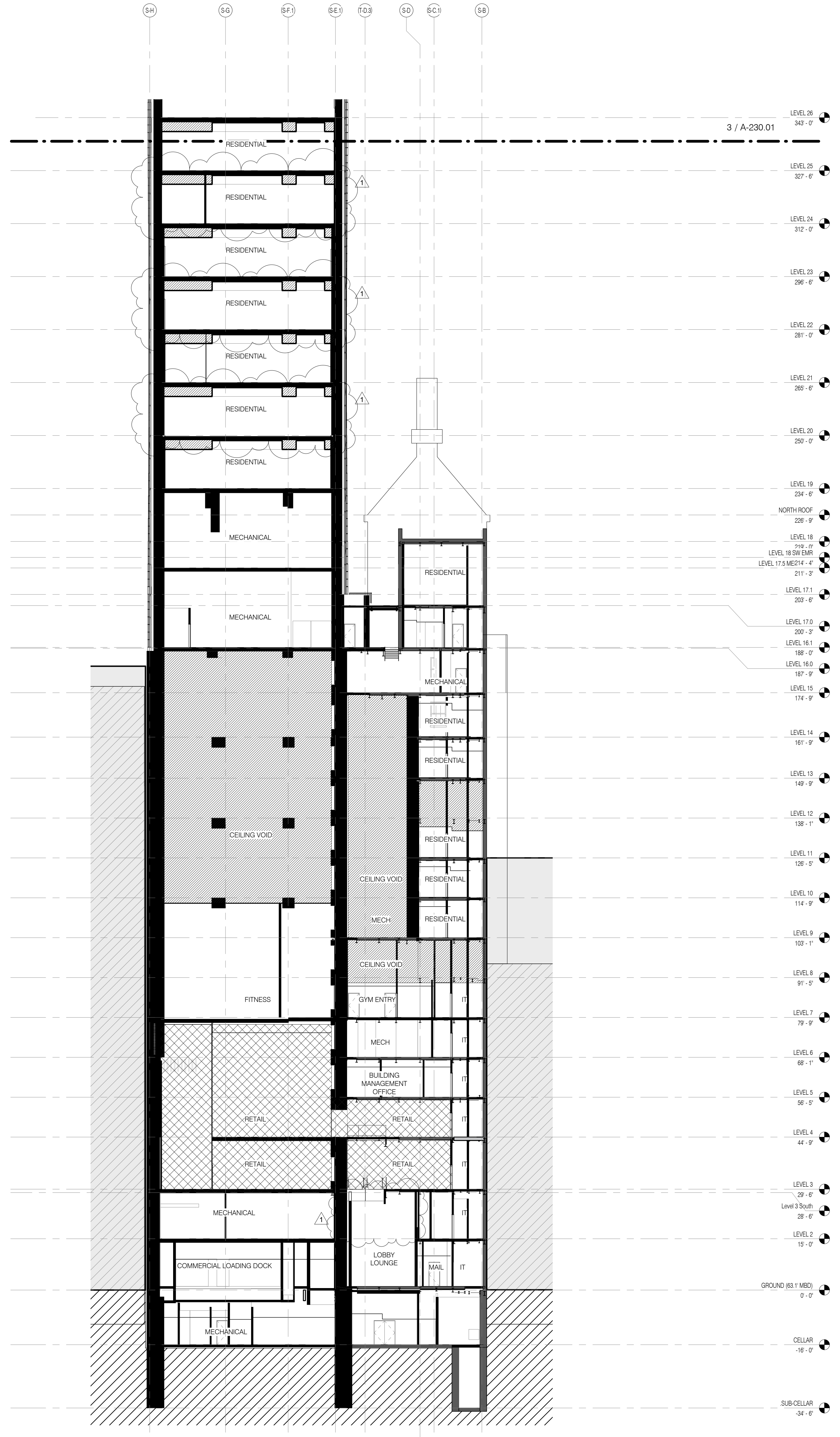
NO.	DATE	REVISION
1	3/27/15	DOB PAA

DRAWING TITLE: **BUILDING SECTIONS BASE E/W**

SEAL & SIGNATURE: [Signature]  
DATE: 3/27/15  
PROJECT NO: 130607  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO: 121332968  
DRAWING NUMBER: A-222.01

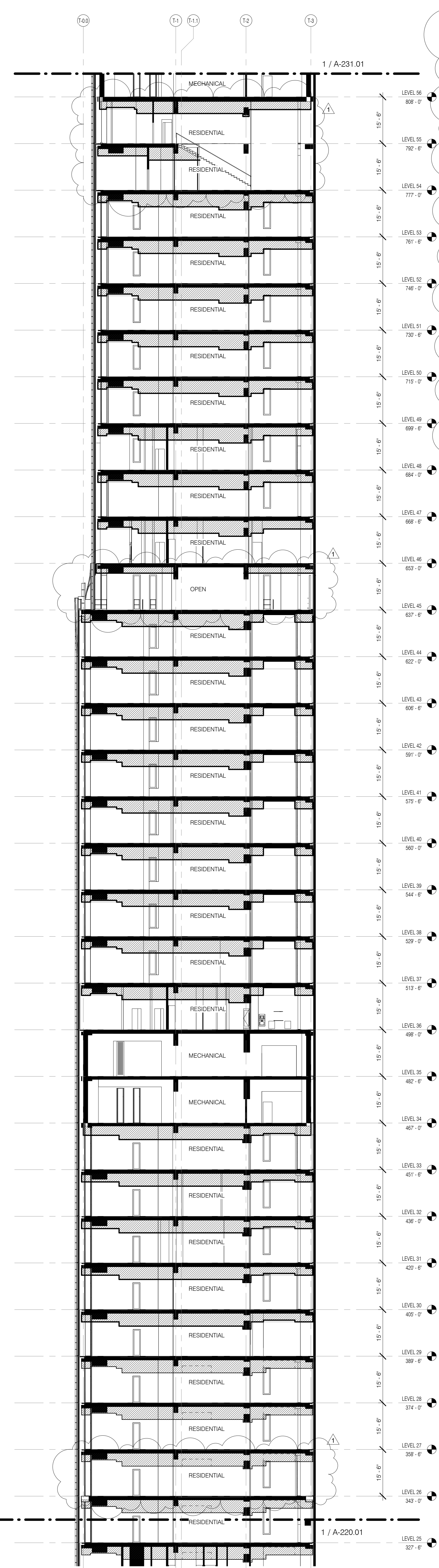
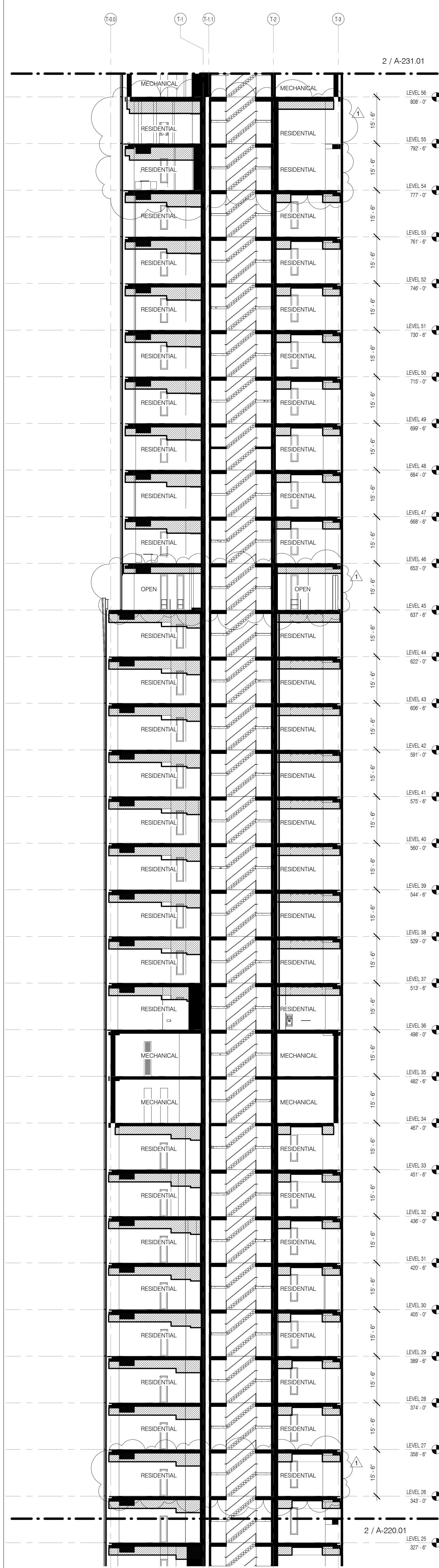
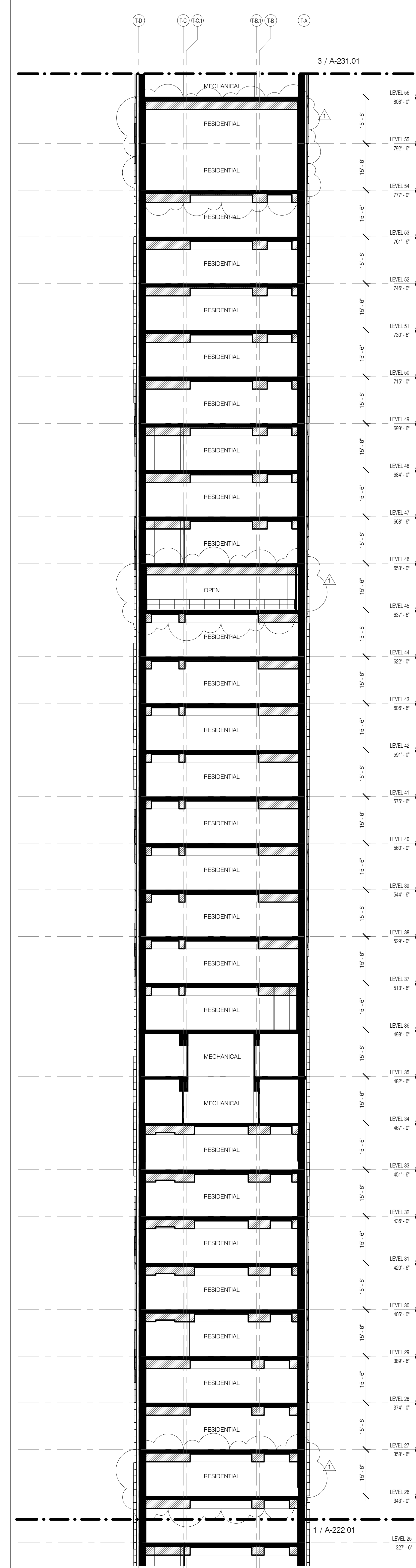
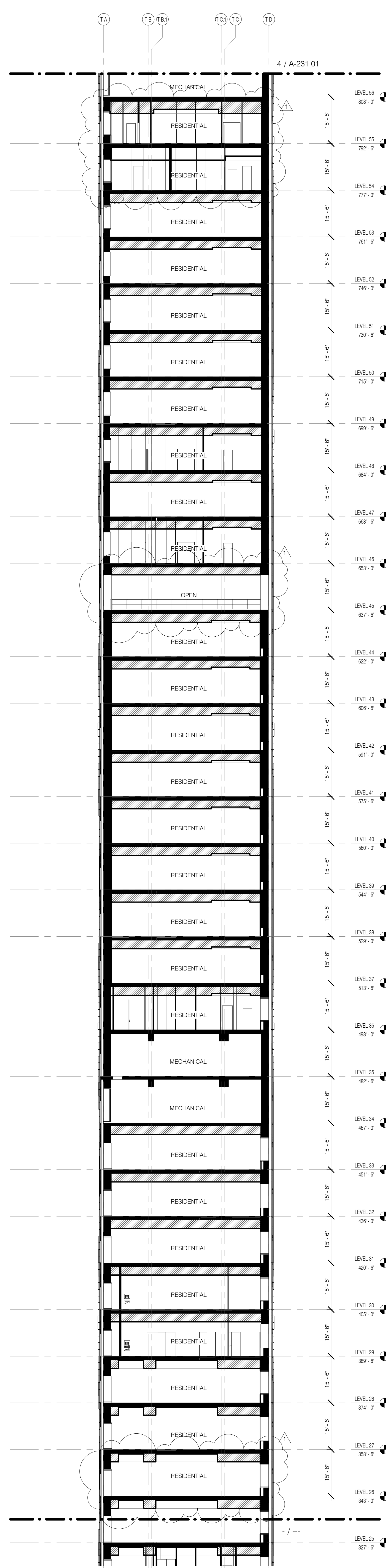


BUILDING SECTION BASE E-W (4) 1/16" = 1'-0" 2 A-222.01 A-222.01



BUILDING SECTION BASE E-W (3) 1/16" = 1'-0" 1 A-222.01 A-222.01

- LEGEND
- EXISTING STEREWAY BUILDING
  - PROPOSED NEW CONSTRUCTION
  - RETAIL T.C.O.
  - CEILING VOID



- GENERAL NOTES**
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT 0-0 = 83.1 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS SHP-1 FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION, AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STAIRWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR OUTLINE PER HISTORIC DRAWINGS. ALL NEW SLAB IN STAIRWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB-FILL LINO.
  - G8 SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS. SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB. LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G10 SEE DRAWING G-000 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEPPF HANGING LOAD.
  - G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOKN.

**JDS DEVELOPMENT GROUP**  
100 WEST 47TH STREET  
NEW YORK, NY 10019  
TEL: 212.850.3000

**sh p**

**ARCHITECT**  
SHP ARCHITECTS, P.C.  
200 BROADWAY, 11TH FLOOR  
NEW YORK, NY 10007  
TEL: 212.850.3000

**STRUCTURAL ENGINEER**  
TOPIC CIVIL/ENR INC.  
220 EAST 47TH STREET  
NEW YORK, NY 10017  
TEL: 212.850.3000

**MEP ENGINEER**  
JACOBS, BAUM & BOLLES  
PARK STREET, 12TH FLOOR  
NEW YORK, NY 10003  
TEL: 212.850.3000

**CIVIL ENGINEER**  
ARUP ENGINEERING, P.C.  
400 WEST 59TH STREET, 17TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.850.3000

**ACOUSTIC**  
LONGMAN LINDSEY  
40 WEST 59TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.850.3000

**INTERIORS**  
TUDOR JENSEN FIELD  
300 PARKETTE STREET  
NEW YORK, NY 10001  
TEL: 212.850.3000

**FAÇADE**  
BURROUGHS WELLS  
100 BROADWAY  
NEW YORK, NY 10003  
TEL: 212.850.3000

**VERTICAL TRANSPORTATION**  
VAN DEUSEN & ASSOCIATES  
100 WEST STREET, SUITE 200  
LAKESHORE, NJ 07033  
TEL: 212.850.3000

**RESTORATION**  
JAN HRO POKORNY ASSOCIATES  
80 WEST STREET, FLOOR 10  
NEW YORK, NY 10003  
TEL: 212.850.3000

**GEOTECH**  
MICE  
100 WEST 59TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.850.3000

**LIGHTING**  
CONSERVATIVE INTERNATIONAL  
100 BROADWAY, 11TH FLOOR  
NEW YORK, NY 10003  
TEL: 212.850.3000

PROPERTY MARKETS GROUP  
100 WEST 59TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.850.3000

CURRENT ISSUE

**DOB PAA**

**Shauqat Shaikh**  
Building  
APPROVED  
Under Directive 2 of 1975  
DATE: 08/28/2015  
NYC Development Hub

**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

**LEGEND**

- EXISTING STEINWAY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID

**BUILDING SECTIONS TOWER ZONE 2**

DATE: 3.27.15  
PROJECT NO: 130007  
DRAWN BY: SHP  
CHECKED BY: SHP  
DOB NO: 121332068  
DRAWING NUMBER: A-230.01





- GENERAL NOTES
- G1 ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - G2 INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - G3 PROJECT 0-0 = 83.1 MBD.
  - G4 STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - G5 REFER TO RESTORATION DRAWINGS (R1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - G6 NON PRESSURIZED EGRESS STAIR THROUGHOUT.
  - G7 ALL FLOOR ELEVATIONS IN STEREWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1920 DRAWINGS. ALL NEW SLAB IN STEREWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB/FILL LINO.
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  - G9 ALL ELEVATIONS ARE FROM TOP OF SLAB LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - G10 SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - G11 ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TPO.
  - G12 CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESSETS FOR MEPPFP HANGING LOAD.
  - G13 ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE LOWN.

**JDS DEVELOPMENT GROUP**  
 100 WEST 57TH STREET, 4TH FLOOR  
 NEW YORK, NY 10019  
 TEL: 212.880.9300

**sh p**

ARCHITECT: SHAP ARCHITECTS, P.C.  
 230 BROADWAY, 11TH FLOOR  
 NEW YORK, NY 10007  
 TEL: 212.880.9300

STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACUSTIC	GEOTECH	INTERIORS
TOPIC PARTOPOUR 230 EAST 43RD STREET NEW YORK, NY 10017 TEL: 212.881.5886	JORDI, BALM & BOLLES 89 WEST STREET, 10TH FLOOR NEW YORK, NY 10005 TEL: 212.880.9300	AVRIF ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10003 TEL: 212.880.9300	LONGMAN LINDSEY 40 WEST 59TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917.288.4900	CONSERVATIVE INTERNATIONAL 105 MANHATTAN STREET, 7TH FLOOR EAST NEW YORK, NY 10005 TEL: 212.255.4453	CONSERVATIVE INTERNATIONAL 105 MANHATTAN STREET, 7TH FLOOR EAST NEW YORK, NY 10005 TEL: 212.255.4453

PROPERTY MARKETS GROUP  
 230 EAST 43RD STREET  
 NEW YORK, NY 10017  
 TEL: 212.880.9300

CURRENT ISSUE

DOB PAA

**Shauqat Shaikh**  
 Building  
 APPROVED  
 Under Directive 2 of 1975  
 PLANNING DEPARTMENT  
 Date: 08/28/2015  
 NYC Development Hub

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019

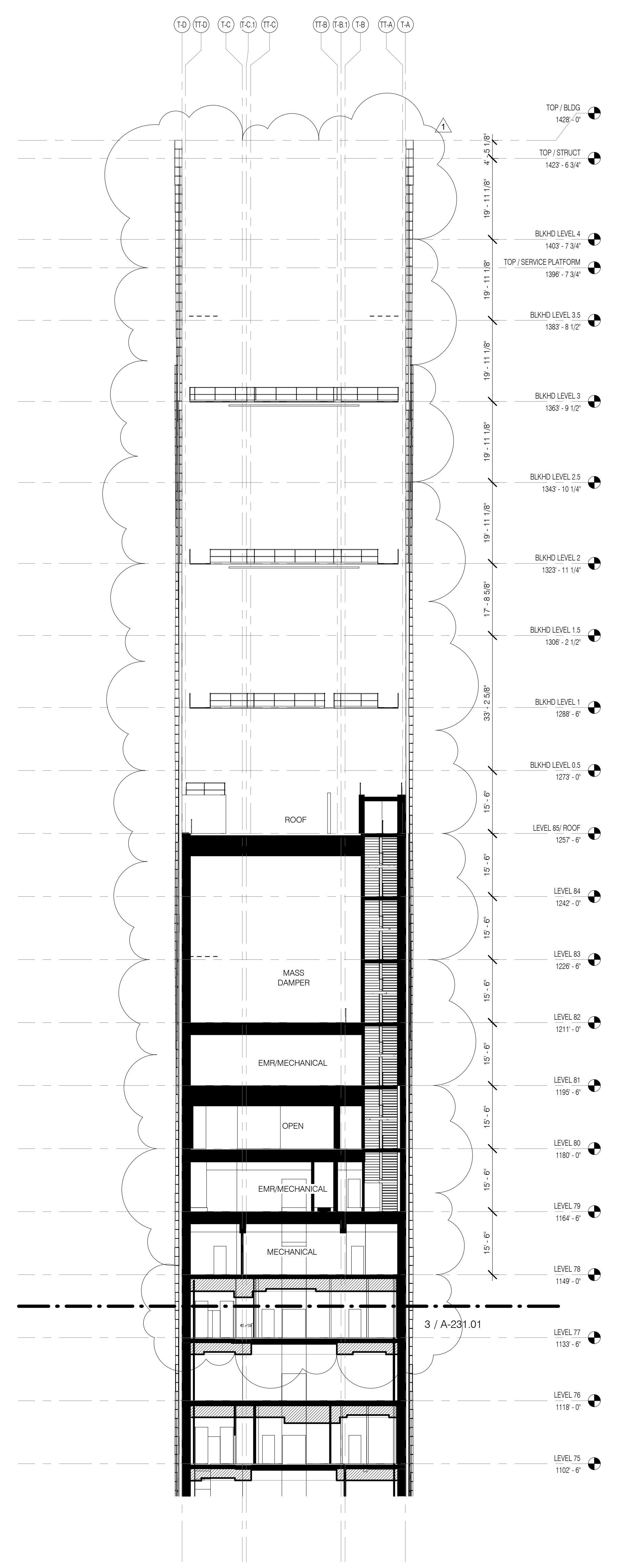
**BUILDING SECTIONS TOWER ZONE 4**

NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

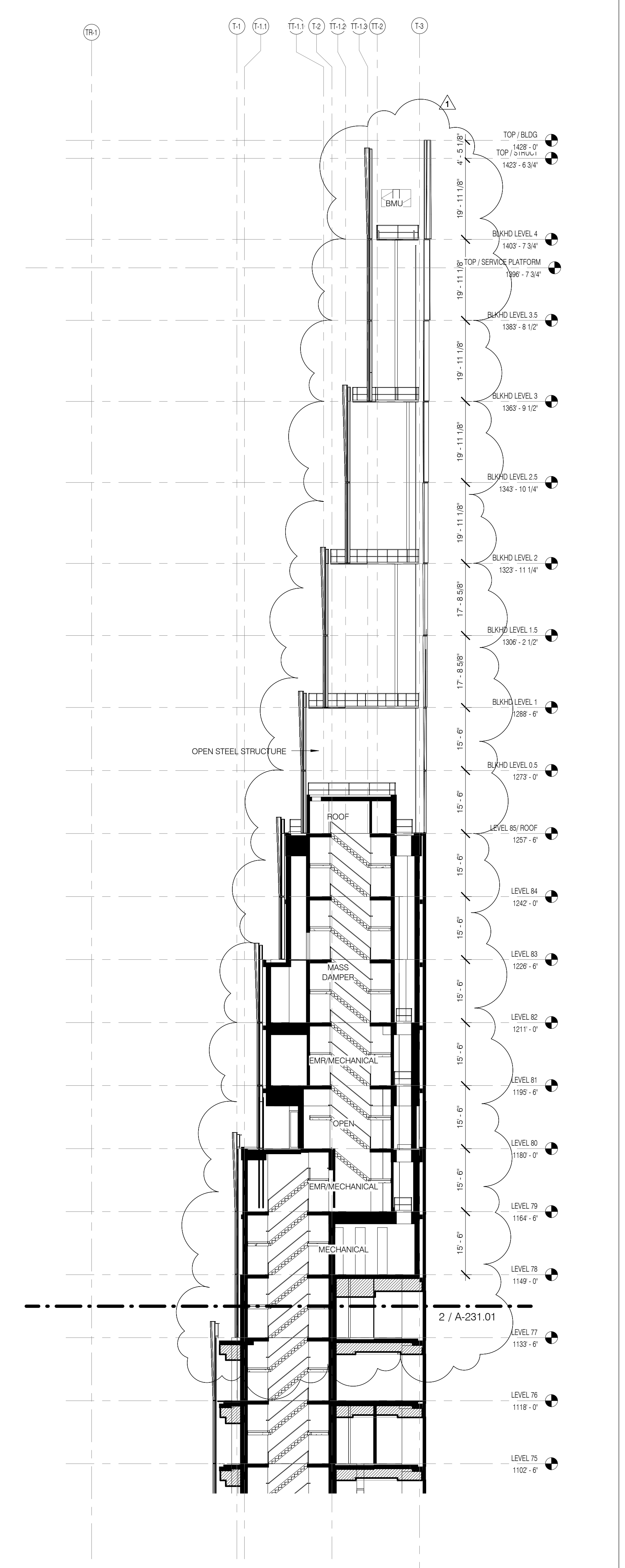
LEGEND

- EXISTING STEWARY BUILDING
- PROPOSED NEW CONSTRUCTION
- RETAIL T.C.O.
- CEILING VOID

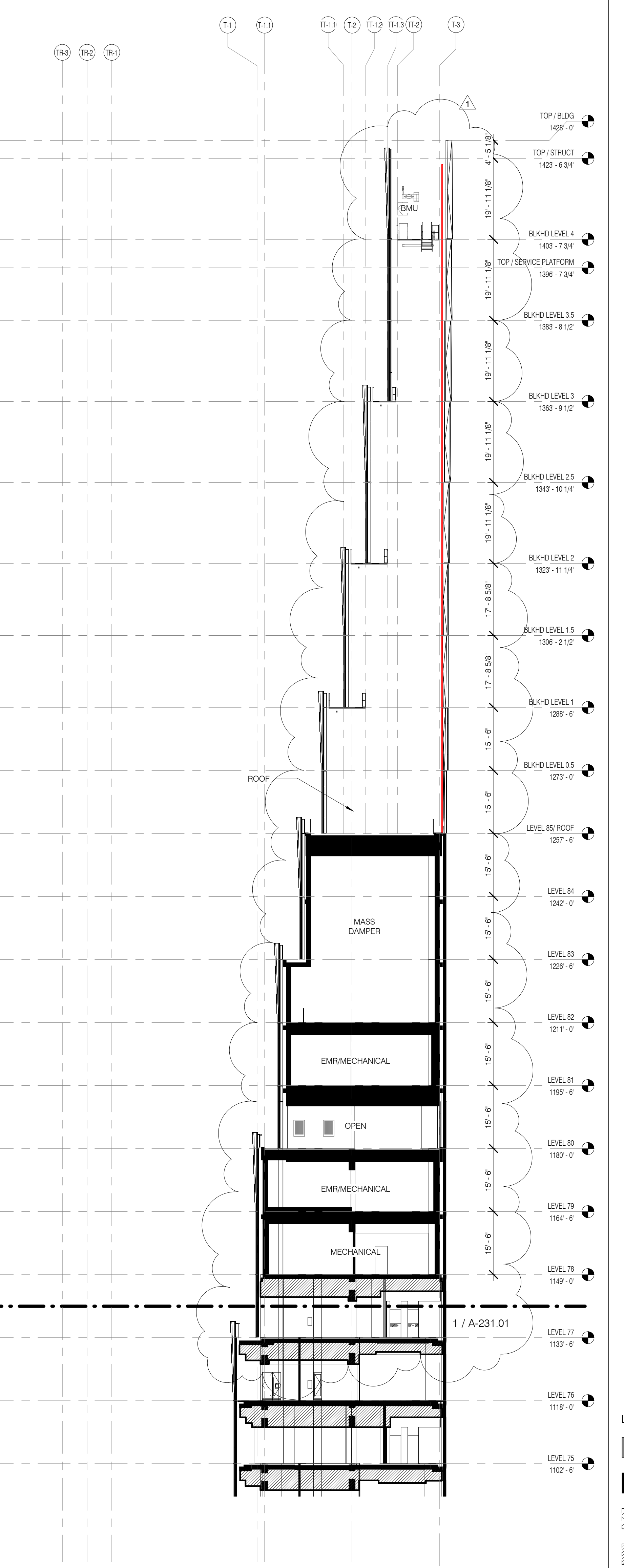
SEAL & SIGNATURE: [Signature] DATE: 3.27.15  
 PROJECT NO: 130007  
 DRAWN BY: SHAP  
 CHECKED BY: SHAP  
 DATE: 08/28/2015  
 DRAWING NUMBER: A-232.01



BUILDING SECTION - TOWER TOP LOOKING SOUTH 1/16" = 1'-0" 3



BUILDING SECTION - TOWER TOP LOOKING EAST 1/16" = 1'-0" 2



BUILDING SECTION - TOWER TOP LOOKING WEST 1/16" = 1'-0" 1

ARCHITECT	SHIP ARCHITECTS, P.C. 20 BROADWAY, 11TH FLOOR NEW YORK, NY 10004 TEL: 212 491 9999
STRUCTURAL ENGINEER	SEMPER PARADOX 20 EAST 41ST STREET NEW YORK, NY 10017 TEL: 212 491 9999
MEP ENGINEER	JANZEL, BAUM & BOLLER 40 WEST STREET, 17TH FLOOR NEW YORK, NY 10006 TEL: 212 491 9999
CIVIL ENGINEER	AVRIL ENGINEERING, P.C. 40 WEST 40TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 491 9999
ACOUSTICIAN	LONGMAN LINDEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 491 9999
INTERIORS	STUCCO ZORNFIELD 300 WAREHOUSES STREET NEW YORK, NY 10003 TEL: 212 491 9999
FAÇADE	BERNARD HOFFOLD 100 BROADWAY NEW YORK, NY 10004 TEL: 212 491 9999
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 814 LAWRENCEVILLE, GA 30046 TEL: 478 962 4525
RESTORATION	JAN HRO POKORNY ASSOCIATES 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 491 9999
MECHANICAL	MEPCO 205 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 212 491 9999
LIGHTING	CONSERVATORIE INTERNATIONAL 100 WALKER STREET, 11TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 491 9999

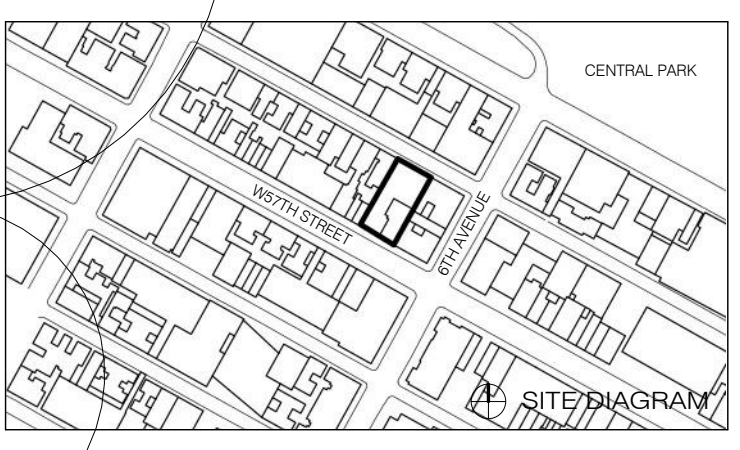


PROPERTY MARKETS GROUP  
30 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212 491 9999

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB FILING SET
NO.	DATE	REVISION
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF SHIP ARCHITECTS, P.C.		

EXTERIOR WALL TYPES

SEAL & SIGNATURE	DATE	2.20.15
PROJECT NO.	130907	
DRAWN BY	SHUP	
CHECKED BY	SHUP	
DOB NO.	121332968	
DRAWING NUMBER		

**FAÇADE TYPES LEGEND**

MC	EXISTING WALL SEE RESTORATION DWGS	FT-10	TMD SOUTH SSG CURTAINWALL
FT-1	RETAL BASE SSG CURTAINWALL	FT-10	TMD NORTH SSG CURTAINWALL
FT-2	SOUTH SSG CURTAINWALL	FT-11	TOWER TOP FLAT OPEN CLADDING
FT-3	EASTWEST SSG CURTAINWALL	FT-11	TOWER TOP SKEWED OPEN CLADDING
FT-3B	EASTWEST OPEN CLADDING		
FT-4	NORTH SSG CURTAINWALL		
		FT-6	METAL PANEL RAINSCREEN
		FT-7	STONE RAINSCREEN
		FT-7	BRICK CAVITY WALL
		FT-9	OPEN FLOOR SOUTH FINS
		FT-9	OPEN FLOOR NORTH FINS

**MATERIAL ID INDEX - FAÇADE**

ANC-1	FLUSH EMBEDDED ANCHOR POINT
FBR-1	FACE BRICK
FRN-A	FRNAL A
FRN-B	FRNAL B
GL-1	LOW-IRON MONOLITHIC GLASS @ FT-1
GL-2	LOW-IRON IGU @ FT-1
GL-3	LOW-IRON IGU @ FT-1 OVERHEAD
GL-4A	VISION IGU @ FT-2 & FT-4
GL-4B	IGU W/ SHADOW BOX @ FT-2 & FT-4
GL-5A	VISION IGU @ FT-3A
GL-5B	IGU W/ SHADOW BOX @ FT-3A
GL-6	LOW-IRON MONOLITHIC GLASS FIN @ FT-4 INTERIOR
GL-7	LAMINATED MONOLITHIC GLASS @ FT-2, FT-4, FT-11

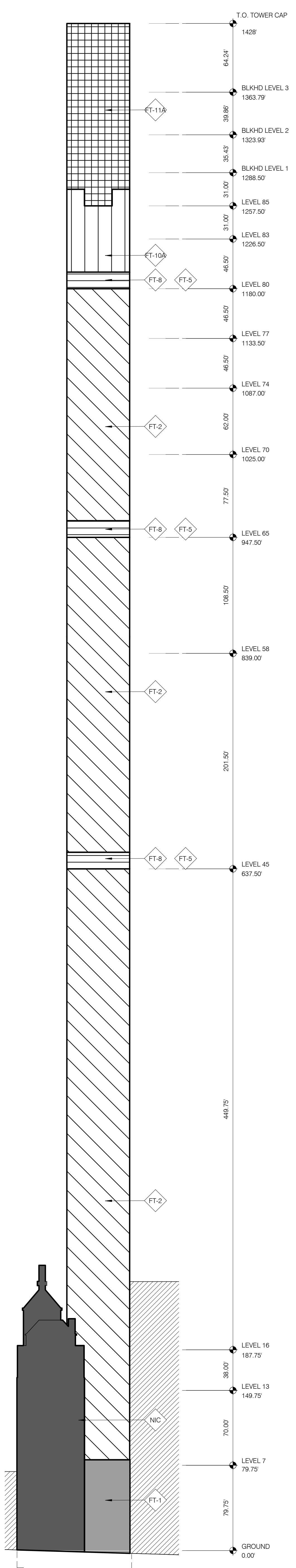
**MATERIAL ID INDEX - FAÇADE**

GL-8	IGU @ STENWAY REPLACEMENT WINDOW
GL-9	IGU @ STENWAY REPLACEMENT DOOR
GL-10	LOW-IRON MONOLITHIC GLASS @ GUARDRAIL
GRT-1	GALVANIZED METAL GRATING
LVR-1	STEEL GRATING
LVR-1A	PERFORMANCE LOUVER
LVR-1B	ARCH LOUVER + PERFORMANCE LOUVER
LVR-2	ENVIRONMENTAL EXHAUST GRILLE
MP-2	ARCHITECTURAL BRONZE PANEL
MP-4	ALUMINUM PANEL
MTL-FAB-3	CUSTOM BRONZE FAÇADE FABRICATIONS
MTL-FAB-4	CSHA GUARDRAIL

**MATERIAL ID INDEX - FAÇADE**

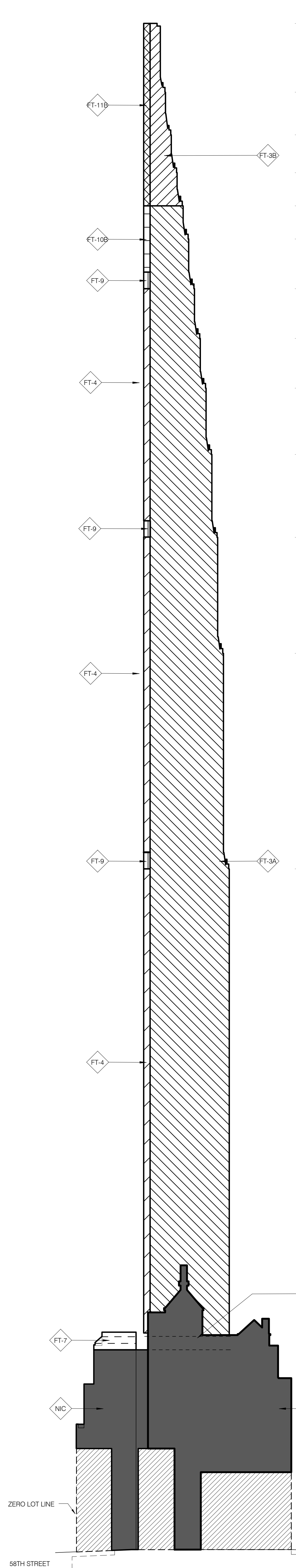
ORN-RAIL-2	DECORATIVE FLOOR MOUNTED BRONZE GUARDRAIL
ORN-RAIL-3	BRONZE GUARDRAIL @ STENWAY TERRACES
ORN-RAIL-4	BRONZE GLASS GUARDRAIL @ TOWER TERRACE
ORN-RAIL-5	BRONZE GUARDRAIL @ DOUBLE HEIGHT UNITS
PVR-1A	CONCRETE LOCKDOWN PAVEMENT
PVR-1B	CONCRETE PEDESTAL PAVEMENT
PVR-2A	STONE LOCKDOWN PAVEMENT
PVR-2C	
PVR-3	PAVING - PORTE-COCHERE
PVR-3A	PAVING - PORTE-COCHERE (EGRESS PATH)
PVR-4	GLASS AND STEEL PAVEMENT
TC-1	TERAZZOTA PLASTER
WP-1	LIQUID WATERPROOFING
WT-1	WINDOW TREATMENT - SINGLE ROLL
WT-2	WINDOW TREATMENT - DOUBLE ROLL

NOTES:  
SEE G-040 FOR WIND LOADS  
BIRD MESH TO BE PROVIDED AT ALL LOUVERS  
BIRD WIRE TO BE PROVIDED AT ALL OPEN FLOOR SILLS



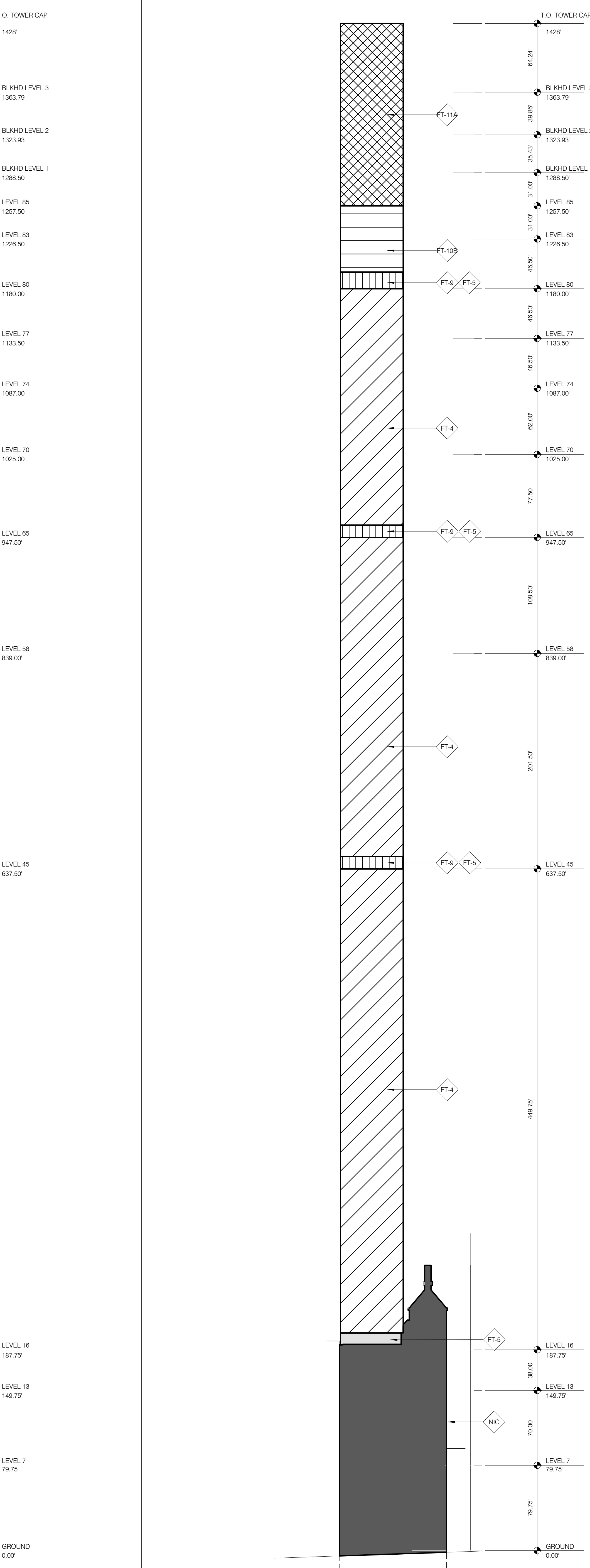
EXT WALL TYPES - SOUTH ELEVATION

1" = 50'-0"



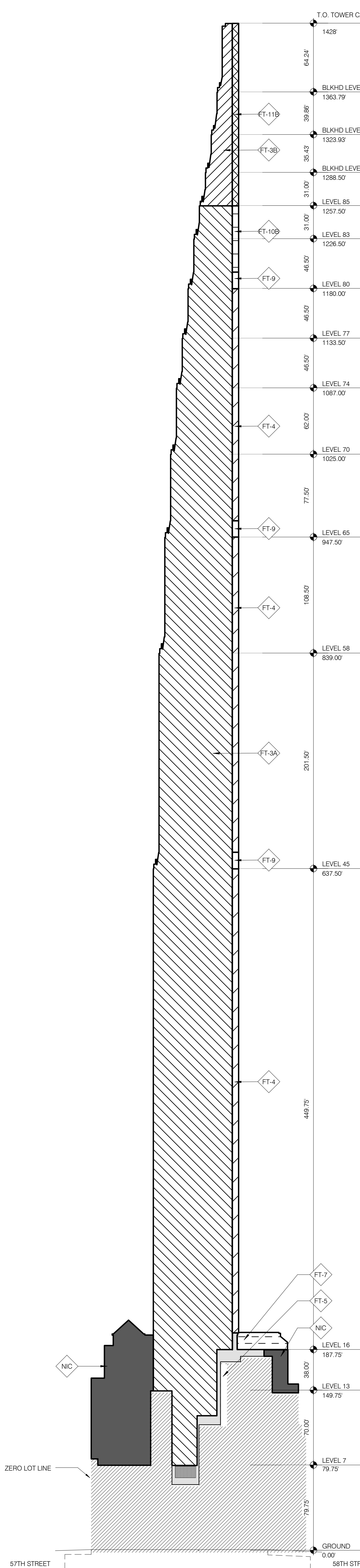
EXT WALL TYPES - WEST ELEVATION

1" = 50'-0"



EXT WALL TYPES - NORTH ELEVATION

1" = 50'-0"



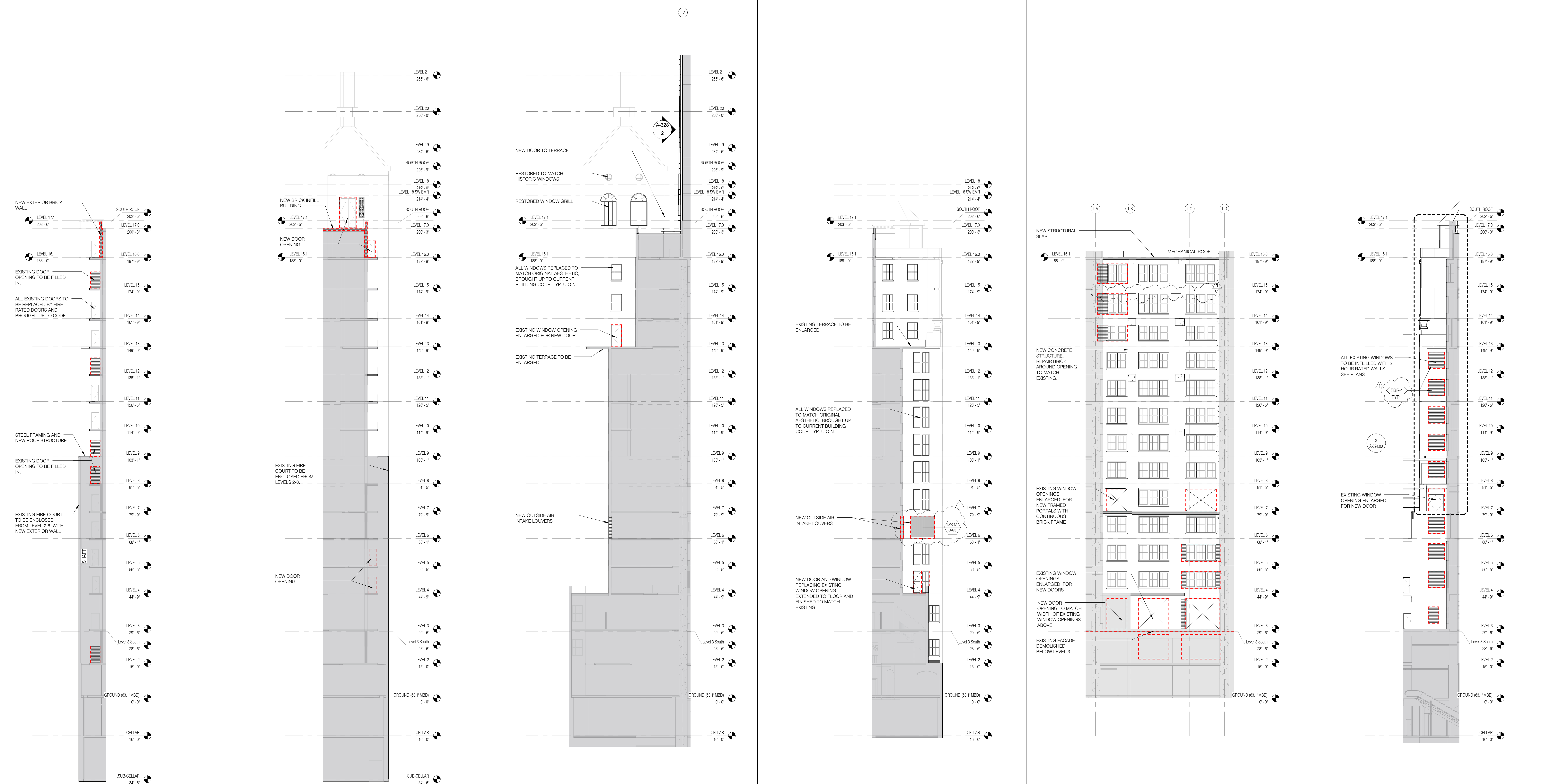
EXT WALL TYPES - EAST ELEVATION

1" = 50'-0"



ARCHITECT	SHIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212-689-9336	ARCHITECT	SHIP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212-689-9336
STRUCTURAL ENGINEER	YUSEF GANTAWI ENGINEERING 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212-697-2886	MECHANICAL ENGINEER	YUSEF GANTAWI ENGINEERING 228 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212-697-2886
MEP ENGINEER	JORDIS, BALM & BOLLER 40 W. 14TH STREET, 12TH FLOOR NEW YORK, NY 10011 TEL: 212-689-9336	CIVIL ENGINEER	AWRIF ENGINEERING, P.C. 40 W. 14TH STREET, 12TH FLOOR NEW YORK, NY 10011 TEL: 212-689-9336
ACQUISITION	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917-238-2389	INTERIORS	STUDIOS 357 FIELD 30 LAUREL STREET NEW YORK, NY 10007 TEL: 212-475-3200
FAÇADE	BURRO HARRIS FELD 105 BROADWAY NEW YORK, NY 10003 TEL: 212-254-2025	RESTORATION	JAN HIRSH FOKORNY ASSOCIATES 20 WEST 17TH STREET, 11TH FLOOR NEW YORK, NY 10011 TEL: 212-254-4462
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 2014 LARKSPUR, NJ 07033 TEL: 973-941-9370	GEOTECH	MTICE 205 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917-238-4300
RESTORATION	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212-254-4462	LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212-254-4462

- KEY**
- NEW BRICK INFILL WALL
  - NEW OPENING, TYPICALLY IN EXISTING WINDOW
- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - PROJECT 0-0 = 63.1 MBD.
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - REFER TO RESTORATION DRAWINGS (R-P-1) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPAIR/DEMOLITION.
  - NON-PRESSURIZED EGRESS STAIR THROUGHOUT.
  - ALL FLOOR ELEVATIONS IN STENWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. VIF ALL NEW SLAB IN STENWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FULL LING.
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS.
  - SEE SHEET A-100.00 FOR TOPINGS AND DRAIN LOCATIONS.
  - ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - SEE DRAWING G-002 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND.
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FP.
  - ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE UCN.



FIRE COURT - SOUTH ELEVATION 1/16" = 1'-0" 3 A-100.00 A-300.01  
 FIRE COURT - NORTH ELEVATION 1/16" = 1'-0" 4 A-100.00 A-300.01  
 SIDE COURT - SOUTH ELEVATION 1/16" = 1'-0" 1 A-100.00 A-300.01  
 TOWER - NORTH ELEVATION - WEST 1/16" = 1'-0" 2 A-100.00 A-300.01  
 COURT - SOUTH ELEVATION 1/16" = 1'-0" 6 A-100.00 A-300.01  
 TOWER - NORTH ELEVATION - EAST 1/16" = 1'-0" 5 A-100.00 A-300.01

PROPERTY MARKETS GROUP  
30 EAST 17TH STREET, 10TH FLOOR  
NEW YORK, NY 10003  
TEL: 212-689-9336

CURRENT ISSUE

DOB PAA

Shauqat Shaikh  
 Building  
 APPROVED  
 Under Directive 2 of 1975  
 DATED: 08/28/2015  
 NYC Development Hub

111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

DRAWING TITLE  
**PARTIAL ELEVATIONS - STEINWAY BUILDING**

SEAL & SIGNATURE DATE 3.27.15  
 PROJECT NO. 130007  
 DRAWN BY SHIP  
 CHECKED BY SHIP  
 DATE 12.13.2008  
 DRAWING NUMBER  
**A-392.01**

**NOTE**

- SEE HP DRAWINGS FOR MASONRY RESTORATION NOTES AND REFERENCES. TYP.
- SEE HP DRAWINGS FOR WINDOW TYPES, OPERATION AND SCHEDULES.

**KEY**

- NEW BRICK INFILL WALL
- NEW OPENING, TYPICALLY IN EXISTING WINDOW

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - PROJECT 0-0 = 63.1 MBD
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS
  - REFER TO RESTORATION DRAWINGS (R-P) FOR RESTORATION WORK ON EXISTING BUILDING INCLUDING, BUT NOT LIMITED TO, REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT
  - NON-PRESSURIZED EGRESS STAIR THROUGHOUT
  - ALL FLOOR ELEVATIONS IN STEINWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. VP ALL NEW SLAB IN STEINWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FILL LAND
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS
  - SEE SHEET A-120.00 FOR TOPPING AND DRAIN LOCATIONS
  - ALL ELEVATIONS ARE FROM TOP OF SLAB
  - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR
  - SEE DRAWING G-202 FOR ABBREVIATIONS, SYMBOLS, AND MATERIAL LEGEND
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR MEP/FP HANGING LOAD
  - ALL LIFT INTERIOR PASSAGE DOORS ARE 36" WIDE, U/LON

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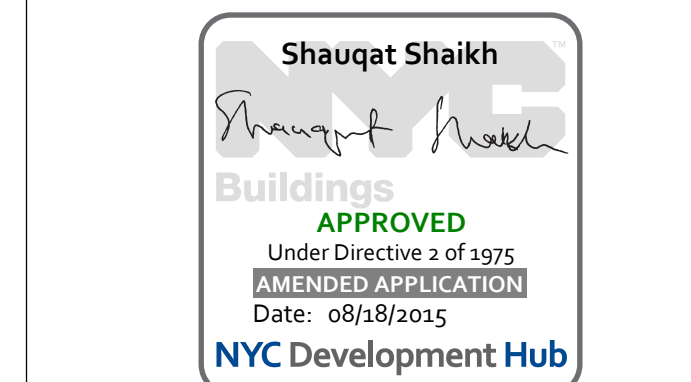
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MICE  
205 WEST 58TH STREET, 4TH FLOOR  
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TEL: 917-238-4900

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CONSERVATORIE INTERNATIONAL  
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NEW YORK, NY 10019



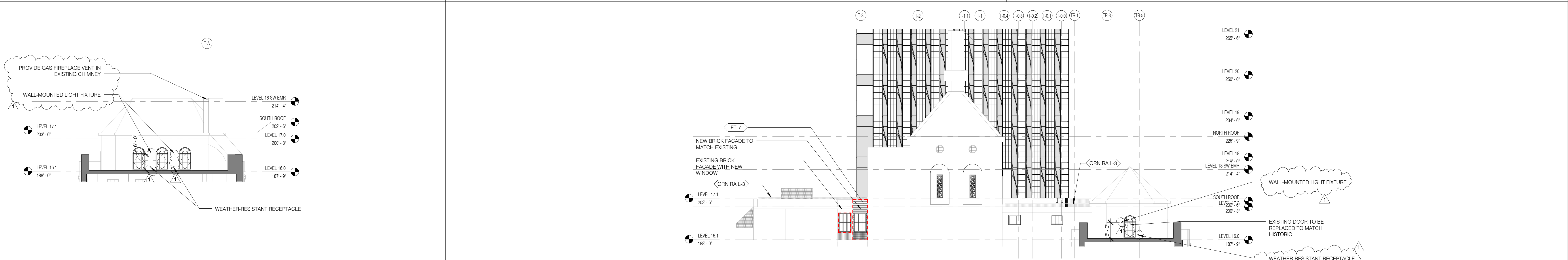
1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION

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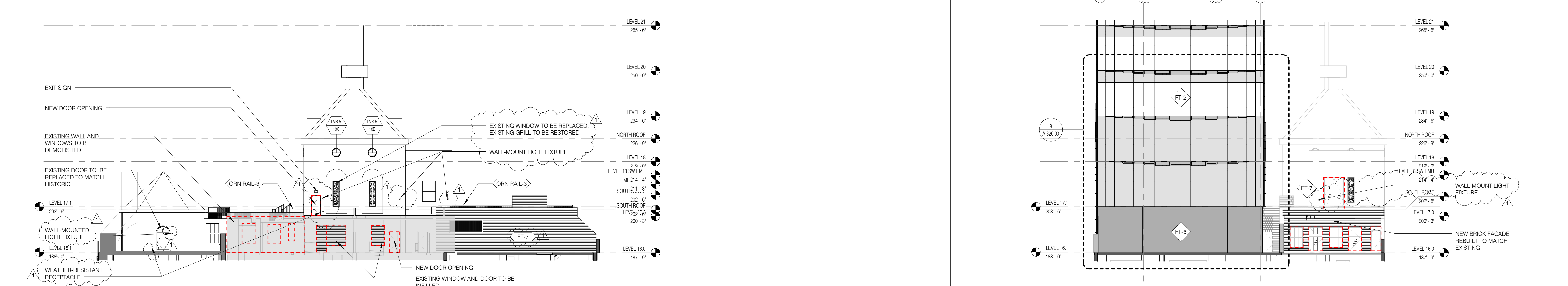
**PARTIAL ELEVATIONS - STEINWAY BUILDING**

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130007	
DRAWN BY	SH/P	
CHECKED BY	SH/P	
DOB NO.	121330268	
DRAWING NUMBER	A-393.01	



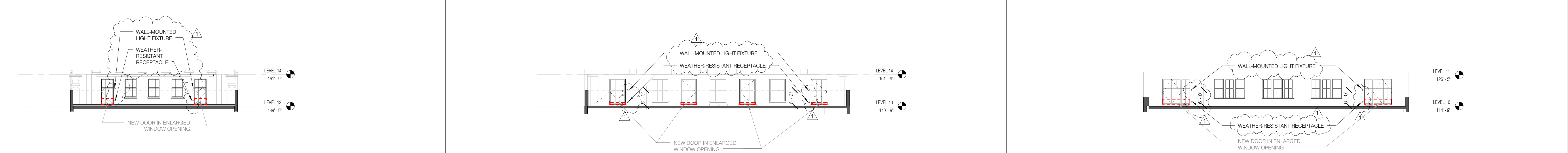
STEINWAY DETAIL ELEVATION - 16TH FLOOR SOUTH 1/16" = 1'-0" 7 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 16TH FLOOR WEST 1/16" = 1'-0" 6 A-194.00 A-393.01



STEINWAY DETAIL ELEVATION - 16TH FLOOR EAST 1/16" = 1'-0" 5 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 16TH FLOOR NORTH 1/16" = 1'-0" 4 A-194.00 A-393.01



STEINWAY DETAIL ELEVATION - 13TH FLOOR SOUTH 1/16" = 1'-0" 3 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 13TH FLOOR NORTH 1/16" = 1'-0" 2 A-194.00 A-393.01

STEINWAY DETAIL ELEVATION - 10TH FLOOR NORTH 1/16" = 1'-0" 1 A-194.00 A-393.01

**NOTE:**  
- SEE HP DRAWINGS FOR MASONRY RESTORATION NOTES AND REFERENCES, TYP.  
- SEE HP DRAWINGS FOR WINDOW TYPES, OPERATION AND SCHEDULES

ROOM FINISH SCHEDULE - CD

Table with columns: NO., NAME, FLOOR TYPE, CEILING TYPE, WALL FINISH, MTL, BASE FINISH, UNIT TYPE, BATHKIT TYPE. Includes levels 5 through 11.

ROOM FINISH SCHEDULE - CD

Table with columns: NO., NAME, FLOOR TYPE, CEILING TYPE, WALL FINISH, MTL, BASE FINISH, UNIT TYPE, BATHKIT TYPE. Includes levels 11 through 16.

ROOM FINISH SCHEDULE - CD

Table with columns: NO., NAME, FLOOR TYPE, CEILING TYPE, WALL FINISH, MTL, BASE FINISH, UNIT TYPE, BATHKIT TYPE. Includes levels 16 through 21.

KITCHEN TYPES BY UNIT

Table with columns: KIT TYPE, TYR LEVEL, RM NUMBER, RM NAME. Lists kitchen types for various units.

BATH

Table with columns: BATH TYPE, TYR LEVEL, RM NUMBER, RM NAME. Lists bathroom types for various units.

JDS DEVELOPMENT GROUP logo and contact information.

shp logo and architectural services list.

PROPERTY MARKETS GROUP logo and contact information.

Shauqat Shaikh logo and contact information.

111 WEST 57TH STREET project details and drawing information.

ROOM SCHEDULE & FINISHES table and drawing title block.

**KEY**

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- RETAIL TENANT FITOUT
- INTERIOR LANDMARK NO CHANGE

- GENERAL NOTES**
- ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. DRAWINGS OF EXISTING COMPONENTS ARE ILLUSTRATIVE AND NOT BASED ON DETAILED SURVEY. IF DISCREPANCY FOUND NOTIFY ARCHITECT. DEMOLITION NOT INCLUDED IN SET.
  - INTERIOR FIT OUT NOT INCLUDED IN DESIGN SET.
  - PROJECT 0.0 - 63.1 MBD.
  - STRUCTURAL GRID BASED ON ORIGINAL ARCHITECTURAL DRAWINGS.
  - REFER TO RESTORATION DRAWINGS (RPI) FOR RESTORATION WORK ON EXISTING BUILDING, INCLUDING BUT NOT LIMITED TO: REPAIR, WATERPROOFING, REMOVALS, DEMOLITION AND ANY HAZARDOUS MATERIALS RELATED TO REPLACEMENT.
  - NON-PRESSURIZED EGRESS STAR THROUGHOUT.
  - ALL FLOOR ELEVATIONS IN STEINWAY BUILDING ASSUMED TO BE 1" BELOW FLOOR DATUM PER HISTORIC 1925 DRAWINGS. VP: ALL NEW SLAB IN STEINWAY PORTION OF PROJECT TO BE ALIGNED WITH EXISTING TOP OF SLAB FULL LINO.
  - SEE MECHANICAL AND ARCHITECTURAL FLOOR PLANS FOR HOUSEKEEPING PAD LOCATIONS.
  - SEE SHEET A-100.00 FOR TOPPING AND DRAIN LOCATIONS.
  - ALL ELEVATIONS ARE FROM TOP OF SLAB.
  - LOCATION AND SIZE OF ANCHOR POCKETS TO BE COORDINATED BY GC WITH CURTAINWALL VENDOR.
  - SEE DRAWINGS G-000 FOR ABBREVIATIONS, SYMBOLS AND MATERIAL LEGEND.
  - ALL STEEL CLEANED AND PRIMED FOR HIGH PERFORMANCE PAINT SYSTEM TBD.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING PRESETS FOR ME/FP/PP HANGING LOAD.
  - ALL UNIT INTERIOR PASSAGE DOORS ARE 36" WIDE, 80".

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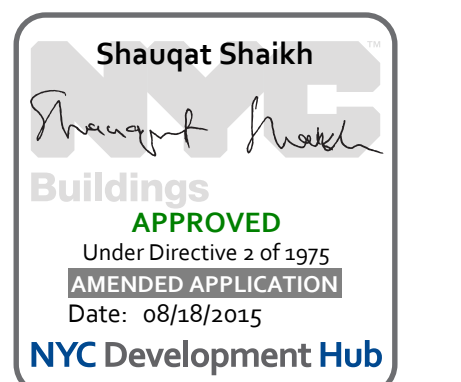
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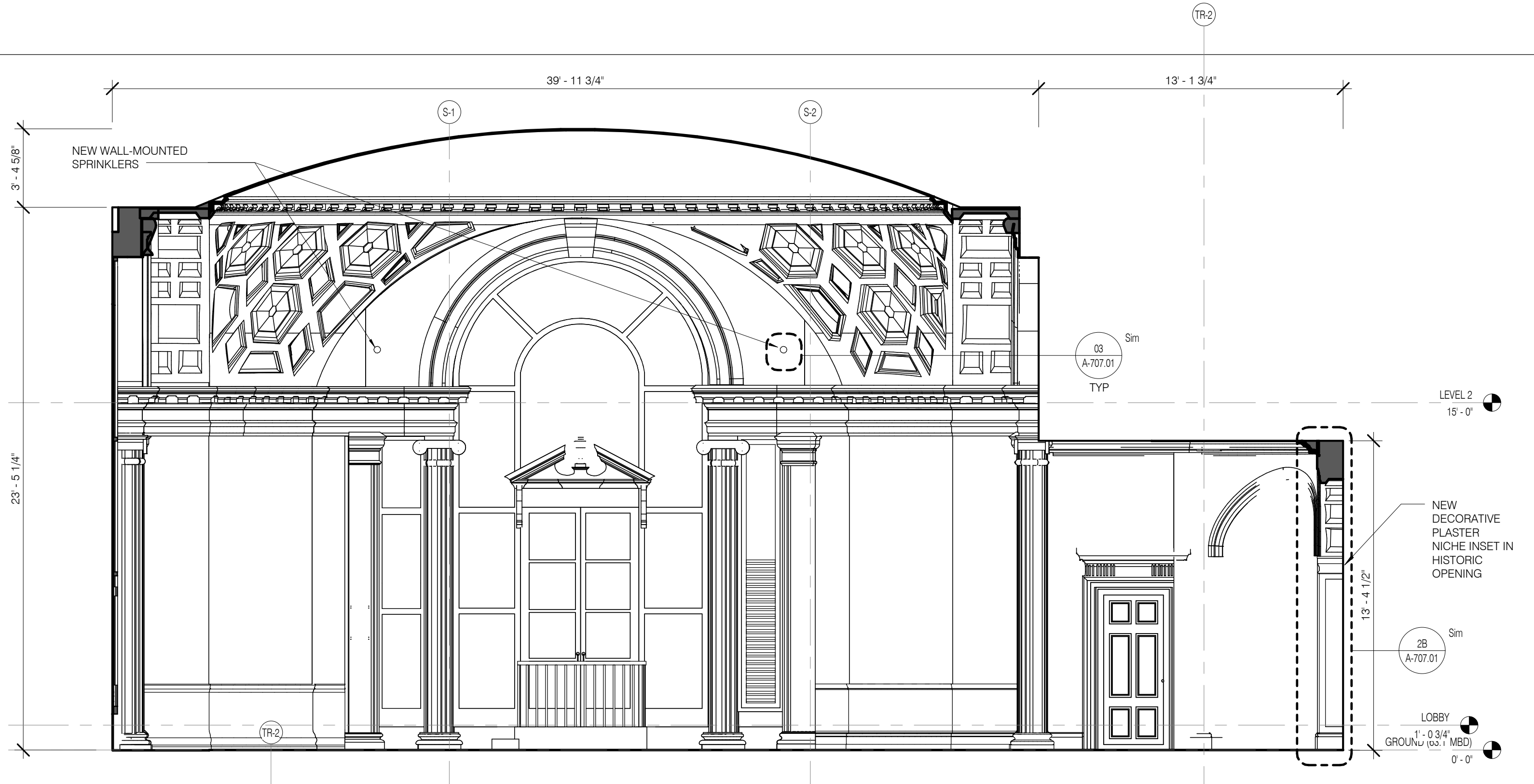
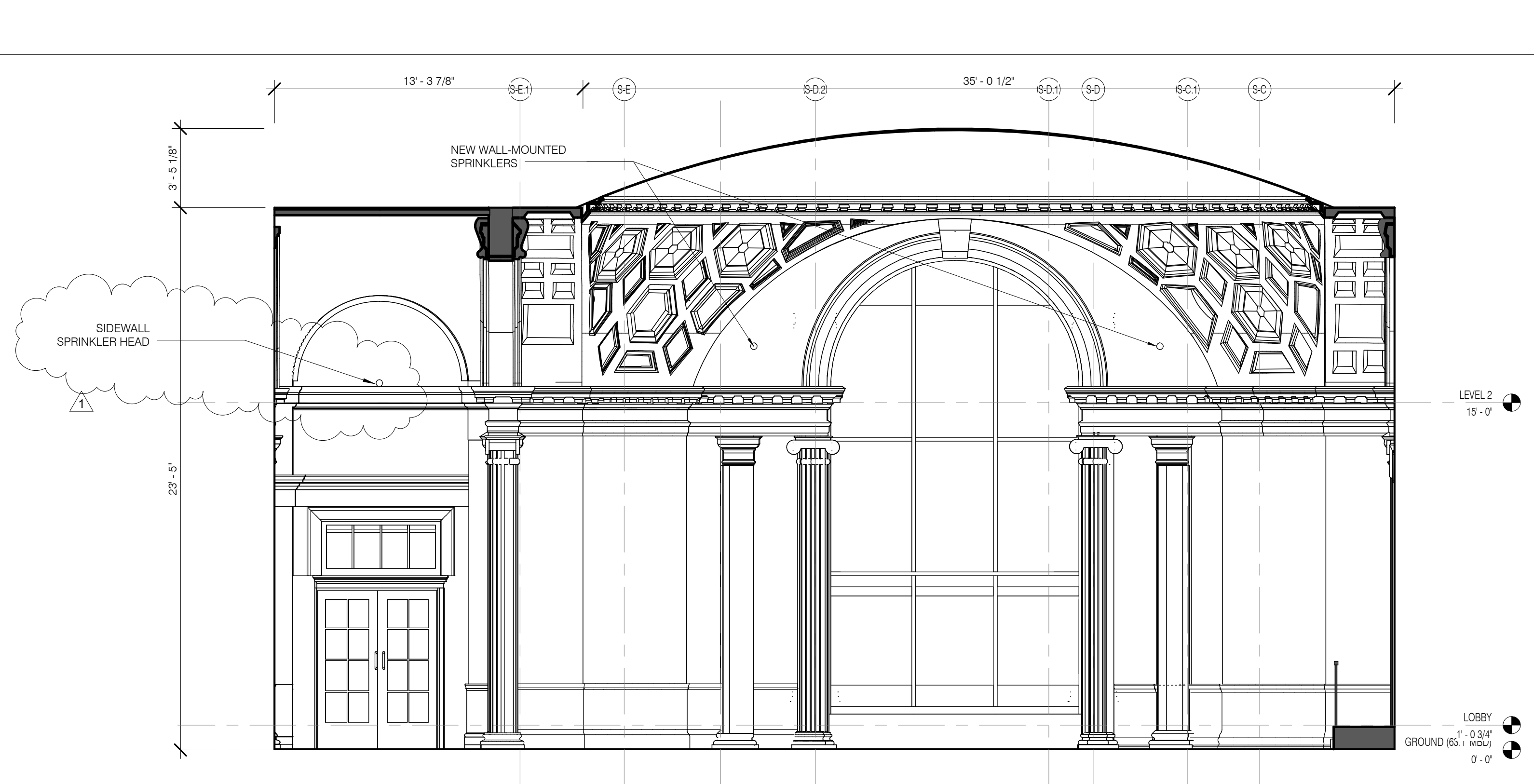
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1	3/27/19	DOB PAA

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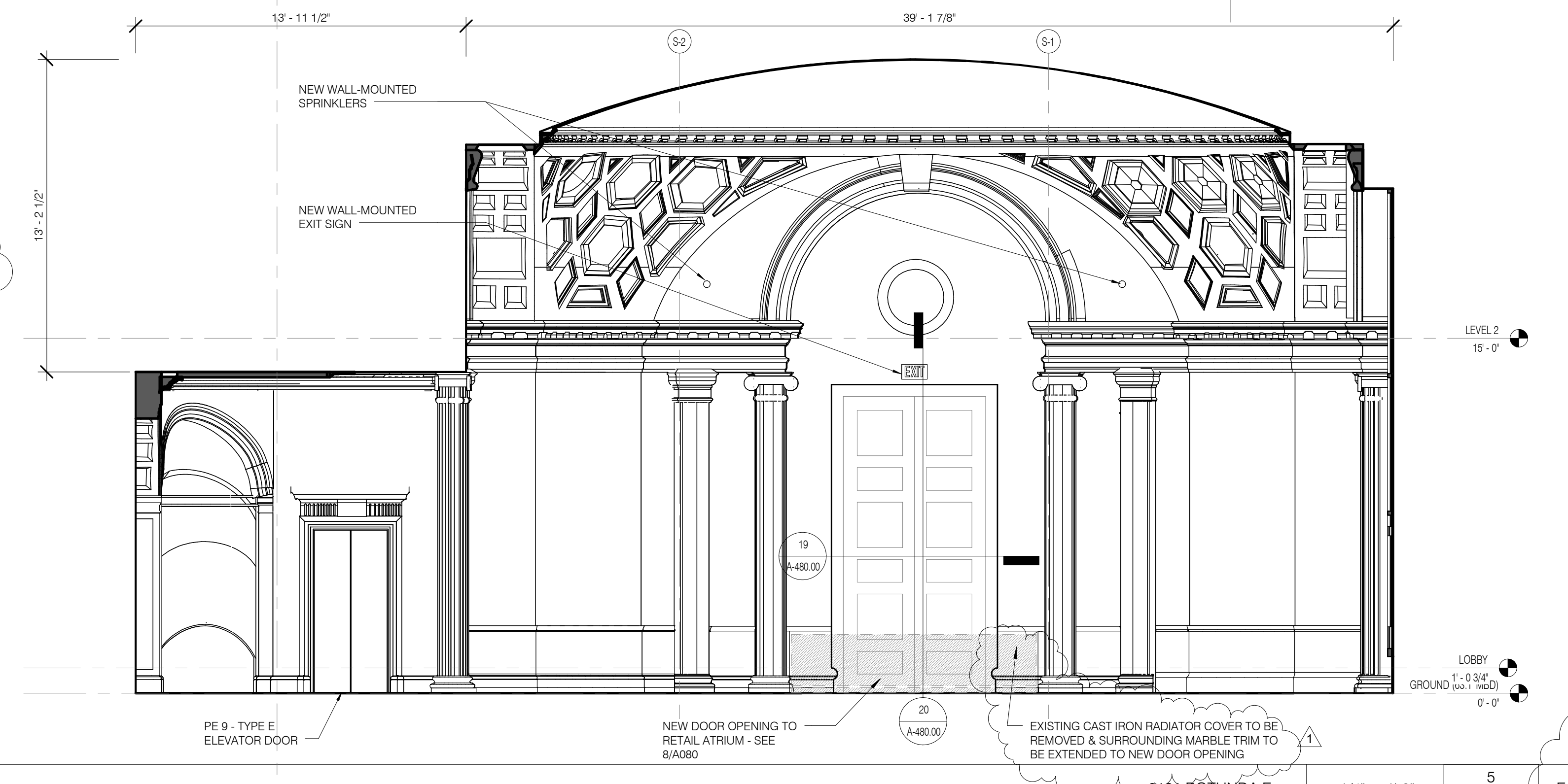
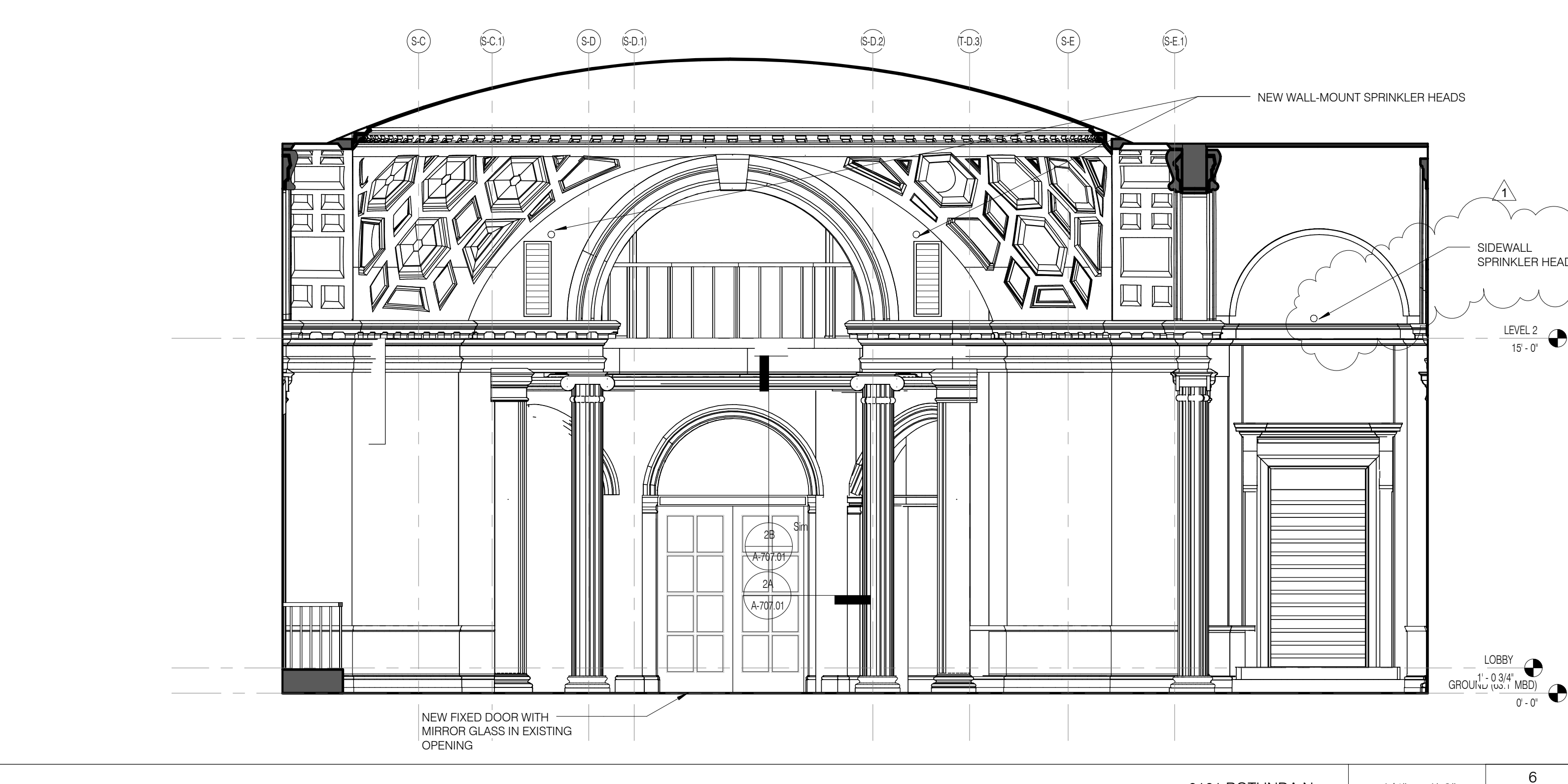
**LEVEL 1 ROTUNDA INTERIOR ELEVATIONS**

SEAL & SIGNATURE	DATE	2.20.19
PROJECT NO.	130007	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121332068	
DRAWING NUMBER	A-410.01	



0101 ROTUNDA S 1/4" = 1'-0" 8 A-410.01

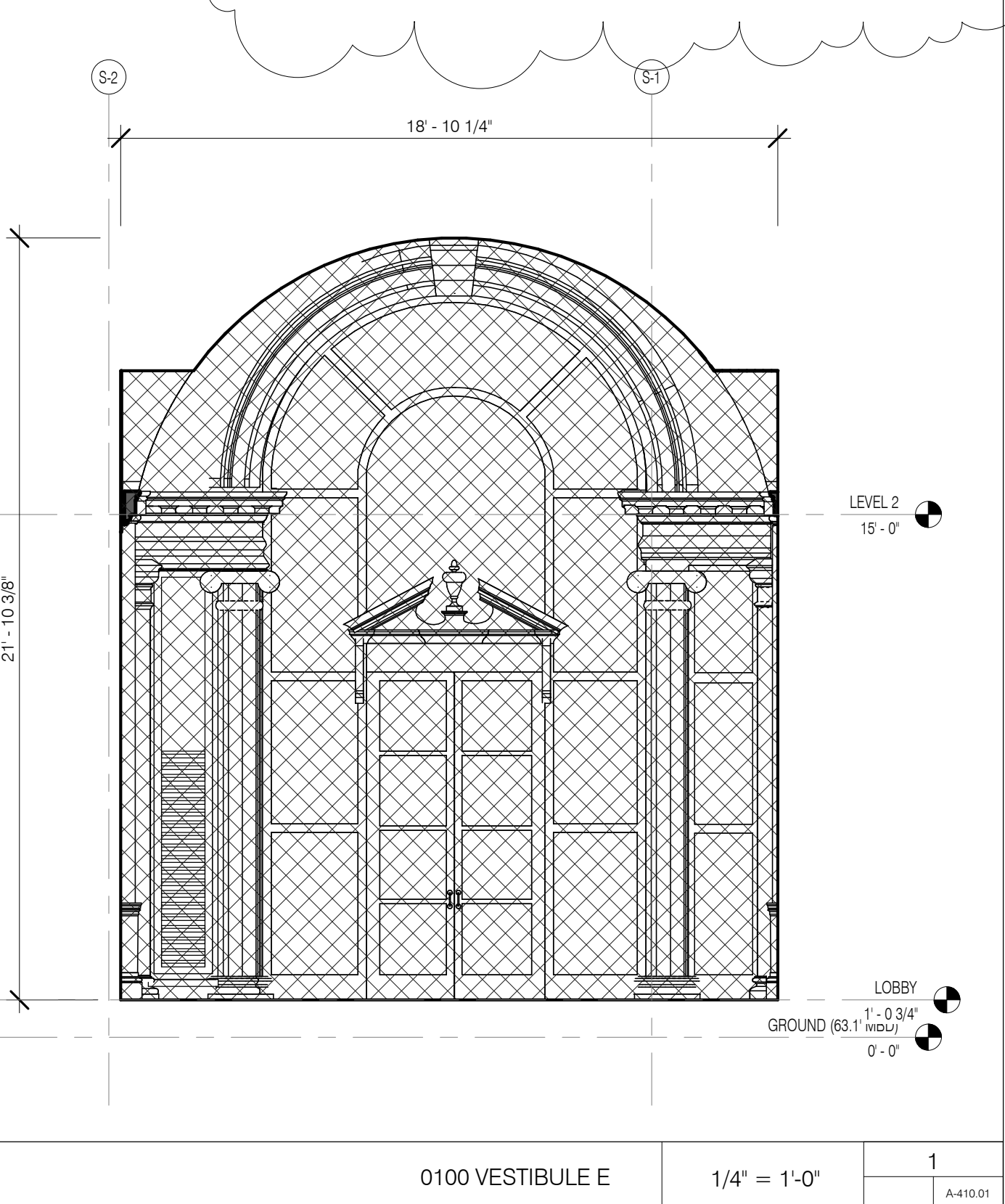
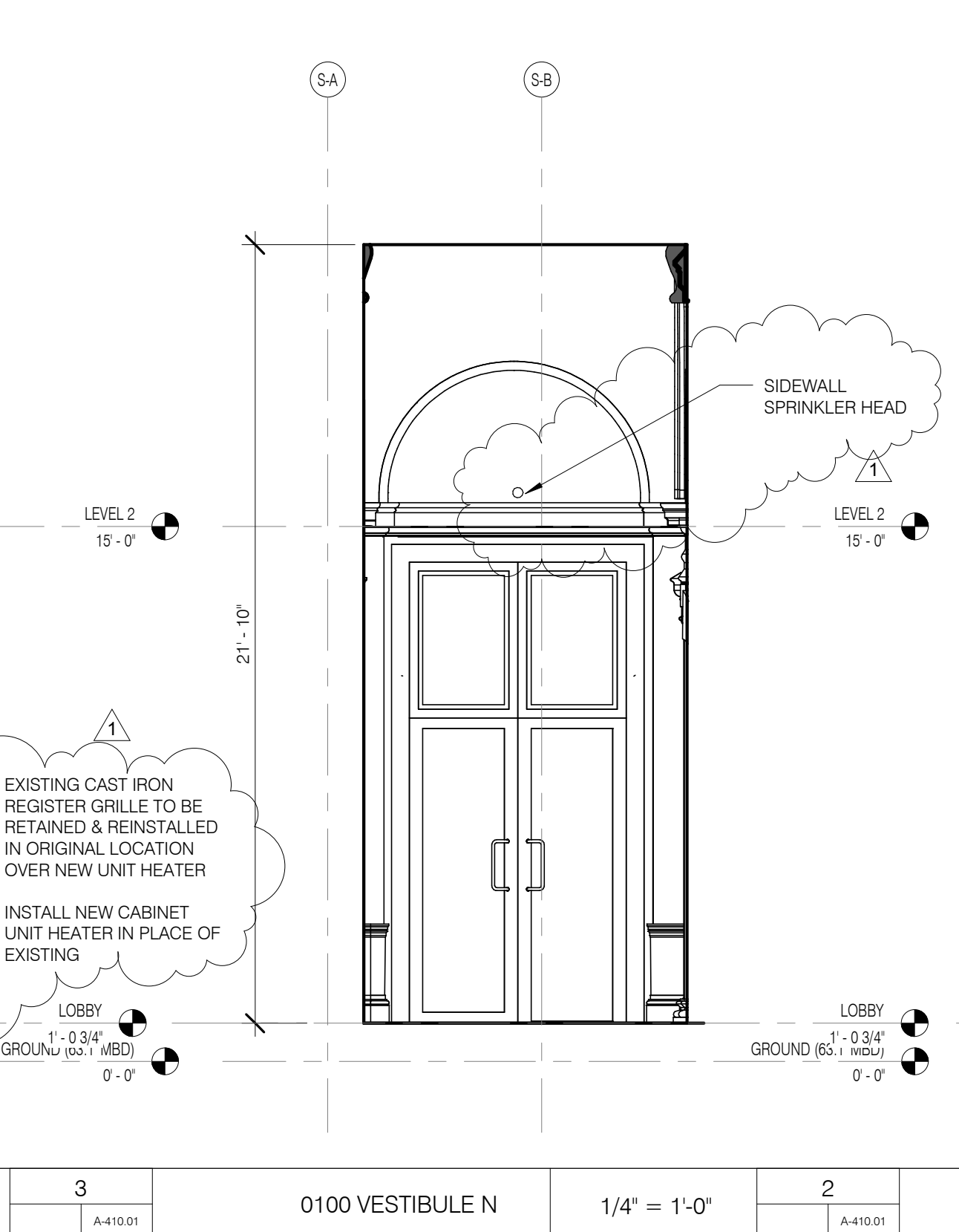
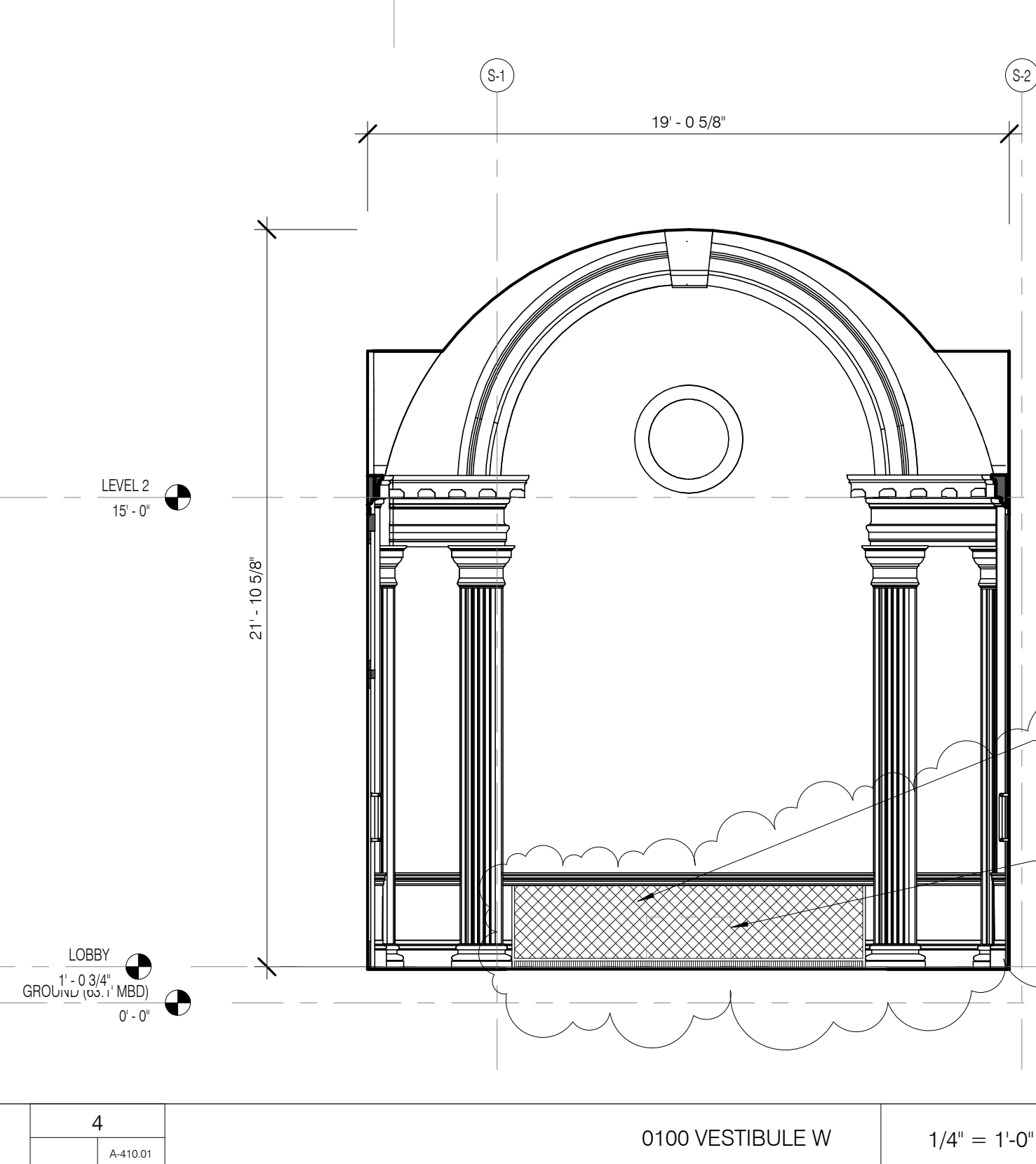
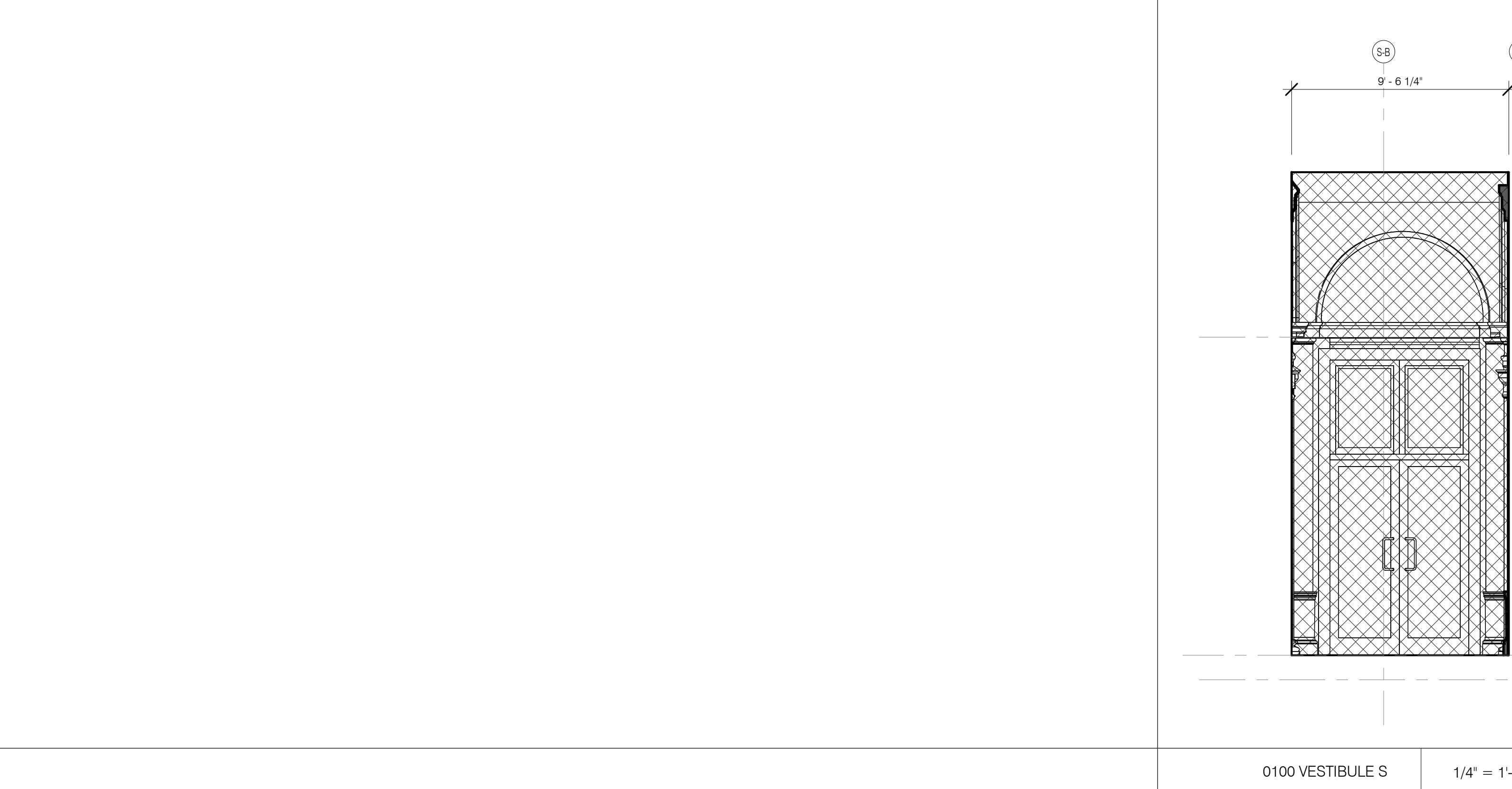
0101 ROTUNDA W 1/4" = 1'-0" 7 A-410.01



0101 ROTUNDA N 1/4" = 1'-0" 6 A-410.01

0101 ROTUNDA E 1/4" = 1'-0" 5 A-410.01

EAST ELEVATION AT EAST VESTIBULE 1/4" = 1'-0" SA A-410.01



0100 VESTIBULE S 1/4" = 1'-0" 4 A-410.01

0100 VESTIBULE W 1/4" = 1'-0" 3 A-410.01

0100 VESTIBULE N 1/4" = 1'-0" 2 A-410.01

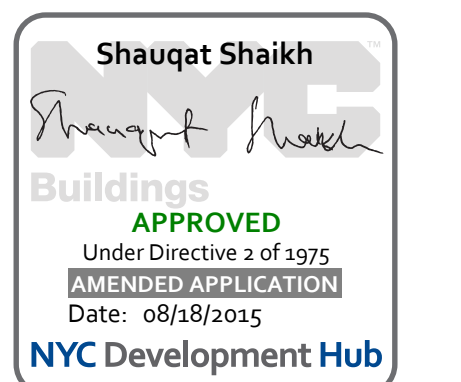
0100 VESTIBULE E 1/4" = 1'-0" 1 A-410.01

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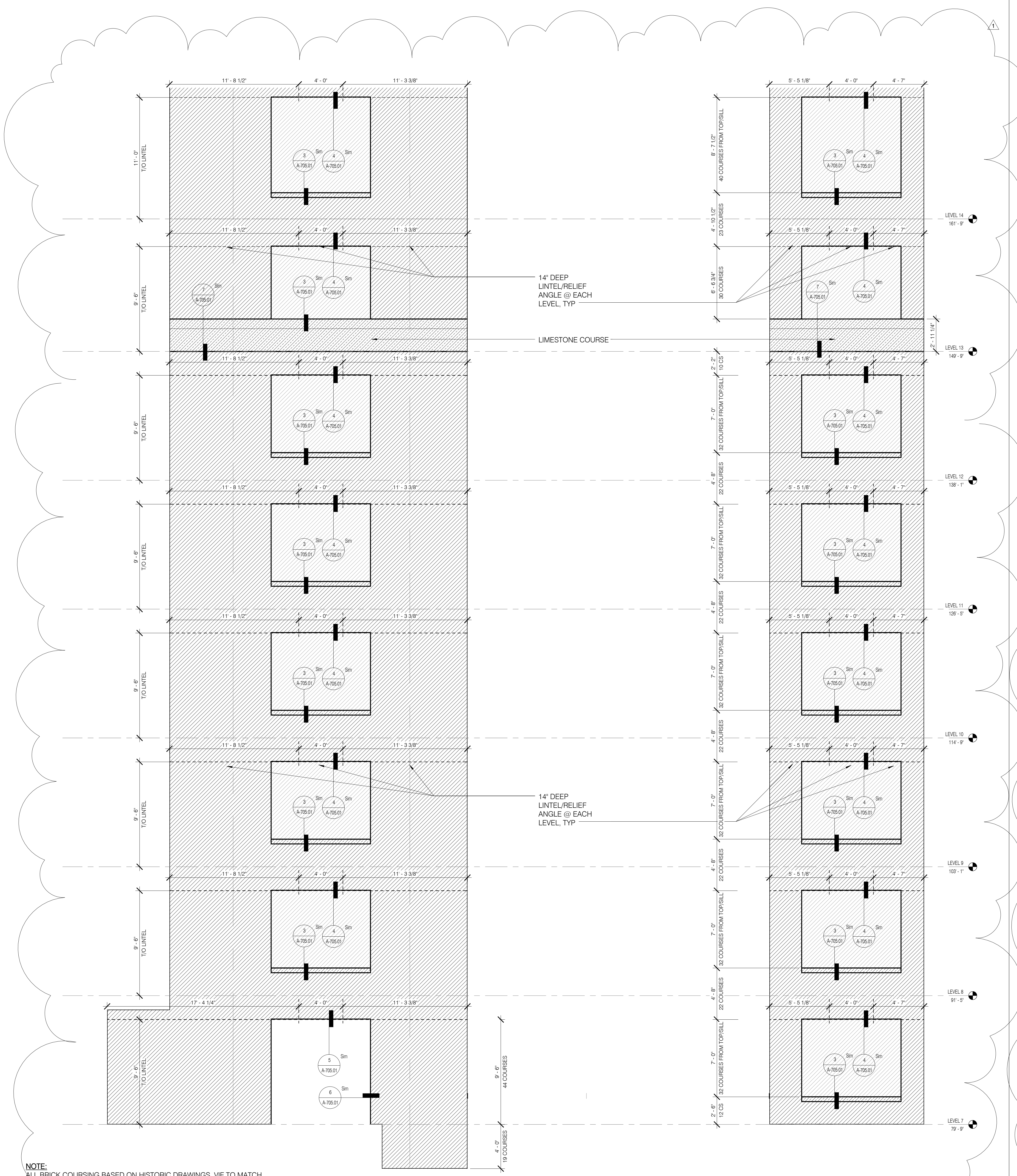
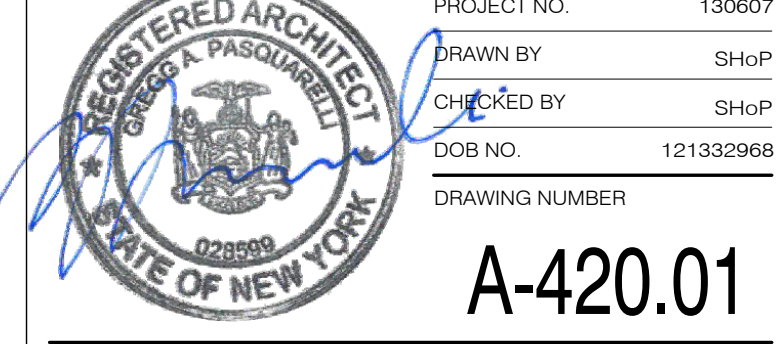
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NO.	DATE	DESCRIPTION	BY

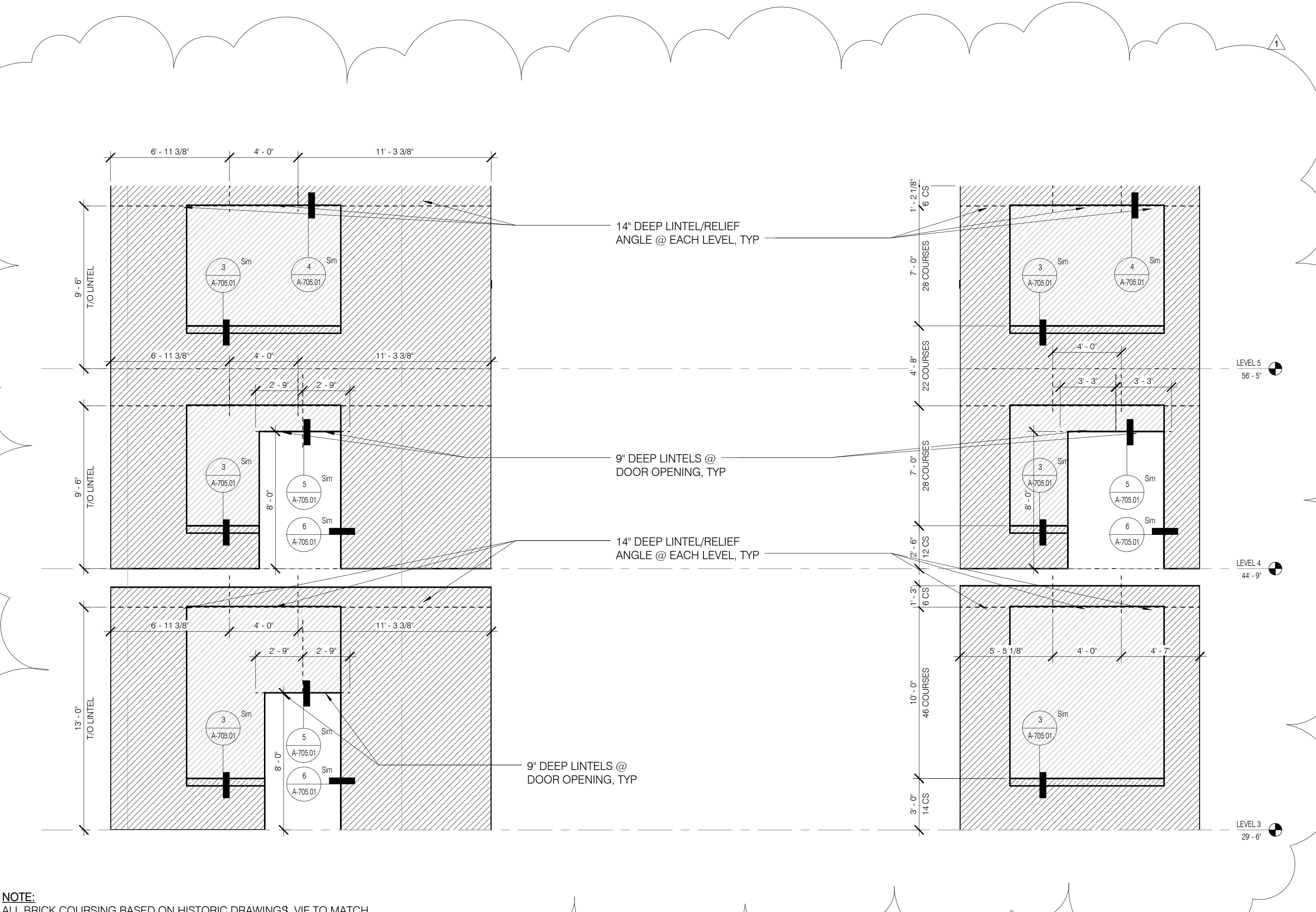
DRAWING TITLE  
**ELEVATION @ RESTORED BRICK COURTYARD WALL**

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	190007	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DCR NO.	12133266	
DRAWING NUMBER	A-420.01	



NOTE:  
ALL BRICK COURSING BASED ON HISTORIC DRAWINGS. VIF TO MATCH COURSE LEVELS

ELEVATION @ RESTORED BRICK COURTYARD WALL LEVELS 7-15  
1/4" = 1'-0"



NOTE:  
ALL BRICK COURSING BASED ON HISTORIC DRAWINGS. VIF TO MATCH COURSE LEVELS

ELEVATION @ RESTORED BRICK COURTYARD WALL LEVELS 3-5  
1/4" = 1'-0"



Unit Type	Level	Number	Name
LEVEL 5	0508A	MECHANICAL	
LEVEL 9	0533	MECH	
05A	LEVEL 9	0901.C	KITCHEN (SK1)
05A	LEVEL 9	0901.N	MASTER BATH (SMB1)
05A	LEVEL 9	0901.J	BATH 1 (SB3)
05A	LEVEL 9	0901.M	TYPE A BATH (SB1)
05A	LEVEL 9	0901.G	PR (SP1)
05A	LEVEL 9	0901.E	BATH 2 (SB4)
09B	LEVEL 9	0902.E	BATH (SB7)
09B	LEVEL 9	0902.B	KITCHEN (SK8)
09C	LEVEL 9	0903.D	BATH (SB7)
09C	LEVEL 9	0903.B	KITCHEN (SK9)
09D	LEVEL 9	0904.E	BATH (SB7)
09D	LEVEL 9	0904.B	KITCHEN (SK10)
09E	LEVEL 9	0905.C	BATH (SB7)
09E	LEVEL 9	0905.B	KITCHEN (SK11)
10A	LEVEL 10	1001.D	KITCHEN (SK1)
10A	LEVEL 10	1001.V	MASTER BATH (SMB1)
10A	LEVEL 10	1001.W	BATH 1 (SB3)
10A	LEVEL 10	1001.X	TYPE A BATH (SB1)
10A	LEVEL 10	1001.Y	PR (SP1)
10A	LEVEL 10	1001.D	BATH 2 (SB4)
10B	LEVEL 10	1002.Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002.H	TYPE A BATH (SB1)
10B	LEVEL 10	1002.L	BATH 2 (SB3)
10B	LEVEL 10	1002.C	KITCHEN (SK2)
11A	LEVEL 11	1101.N	MASTER BATH (SMB1)
11A	LEVEL 11	1101.J	TYPE A BATH (SB1)
11A	LEVEL 11	1101.G	PR (SP1)
11A	LEVEL 11	1101.M	BATH 1 (SB3)
11A	LEVEL 11	1101.C	KITCHEN (SK3)
11A	LEVEL 11	1101.E	BATH 2 (SB4)
11B	LEVEL 11	1102.Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102.H	TYPE A BATH (SB1)
11B	LEVEL 11	1102.L	BATH 2 (SB3)
11B	LEVEL 11	1102.C	KITCHEN (SK2)
11B	LEVEL 11	1102.B	PR (SP1)
13A	LEVEL 13	1301.N	MASTER BATH (SMB3)
13A	LEVEL 13	1301.C	KITCHEN (SK4)
13A	LEVEL 13	1301.L	BATH 2 (SB3)
13A	LEVEL 13	1301.H	TYPE A BATH (SB1)
13A	LEVEL 13	1301.E	PR (SP2)
13B	LEVEL 13	1302.G	MASTER BATH (SMB4)
13B	LEVEL 13	1302.F	TYPE A BATH (SB1)
13B	LEVEL 13	1302.B	PR (SP3)
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14A	LEVEL 14	1401.C	MASTER BATH (SMB5)
14A	LEVEL 14	1401.H	KITCHEN (SK6)
14A	LEVEL 14	1401.E	TYPE A BATH (SB1)
14A	LEVEL 14	1401.U	BATH 2 (SB5)
14A	LEVEL 14	1401.M	PR (SP2)
14B	LEVEL 14	1402.K	MASTER BATH (SMB4)
14B	LEVEL 14	1402.H	TYPE A BATH (SB1)
14B	LEVEL 14	1402.B	PR (SP3)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601.B	PR (SP3)
16PH	LEVEL 16.0	1601.M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601.Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601.H	KITCHEN
16PH	LEVEL 16.0	1601.S	POWDER (SP3)
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0505.A	UNISEX WC (U-5A)
NR2	LEVEL 5	0505.C	UNISEX WC (U-5C)
NR2	LEVEL 5	0505.A	UNISEX WC (U-5B)
NR2	LEVEL 5	0505.D	UNISEX WC (U-5B)
RC	LEVEL 7	0720.A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC(U-7A)
RC	LEVEL 7	0716.D	WC (U-7B)
RC	GROUND	0103.B	UNISEX WC (U-1B)
RC	LEVEL 7	0716.A	WC (U-7D)
RC	LEVEL 7	0716.C	WC (U-7A)

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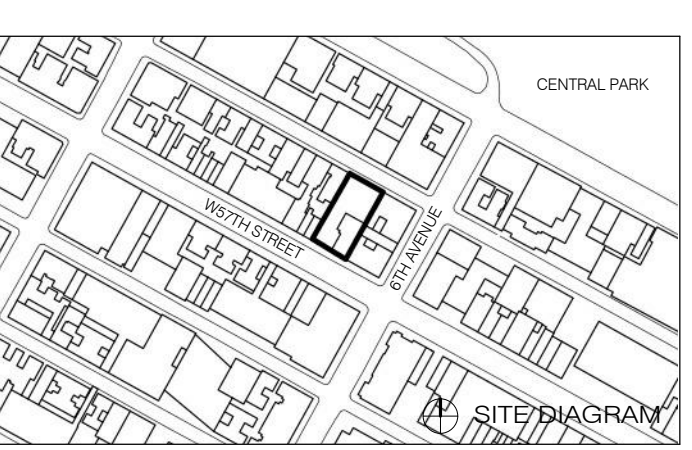


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**Shauqat Shaikh**  
 Building  
 APPROVED  
 Under Directive 2 of 1975  
 Date: 08/25/2015  
 NYC Development Hub

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 NEW YORK, NY 10019

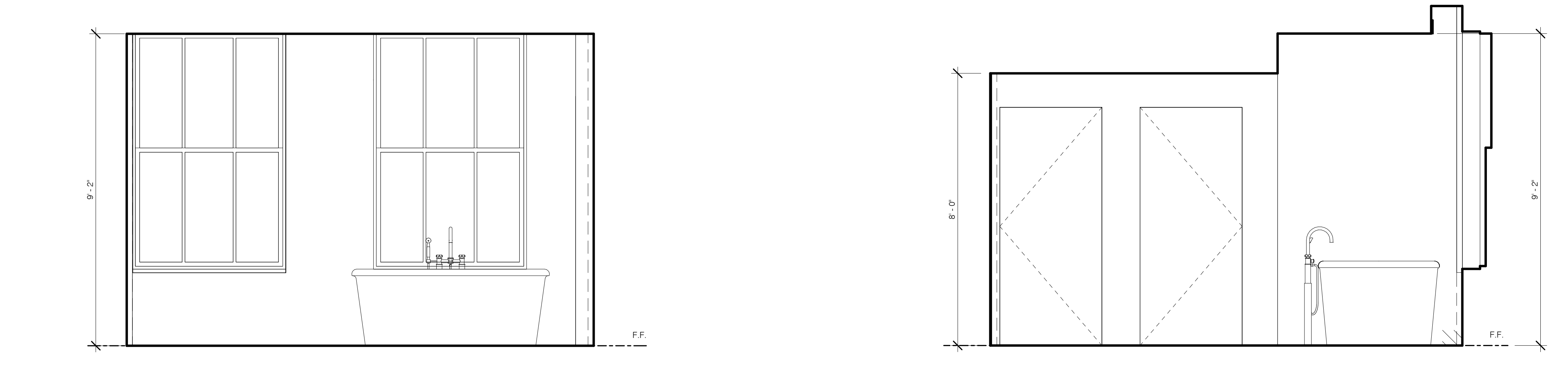
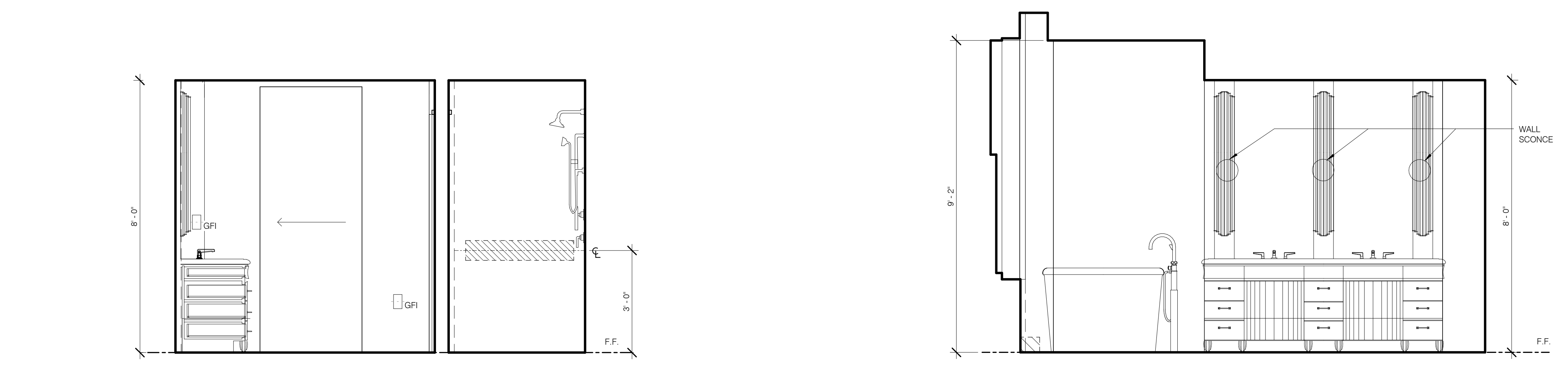
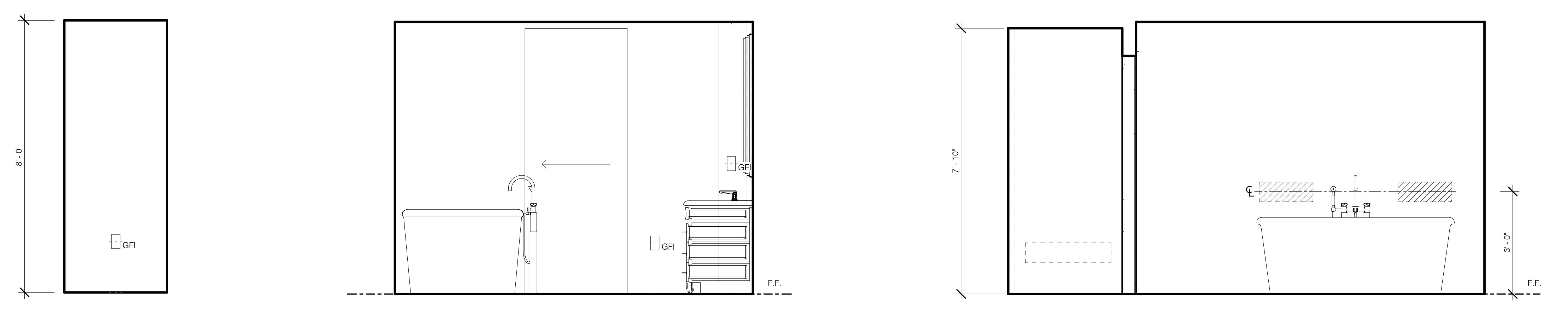
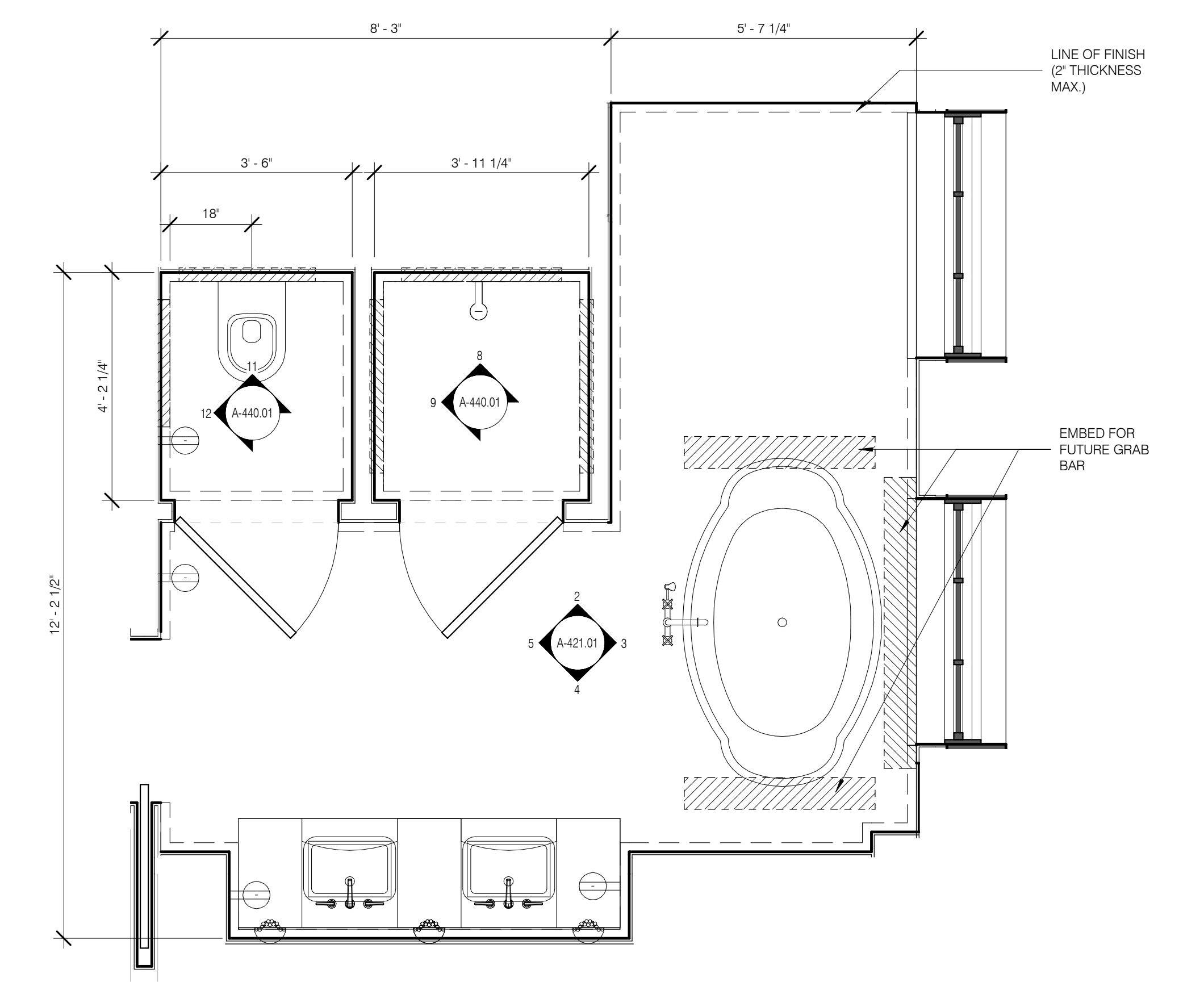
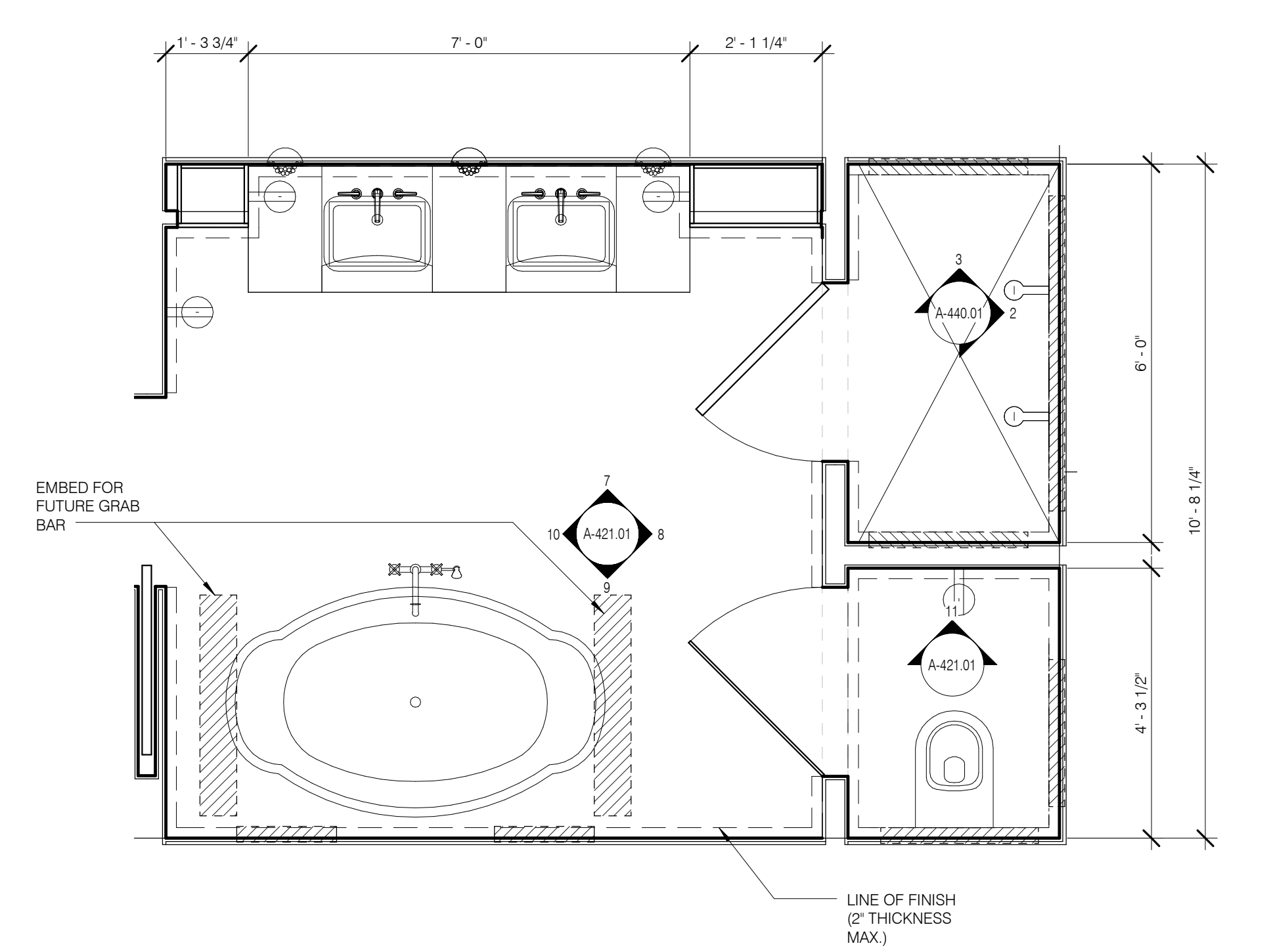


NO.	DATE	REVISION
1	3.27.15	DOB PAA
2	5.1.14	DOB PLING SET

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**BATHROOMS - STEINWAY ENLARGED PLANS AND ELEVATIONS**

DATE: 9.27.15  
 PROJECT NO: 130007  
 DRAWN BY: SHAP  
 CHECKED BY: SHAP  
 DOB NO: 121932066  
 DRAWING NUMBER: A-421.01



SMB-2 MASTER BATH N1 1/2" = 1'-0" 11  
 SMB-2 MASTER BATH W 1/2" = 1'-0" 10  
 SMB-2 MASTER BATH S 1/2" = 1'-0" 9

SMB-2 MASTER BATH E 1/2" = 1'-0" 8  
 SMB-2 MASTER BATH N 1/2" = 1'-0" 7  
 SMB-2 MASTER BATH (TYP.) 1/2" = 1'-0" 6

SMB-1 MASTER BATH W 1/2" = 1'-0" 5  
 SMB-1 MASTER BATH S 1/2" = 1'-0" 4

SMB-1 MASTER BATH E 1/2" = 1'-0" 3  
 SMB-1 MASTER BATH N 1/2" = 1'-0" 2  
 SMB-1 MASTER BATH (TYP.) 1/2" = 1'-0" 1

FOR ALL BATHROOM MILLWORK SEE INTERIOR DESIGN PACKAGE



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 SHIP ARCHITECTS P.C.  
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 VSP CONSULTING  
 100 W. 42ND STREET, SUITE 204  
 NEW YORK, NY 10018  
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**M/E/P ENGINEER**  
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**CIVIL ENGINEER**  
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**INTERIORS**  
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 VAN DEUSEN & ASSOCIATES  
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**PROPERTY MARKETS GROUP**  
 100 W. 42ND STREET, 11TH FLOOR  
 NEW YORK, NY 10018  
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**DOB PAA**

**Shauqat Shaikh**  
 Building  
 APPROVED  
 Under Directive 2 of 1975  
 DATED 08/25/2015  
 NYC Development Hub

**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
 NEW YORK, NY 10019

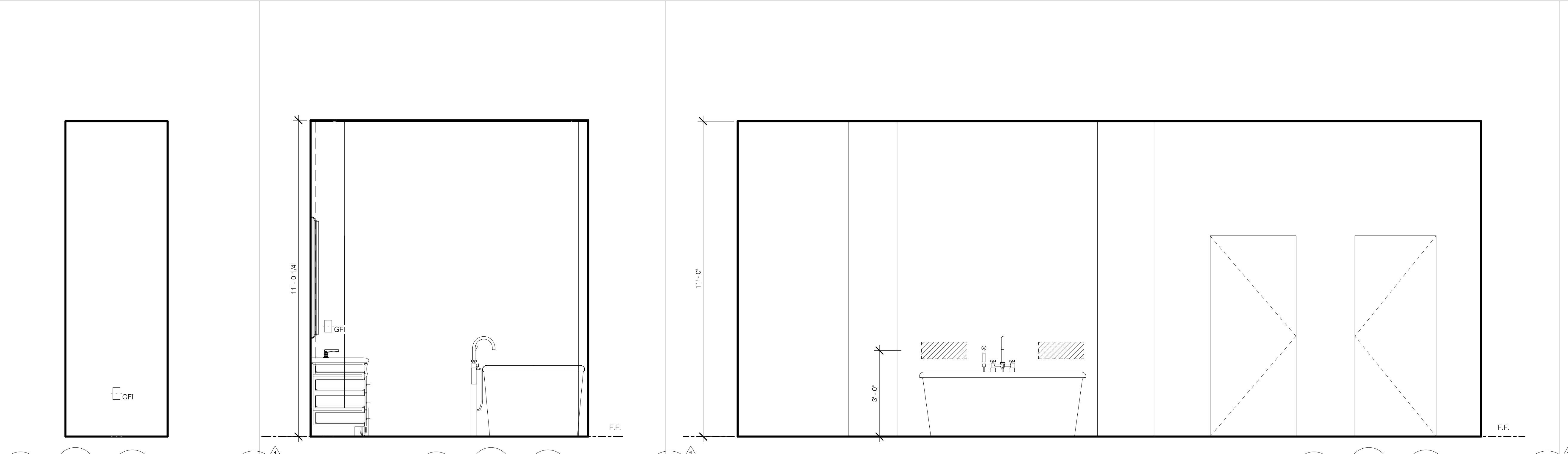
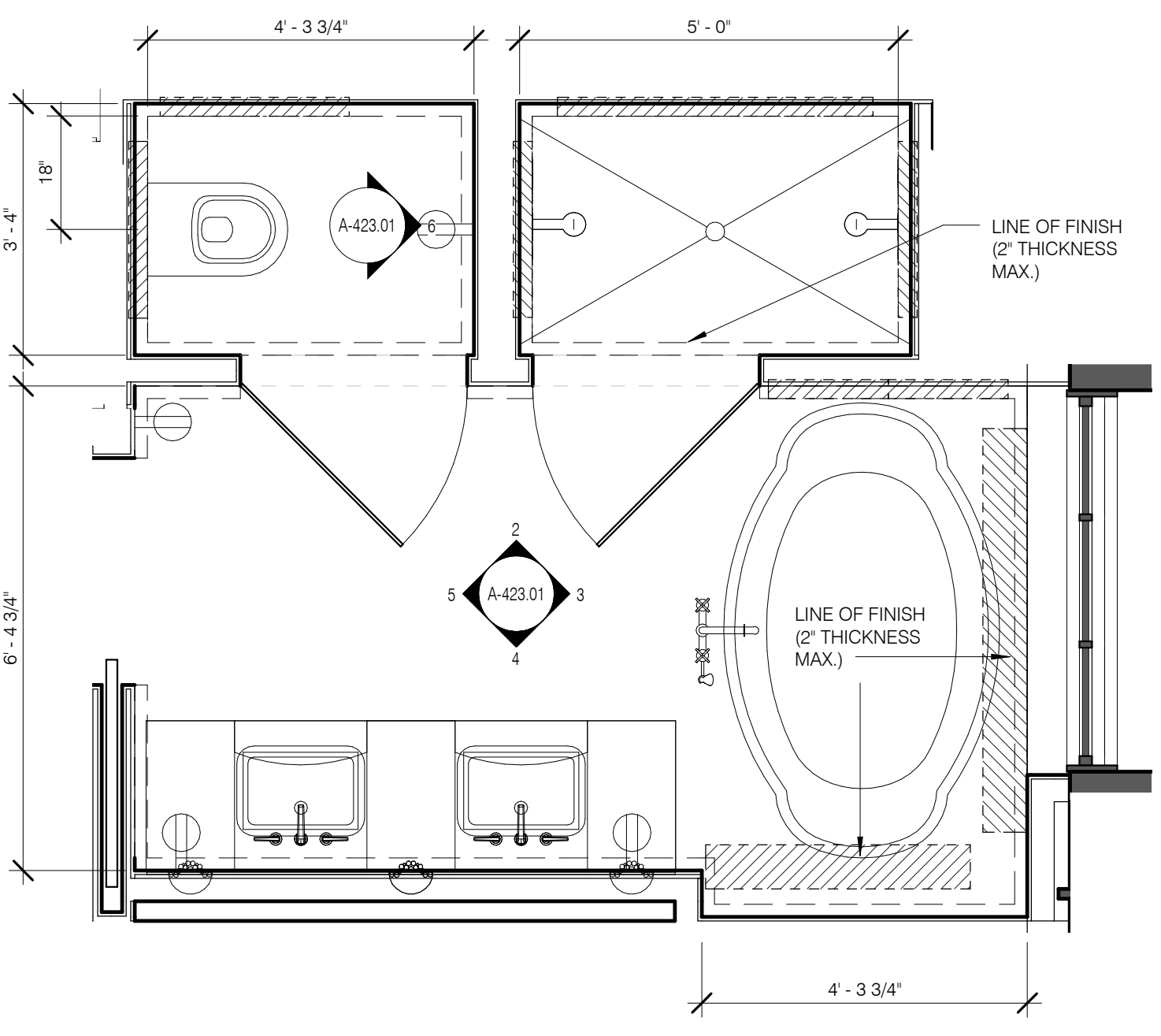
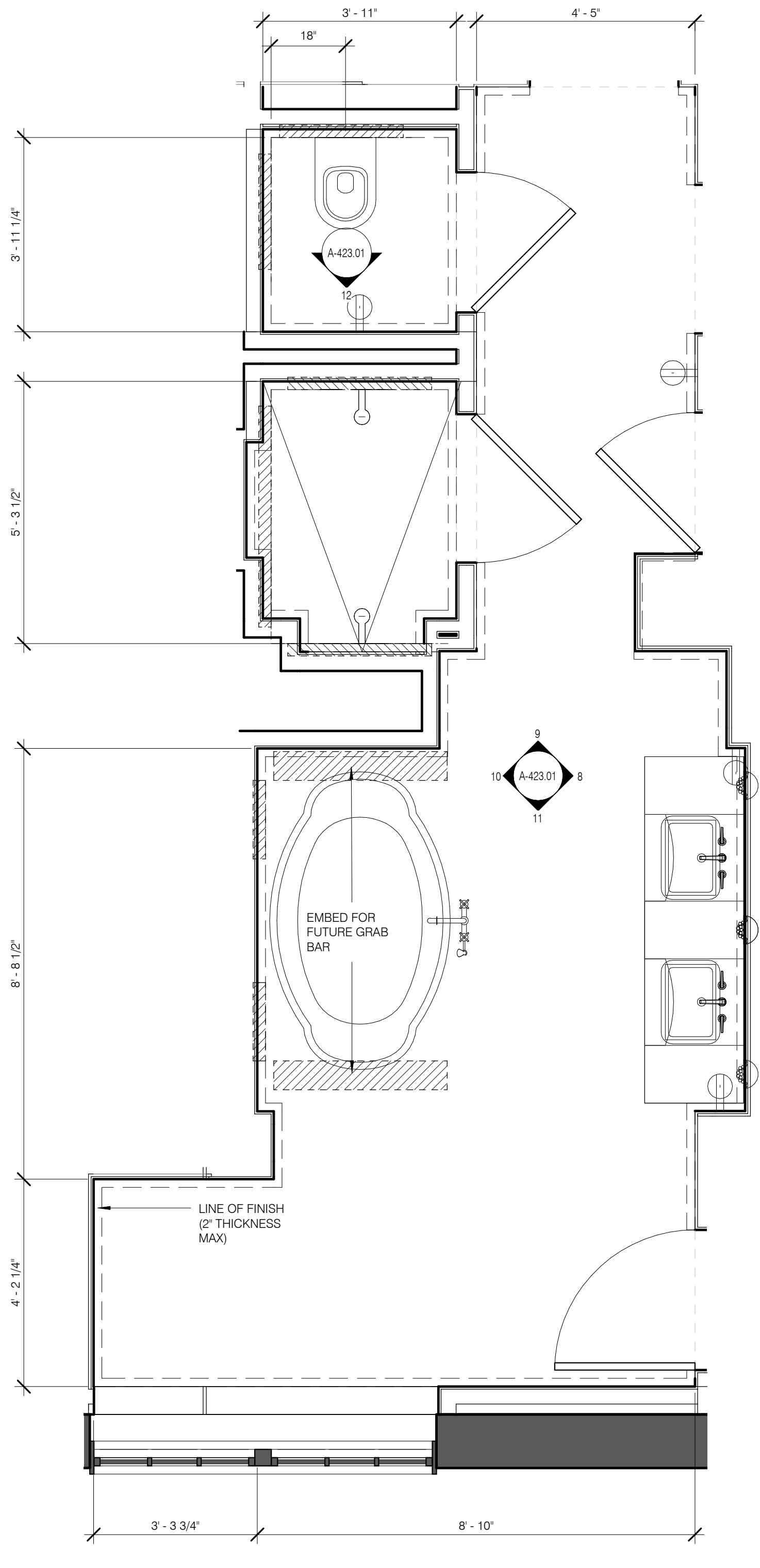


NO.	DATE	REVISION
1	3.27.15	DOB PAA

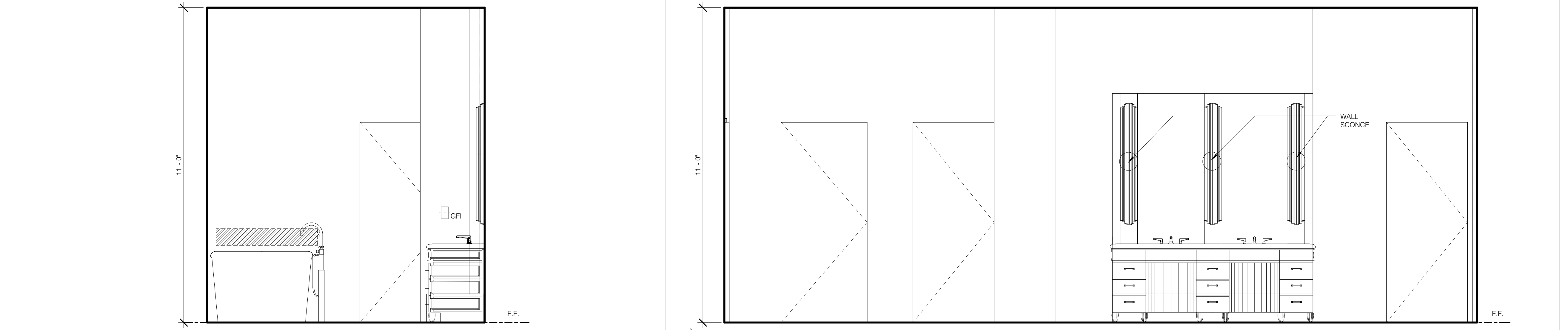
**BATHROOMS - STEINWAY ENLARGED PLANS AND ELEVATIONS**

DATE: 3.27.15  
 PROJECT NO: 130007  
 DRAWN BY: SHP  
 CHECKED BY: SHP  
 DATE: 08/25/2015  
 JOB NO: 12193068  
 DRAWING NUMBER: A-423.01

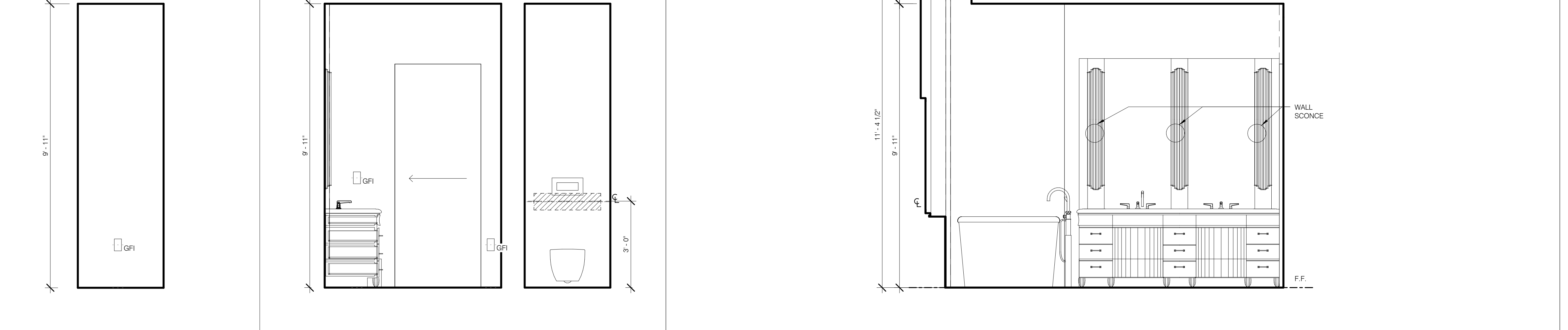
Unit Type	Level	Number	Name
	LEVEL 5	0506A	MECHANICAL
	LEVEL 9	0633	MECH
05A	LEVEL 9	0901.C	KITCHEN (SK1)
05A	LEVEL 9	0901.N	MASTER BATH (SMB1)
05A	LEVEL 9	0901.J	BATH 1 (SB3)
05A	LEVEL 9	0901.M	TYPE A BATH (SB1)
05A	LEVEL 9	0901.G	PR (SP1)
05A	LEVEL 9	0901.E	BATH 2 (SB4)
09B	LEVEL 9	0902.E	BATH (SB7)
09B	LEVEL 9	0902.B	KITCHEN (SK8)
09C	LEVEL 9	0903.D	BATH (SB7)
09C	LEVEL 9	0903.B	KITCHEN (SK9)
09D	LEVEL 9	0904.E	BATH (SB7)
09D	LEVEL 9	0904.B	KITCHEN (SK10)
09E	LEVEL 9	0905.C	BATH (SB7)
09E	LEVEL 9	0905.B	KITCHEN (SK11)
10A	LEVEL 10	1001.D	KITCHEN (SK1)
10A	LEVEL 10	1001.V	MASTER BATH (SMB1)
10A	LEVEL 10	1001.W	BATH 1 (SB3)
10A	LEVEL 10	1001.X	TYPE A BATH (SB1)
10A	LEVEL 10	1001.Y	PR (SP1)
10A	LEVEL 10	1001.D	BATH 2 (SB4)
10B	LEVEL 10	1002.Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002.H	TYPE A BATH (SB1)
10B	LEVEL 10	1002.L	BATH 2 (SB3)
10B	LEVEL 10	1002.B	PR (SP3)
10B	LEVEL 10	1002.C	KITCHEN (SK2)
11A	LEVEL 11	1101.N	MASTER BATH (SMB1)
11A	LEVEL 11	1101.J	TYPE A BATH (SB1)
11A	LEVEL 11	1101.G	PR (SP1)
11A	LEVEL 11	1101.M	BATH 1 (SB6)
11A	LEVEL 11	1101.C	KITCHEN (SK3)
11A	LEVEL 11	1101.E	BATH 2 (SB4)
11B	LEVEL 11	1102.Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102.H	TYPE A BATH (SB1)
11B	LEVEL 11	1102.J	KITCHEN (SK2)
11B	LEVEL 11	1102.B	PR (SP3)
13A	LEVEL 13	1301.N	MASTER BATH (SMB3)
13A	LEVEL 13	1301.C	KITCHEN (SK4)
13A	LEVEL 13	1301.L	BATH 2 (SB2)
13A	LEVEL 13	1301.H	TYPE A BATH (SB1)
13A	LEVEL 13	1301.E	PR (SP2)
13B	LEVEL 13	1302.G	MASTER BATH (SMB4)
13B	LEVEL 13	1302.F	TYPE A BATH (SB1)
13B	LEVEL 13	1302.B	PR (SP3)
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14A	LEVEL 14	1401.C	MASTER BATH (SMB5)
14A	LEVEL 14	1401.H	KITCHEN (SK6)
14A	LEVEL 14	1401.E	TYPE A BATH (SB1)
14A	LEVEL 14	1401.U	BATH 2 (SB5)
14A	LEVEL 14	1401.M	PR (SP2)
14B	LEVEL 14	1402.K	MASTER BATH (SMB4)
14B	LEVEL 14	1402.H	TYPE A BATH (SB1)
14B	LEVEL 14	1402.B	PR (SP3)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601.B	PR (SP3)
16PH	LEVEL 16.0	1601.M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601.Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601.H	KITCHEN
16PH	LEVEL 16.0	1601.S	POWDER (SP3)
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0506.A	UNISEX WC (U-5A)
NR2	LEVEL 5	0506.C	UNISEX WC (U-5C)
NR2	LEVEL 5	0506.A	UNISEX WC (U-5B)
NR2	LEVEL 5	0506.D	UNISEX WC (U-5B)
RC	LEVEL 7	0720.A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC(U-7A)
RC	LEVEL 7	0716.D	WC (U-7B)
RC	GROUND	0103.B	UNISEX WC (U-1B)
RC	LEVEL 7	0716.A	WC (U-7D)
RC	LEVEL 7	0716.C	WC (U-7A)



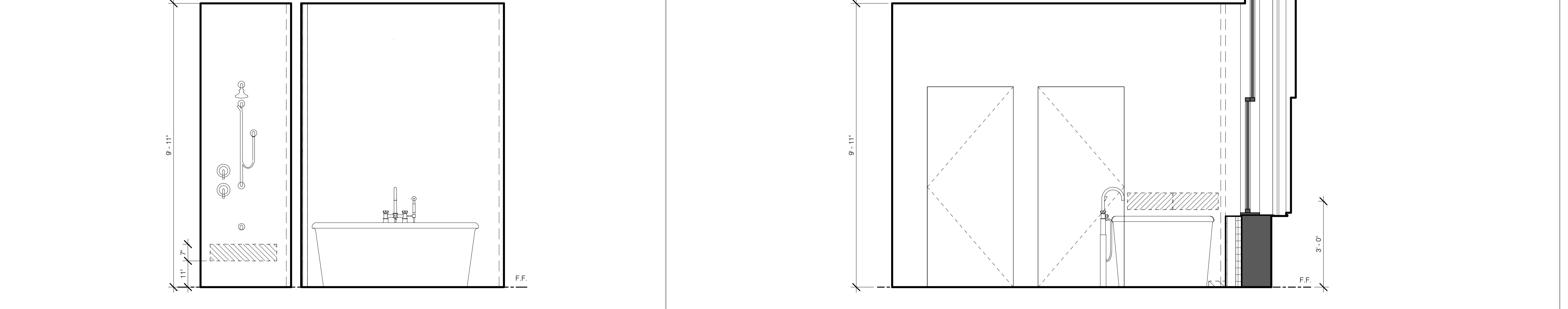
SMB-6 MASTER BATH S1 1/2" = 1'-0" 12  
 SMB-6 MASTER BATH S 1/2" = 1'-0" 11  
 SMB-6 MASTER BATH W 1/2" = 1'-0" 10



SMB-6 MASTER BATH N 1/2" = 1'-0" 9  
 SMB-6 MASTER BATH E 1/2" = 1'-0" 8

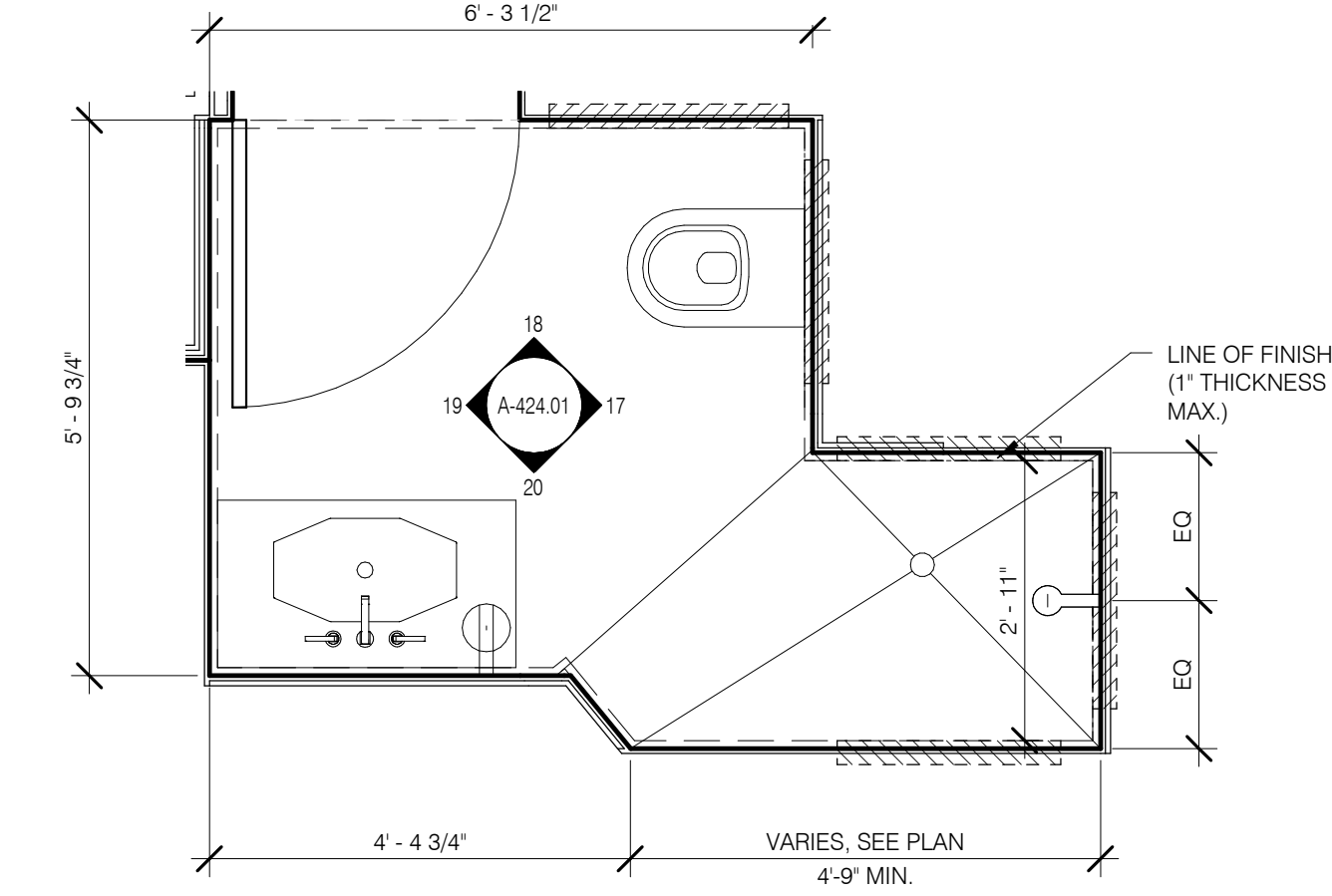
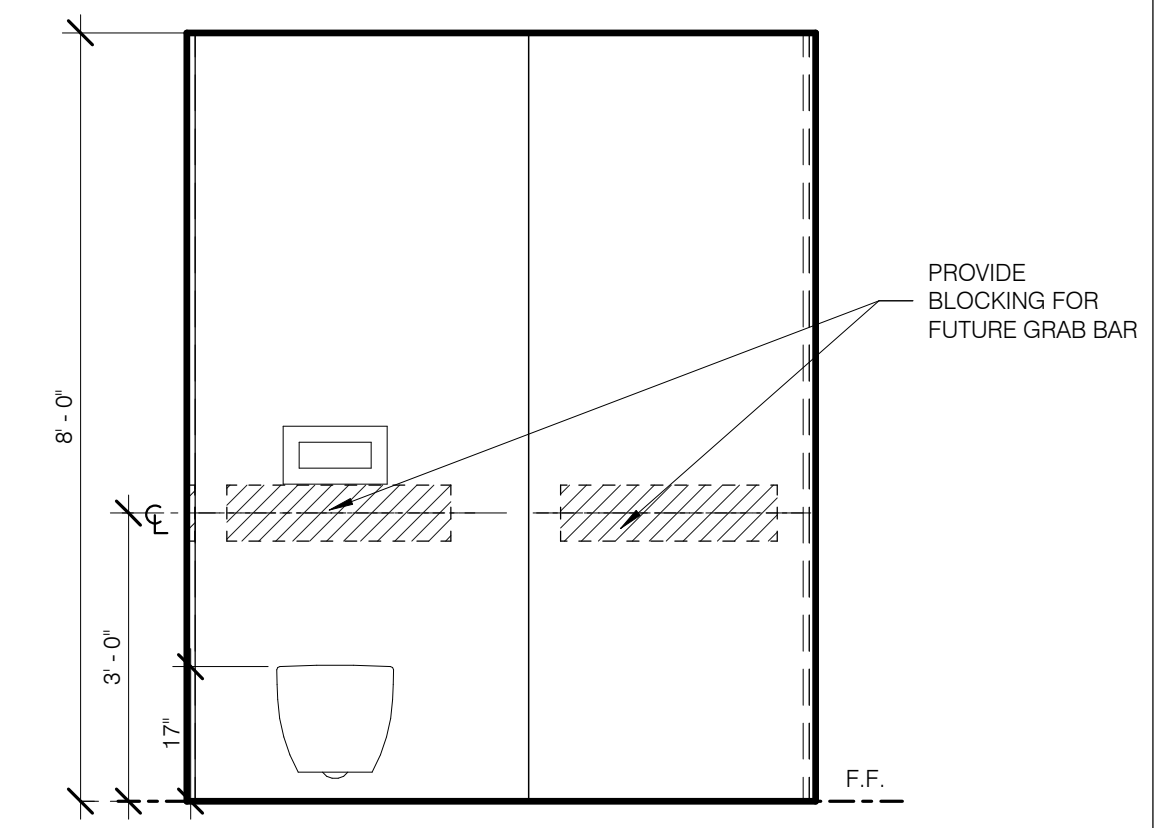
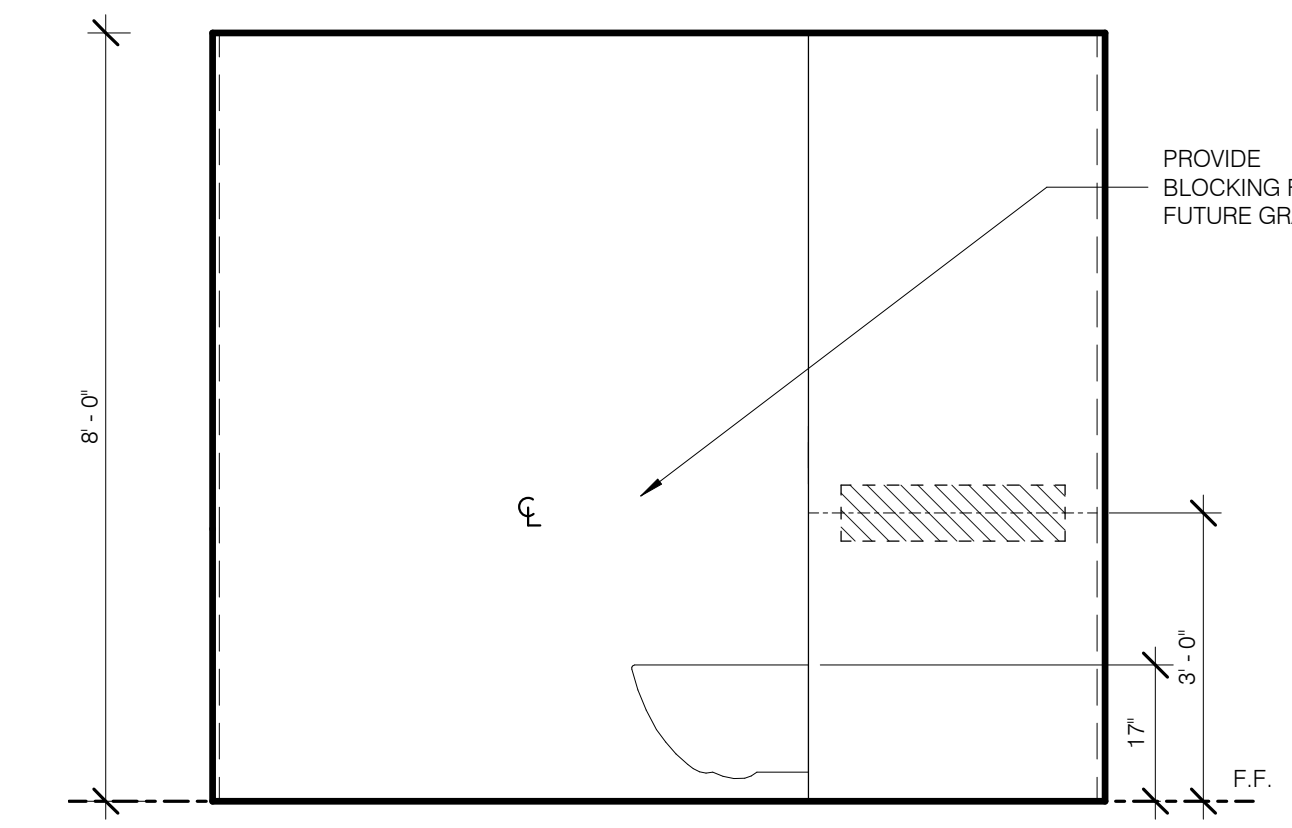
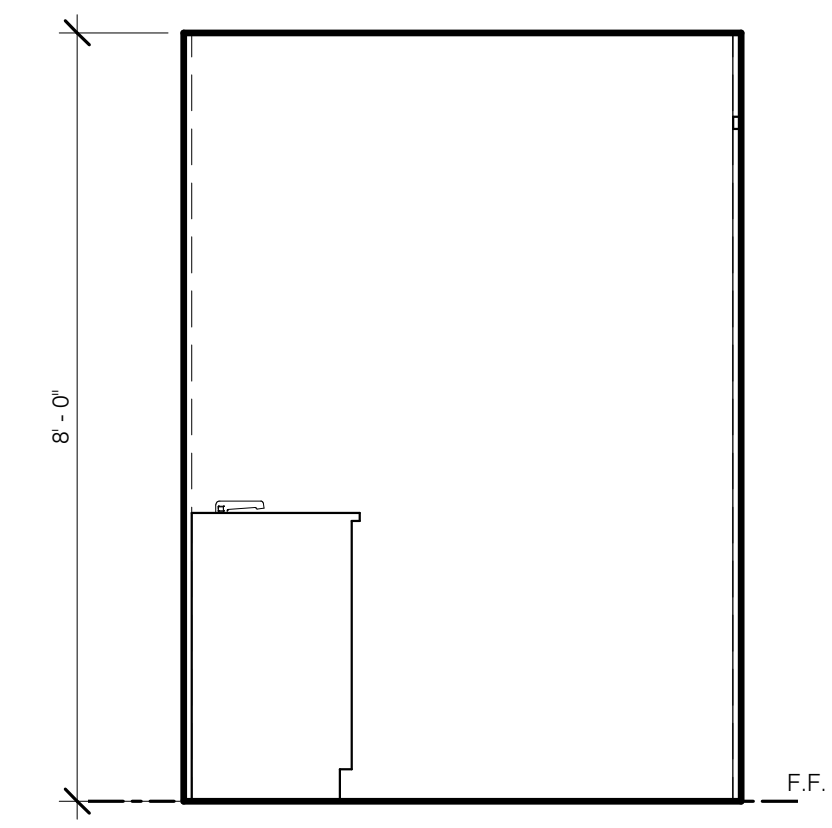
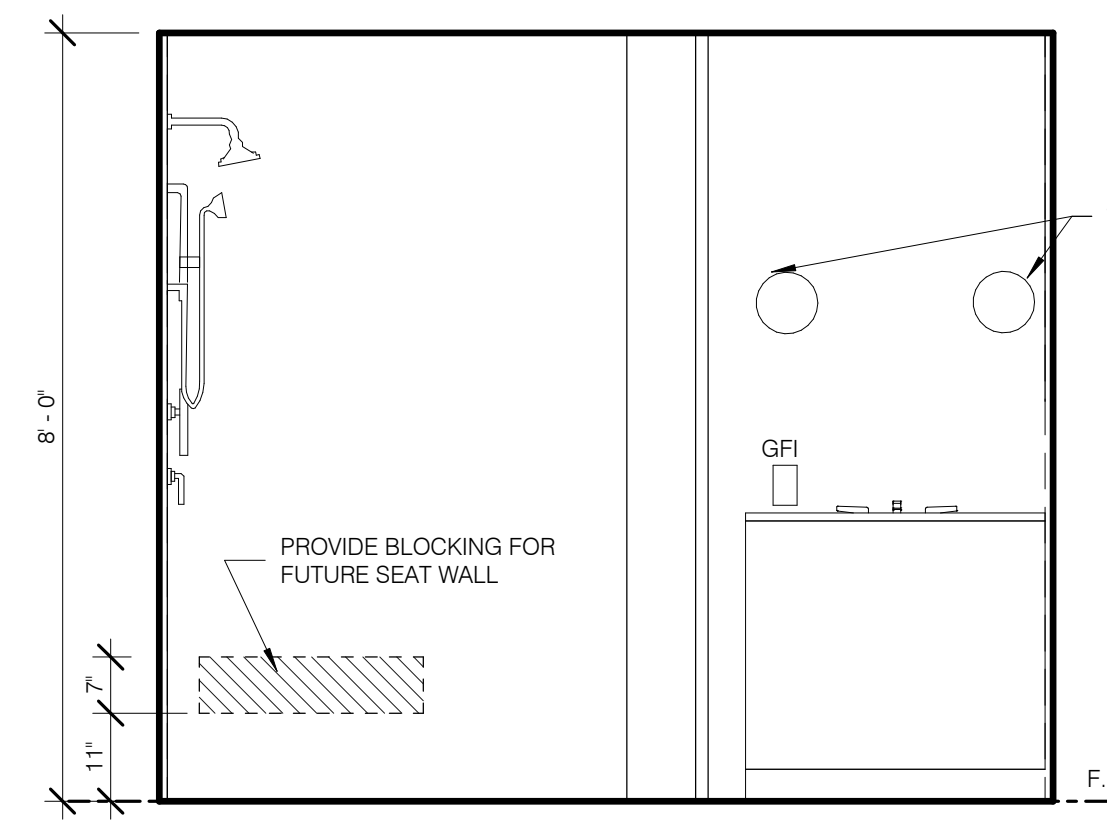


SMB-5 MASTER BATH E1 1/2" = 1'-0" 6  
 SB-5 MASTER BATH W 1/2" = 1'-0" 5  
 SMB-5 MASTER BATH S 1/2" = 1'-0" 4



SMB-5 MASTER BATH E 1/2" = 1'-0" 3  
 SMB-5 MASTER BATH N 1/2" = 1'-0" 2

SMB-5 MASTER BATH 1/2" = 1'-0" 1



BATHROOM TYPES BY UNIT - STEINWAY

Unit Type	Level	Number	Name
LEVEL 5	0509A	MECHANICAL	
LEVEL 9	0933	MECH	
09A	LEVEL 9	0901 C	KITCHENETTE (SK1)
09A	LEVEL 9	0901 M	MASTER BATH (SMB1)
09A	LEVEL 9	0901 J	BATH 1 (SB3)
09A	LEVEL 9	0901 M	TYPE A BATH (SB1)
09A	LEVEL 9	0901 G	PR (SP1)
09A	LEVEL 9	0901 E	BATH 2 (SB4)
09B	LEVEL 9	0902 E	BATH (SB7)
09B	LEVEL 9	0902 B	KITCHENETTE (SK8)
09C	LEVEL 9	0903 D	BATH (SB7)
09C	LEVEL 9	0903 B	KITCHENETTE (SK9)
09D	LEVEL 9	0904 E	BATH (SB7)
09D	LEVEL 9	0904 B	KITCHENETTE (SK10)
09E	LEVEL 9	0905 C	BATH (SB7)
09E	LEVEL 9	0905 B	KITCHENETTE (SK11)
10A	LEVEL 10	1001 Q	KITCHENETTE (SK1)
10A	LEVEL 10	1001 V	MASTER BATH (SMB1)
10A	LEVEL 10	1001 W	BATH 1 (SB3)
10A	LEVEL 10	1001 X	TYPE A BATH (SB1)
10A	LEVEL 10	1001 Y	PR (SP1)
10A	LEVEL 10	1001 D	BATH 2 (SB4)
10B	LEVEL 10	1002 Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002 H	TYPE A BATH (SB1)
10B	LEVEL 10	1002 L	BATH 2 (SB3)
10B	LEVEL 10	1002 B	PR (SP3)
10B	LEVEL 10	1002 C	KITCHENETTE (SK2)
11A	LEVEL 11	1101 N	MASTER BATH (SMB1)
11A	LEVEL 11	1101 J	TYPE A BATH (SB1)
11A	LEVEL 11	1101 G	PR (SP1)
11A	LEVEL 11	1101 M	BATH 1 (SB6)
11A	LEVEL 11	1101 C	KITCHENETTE (SK3)
11A	LEVEL 11	1101 E	BATH 2 (SB4)
11B	LEVEL 11	1102 Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102 H	TYPE A BATH (SB1)
11B	LEVEL 11	1102 L	BATH (SB3)
11B	LEVEL 11	1102 C	KITCHENETTE (SK2)
11B	LEVEL 11	1102 B	PR (SP3)
13A	LEVEL 13	1301 N	MASTER BATH (SMB3)
13A	LEVEL 13	1301 C	KITCHEN (SK4)
13A	LEVEL 13	1301 L	BATH 2 (SB2)
13A	LEVEL 13	1301 H	TYPE A BATH (SB1)
13A	LEVEL 13	1301 E	PR (SP2)
13B	LEVEL 13	1302 G	MASTER BATH (SMB4)
13B	LEVEL 13	1302 F	TYPE A BATH (SB1)
13B	LEVEL 13	1302 B	PR (SP3)
13B	LEVEL 13	1302 C	KITCHEN (SK5)
14A	LEVEL 14	1401 C	MASTER BATH (SMB5)
14A	LEVEL 14	1401 H	KITCHEN (SK6)
14A	LEVEL 14	1401 E	TYPE A BATH (SB1)
14A	LEVEL 14	1401 U	BATH 2 (SB5)
14A	LEVEL 14	1401 M	PR (SP2)
14B	LEVEL 14	1402 K	MASTER BATH (SMB4)
14B	LEVEL 14	1402 H	TYPE A BATH (SB1)
14B	LEVEL 14	1402 B	PR (SP3)
14B	LEVEL 14	1402 Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601 B	PR (SP3)
16PH	LEVEL 16.0	1601 M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601 Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601 H	KITCHEN
16PH	LEVEL 16.0	1601 S	POWDER (SP3)
16PH	LEVEL 16.0	1601 V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0505 A	UNISEX WC (U-5A)
NR2	LEVEL 5	0505 C	UNISEX WC (U-5C)
NR2	LEVEL 5	0505 A	UNISEX WC (U-5B)
NR2	LEVEL 5	0505 D	UNISEX WC (U-5B)
RC	LEVEL 7	0720 A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC(U-7A)
RC	LEVEL 7	0716 D	WC (U-7B)
RC	GROUND	0103 B	UNISEX WC (U-1B)
RC	LEVEL 7	0716 C	WC (U-7A)

**JDS DEVELOPMENT GROUP**

JDS DEVELOPMENT GROUP  
100 WEST 110TH STREET  
NEW YORK, NY 10030  
TEL: 212.682.8800

**sh p**

- ARCHITECT  
SNAP ARCHITECTS, P.C.  
200 WEST 110TH STREET  
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TEL: 212.682.8800
- STRUCTURAL ENGINEER  
WSP CANON SENKUR  
300 EAST 43RD STREET  
NEW YORK, NY 10017  
TEL: 212.687.9888
- MEP ENGINEER  
JAFIF ENGINEERING, P.C.  
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LORRYMAN LINDSEY  
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NEW YORK, NY 10003  
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VAN DERSEVEN ASSOCIATES  
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300 WEST 110TH STREET, 10A  
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MTC  
200 WEST 110TH STREET, 6TH FLOOR  
NEW YORK, NY 10030  
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COOPERATIVES INTERNATIONAL  
100 KATONAH STREET, 7TH FLOOR EAST  
NEW YORK, NY 10003  
TEL: 212.252.4450

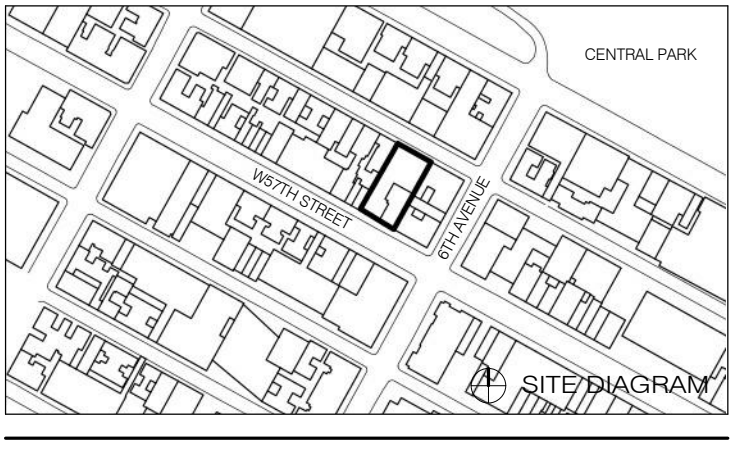


PROPERTY MARKETS GROUP  
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DOB PAA

Shauqat Shaikh  
Buildings & Interiors  
APPROVED  
Under Directive 2 of 1975  
DATE: 05/28/2015  
NYC Development Hub

111 WEST 57TH STREET  
NEW YORK, NY 10019



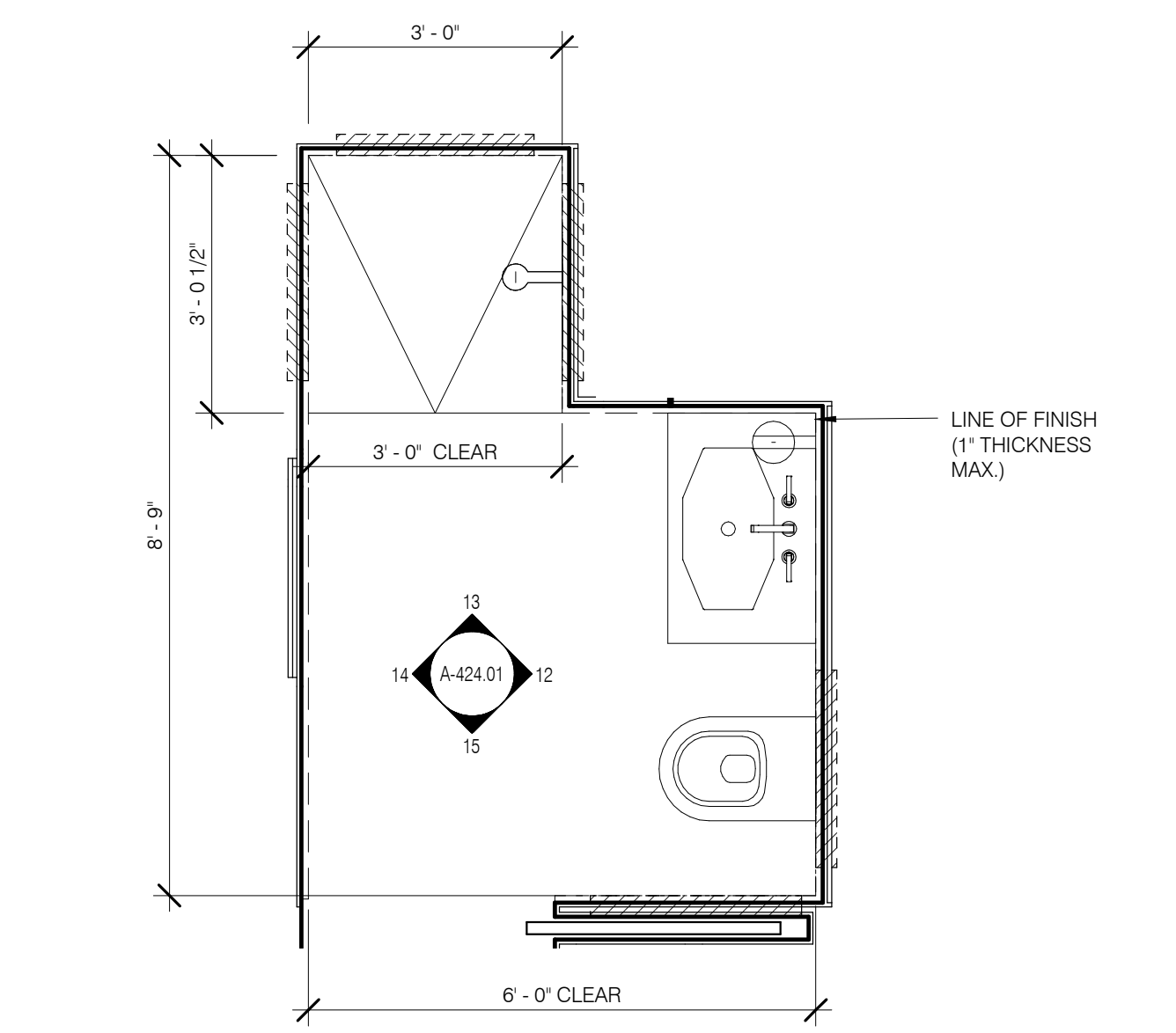
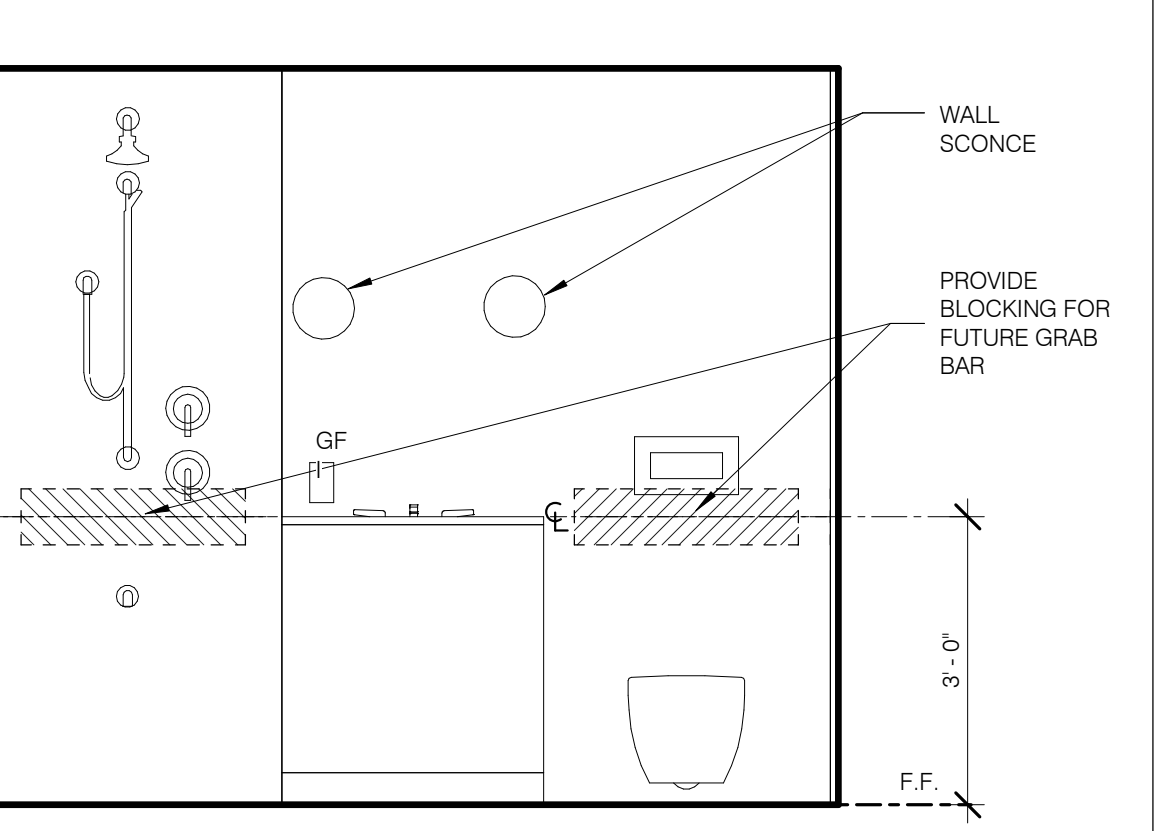
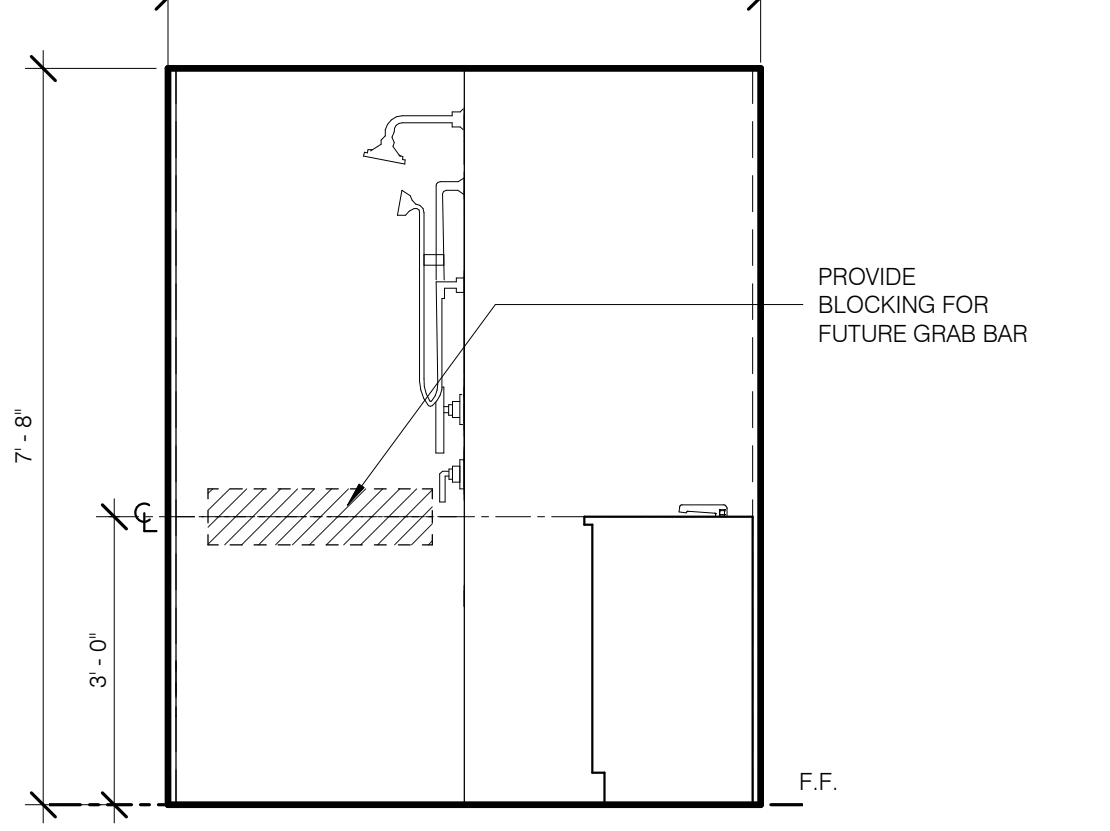
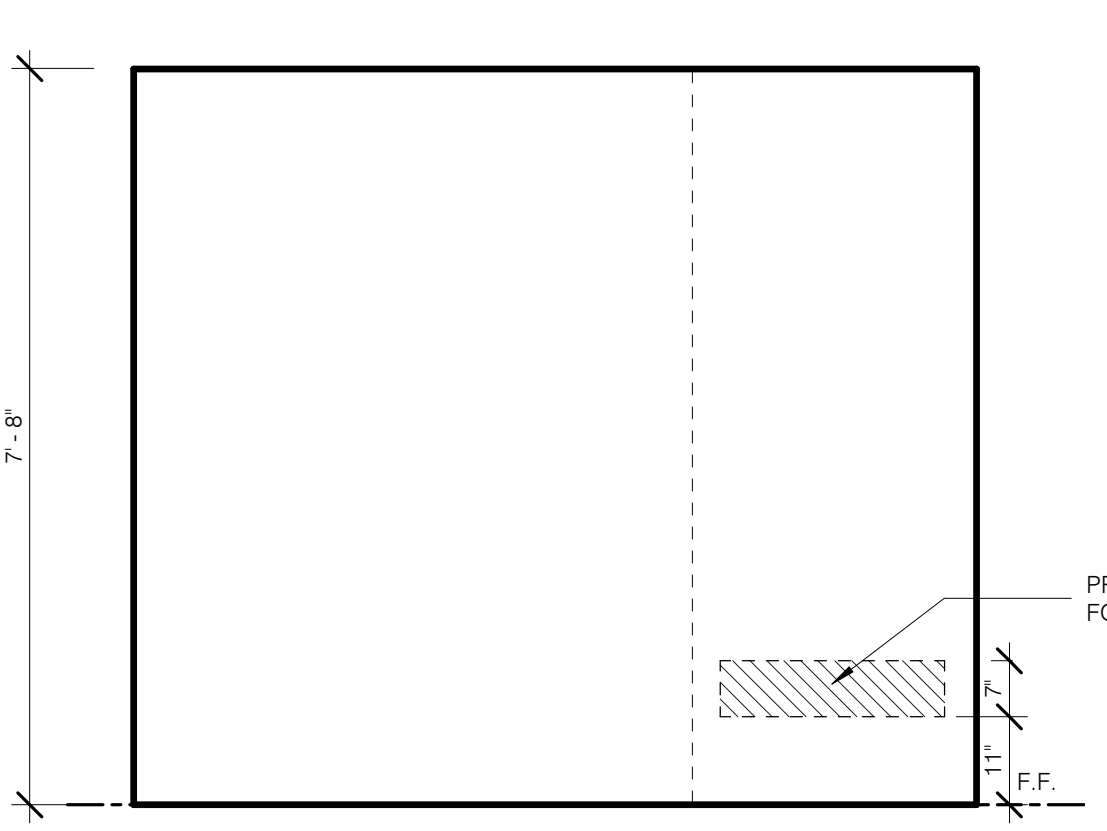
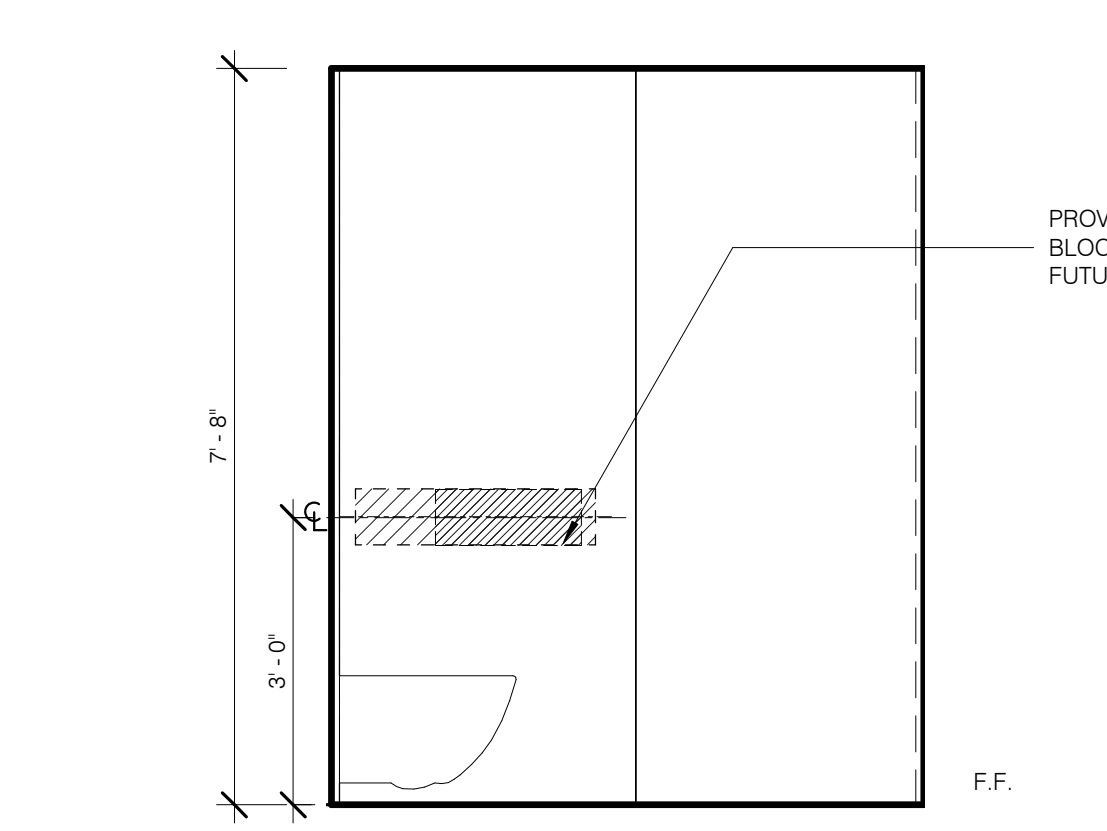
SB-4 BATH (TYP.) S 1/2" = 1'-0" 20

SB-4 BATH (TYP.) W 1/2" = 1'-0" 19

SB-4 BATH (TYP.) N 1/2" = 1'-0" 18

SB-4 BATH (TYP.) E 1/2" = 1'-0" 17

SB-4 BATH (TYP.) 1/2" = 1'-0" 16



BATHROOM TYPES BY UNIT - STEINWAY

Unit Type	Level	Number	Name
LEVEL 5	0509A	MECHANICAL	
LEVEL 9	0933	MECH	
09A	LEVEL 9	0901 C	KITCHENETTE (SK1)
09A	LEVEL 9	0901 M	MASTER BATH (SMB1)
09A	LEVEL 9	0901 J	BATH 1 (SB3)
09A	LEVEL 9	0901 M	TYPE A BATH (SB1)
09A	LEVEL 9	0901 G	PR (SP1)
09A	LEVEL 9	0901 E	BATH 2 (SB4)
09B	LEVEL 9	0902 E	BATH (SB7)
09B	LEVEL 9	0902 B	KITCHENETTE (SK8)
09C	LEVEL 9	0903 D	BATH (SB7)
09C	LEVEL 9	0903 B	KITCHENETTE (SK9)
09D	LEVEL 9	0904 E	BATH (SB7)
09D	LEVEL 9	0904 B	KITCHENETTE (SK10)
09E	LEVEL 9	0905 C	BATH (SB7)
09E	LEVEL 9	0905 B	KITCHENETTE (SK11)
10A	LEVEL 10	1001 Q	KITCHENETTE (SK1)
10A	LEVEL 10	1001 V	MASTER BATH (SMB1)
10A	LEVEL 10	1001 W	BATH 1 (SB3)
10A	LEVEL 10	1001 X	TYPE A BATH (SB1)
10A	LEVEL 10	1001 Y	PR (SP1)
10A	LEVEL 10	1001 D	BATH 2 (SB4)
10B	LEVEL 10	1002 Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002 H	TYPE A BATH (SB1)
10B	LEVEL 10	1002 L	BATH 2 (SB3)
10B	LEVEL 10	1002 B	PR (SP3)
10B	LEVEL 10	1002 C	KITCHENETTE (SK2)
11A	LEVEL 11	1101 N	MASTER BATH (SMB1)
11A	LEVEL 11	1101 J	TYPE A BATH (SB1)
11A	LEVEL 11	1101 G	PR (SP1)
11A	LEVEL 11	1101 M	BATH 1 (SB6)
11A	LEVEL 11	1101 C	KITCHENETTE (SK3)
11A	LEVEL 11	1101 E	BATH 2 (SB4)
11B	LEVEL 11	1102 Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102 H	TYPE A BATH (SB1)
11B	LEVEL 11	1102 L	BATH (SB3)
11B	LEVEL 11	1102 C	KITCHENETTE (SK2)
11B	LEVEL 11	1102 B	PR (SP3)
13A	LEVEL 13	1301 N	MASTER BATH (SMB3)
13A	LEVEL 13	1301 C	KITCHEN (SK4)
13A	LEVEL 13	1301 L	BATH 2 (SB2)
13A	LEVEL 13	1301 H	TYPE A BATH (SB1)
13A	LEVEL 13	1301 E	PR (SP2)
13B	LEVEL 13	1302 G	MASTER BATH (SMB4)
13B	LEVEL 13	1302 F	TYPE A BATH (SB1)
13B	LEVEL 13	1302 B	PR (SP3)
13B	LEVEL 13	1302 C	KITCHEN (SK5)
14A	LEVEL 14	1401 C	MASTER BATH (SMB5)
14A	LEVEL 14	1401 H	KITCHEN (SK6)
14A	LEVEL 14	1401 E	TYPE A BATH (SB1)
14A	LEVEL 14	1401 U	BATH 2 (SB5)
14A	LEVEL 14	1401 M	PR (SP2)
14B	LEVEL 14	1402 K	MASTER BATH (SMB4)
14B	LEVEL 14	1402 H	TYPE A BATH (SB1)
14B	LEVEL 14	1402 B	PR (SP3)
14B	LEVEL 14	1402 Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601 B	PR (SP3)
16PH	LEVEL 16.0	1601 M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601 Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601 H	KITCHEN
16PH	LEVEL 16.0	1601 S	POWDER (SP3)
16PH	LEVEL 16.0	1601 V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0505 A	UNISEX WC (U-5A)
NR2	LEVEL 5	0505 C	UNISEX WC (U-5C)
NR2	LEVEL 5	0505 A	UNISEX WC (U-5B)
NR2	LEVEL 5	0505 D	UNISEX WC (U-5B)
RC	LEVEL 7	0720 A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)
RC	LEVEL 7	0708	WC (U-7A)
RC	LEVEL 7	0709	WC(U-7A)
RC	LEVEL 7	0716 D	WC (U-7B)
RC	GROUND	0103 B	UNISEX WC (U-1B)
RC	LEVEL 7	0716 C	WC (U-7A)

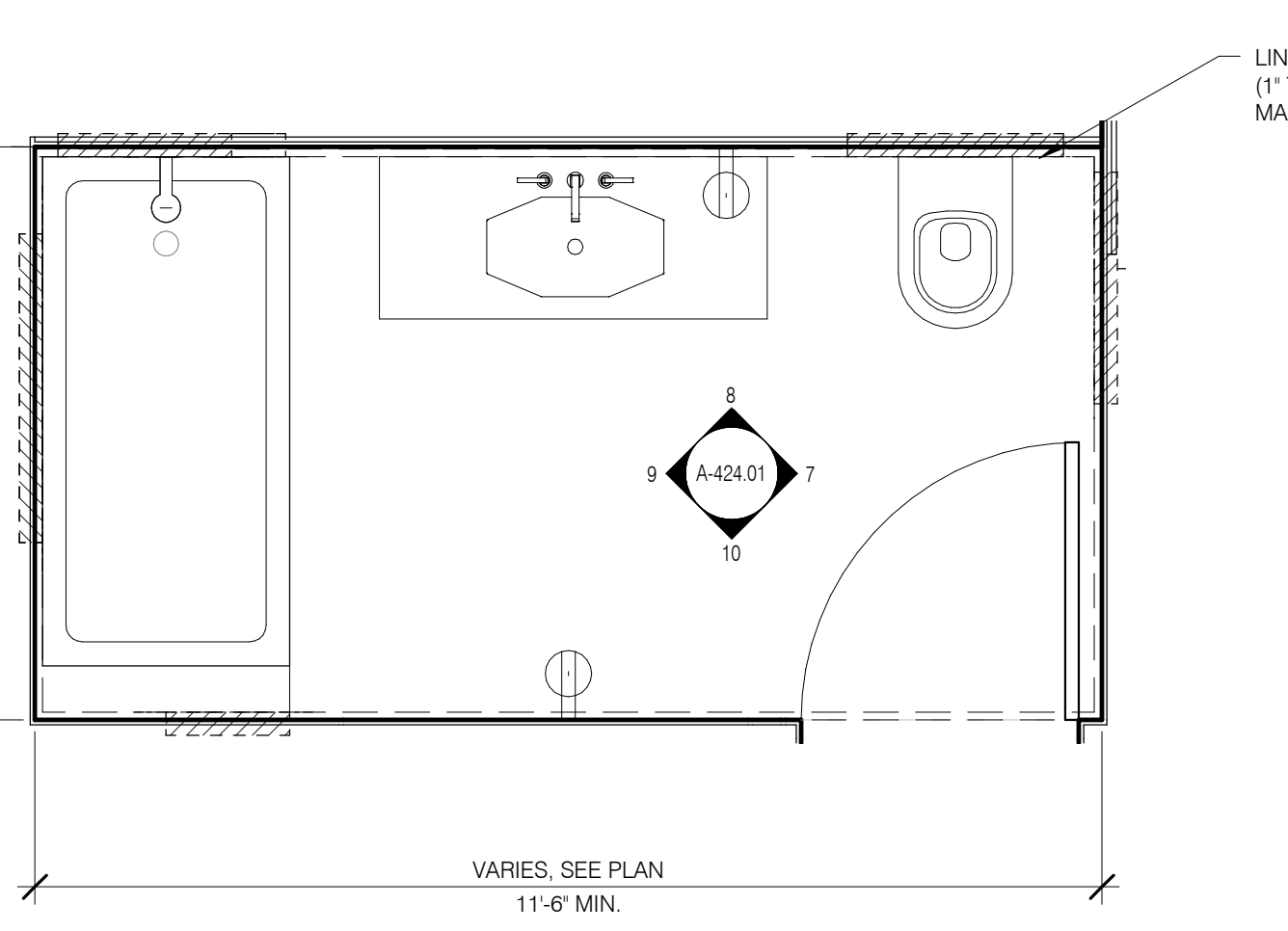
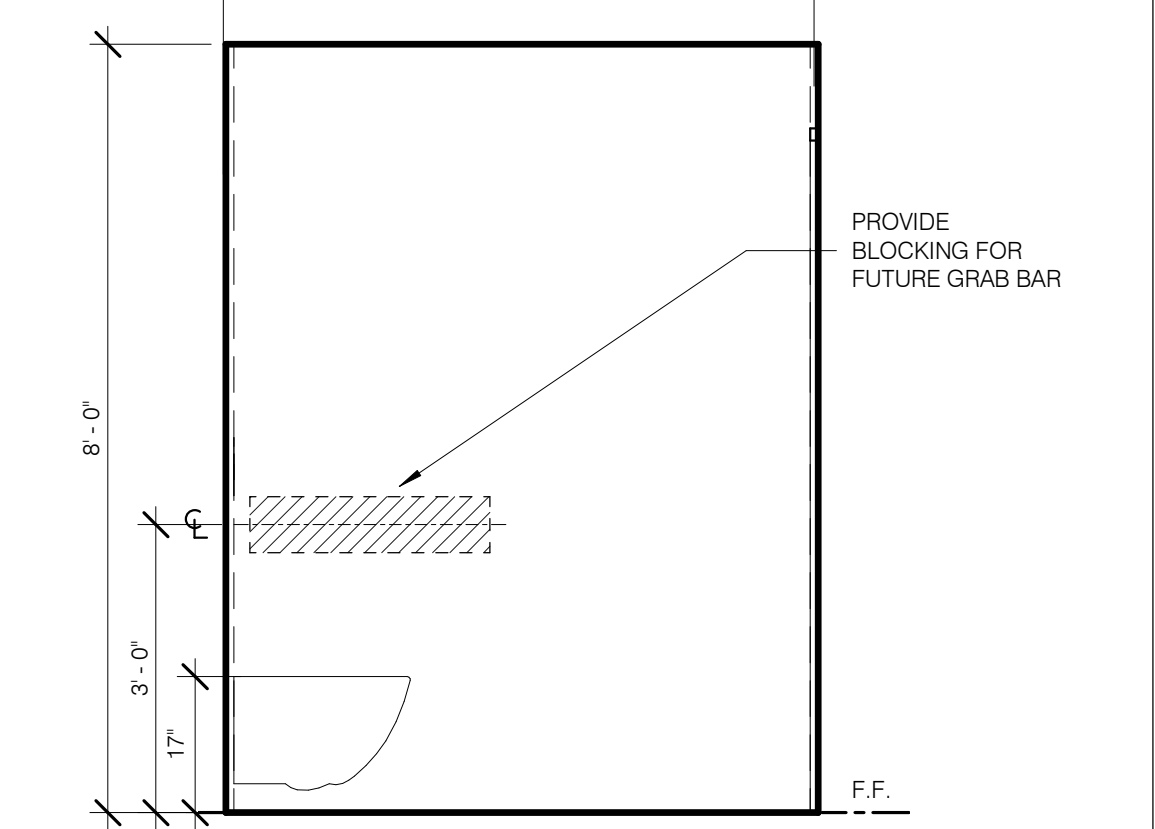
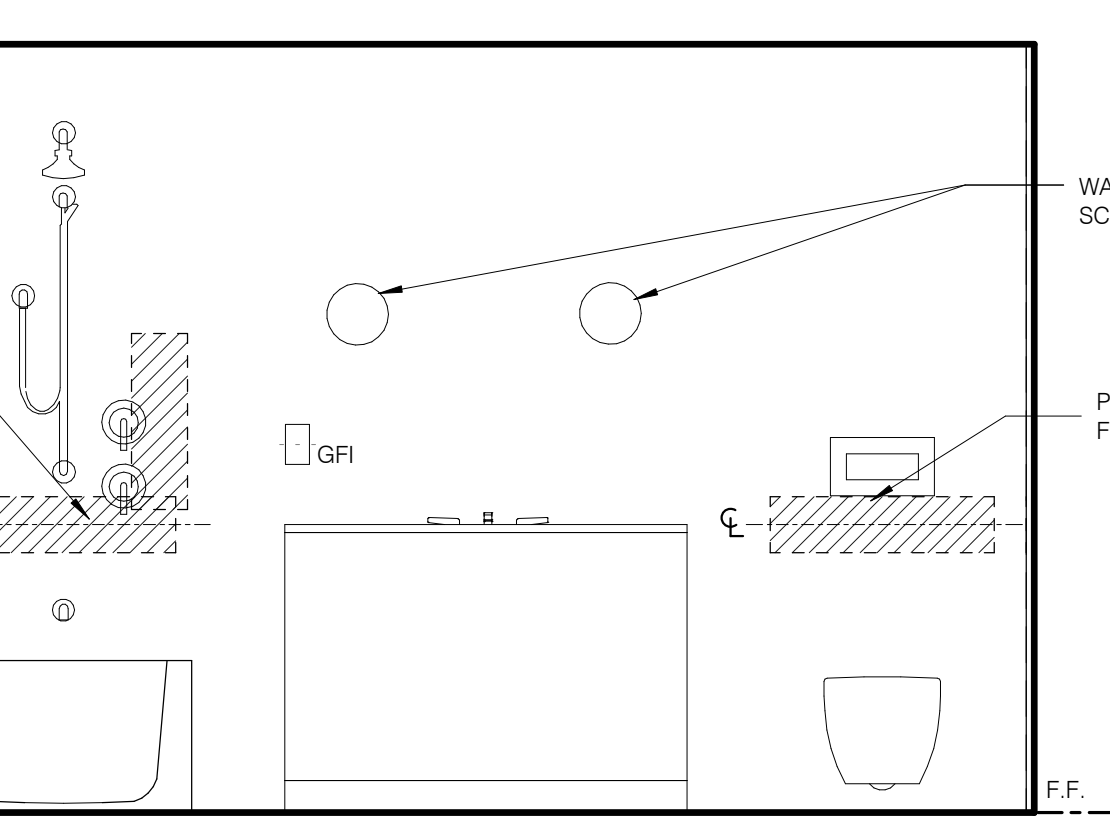
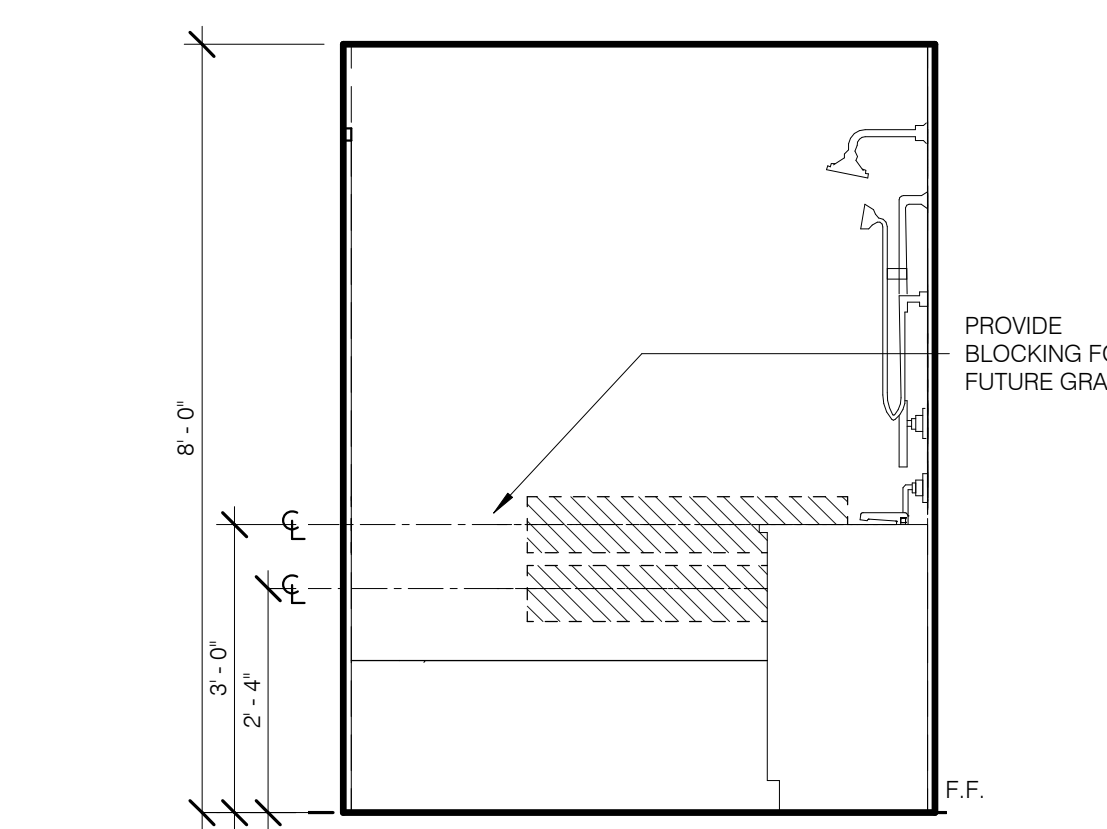
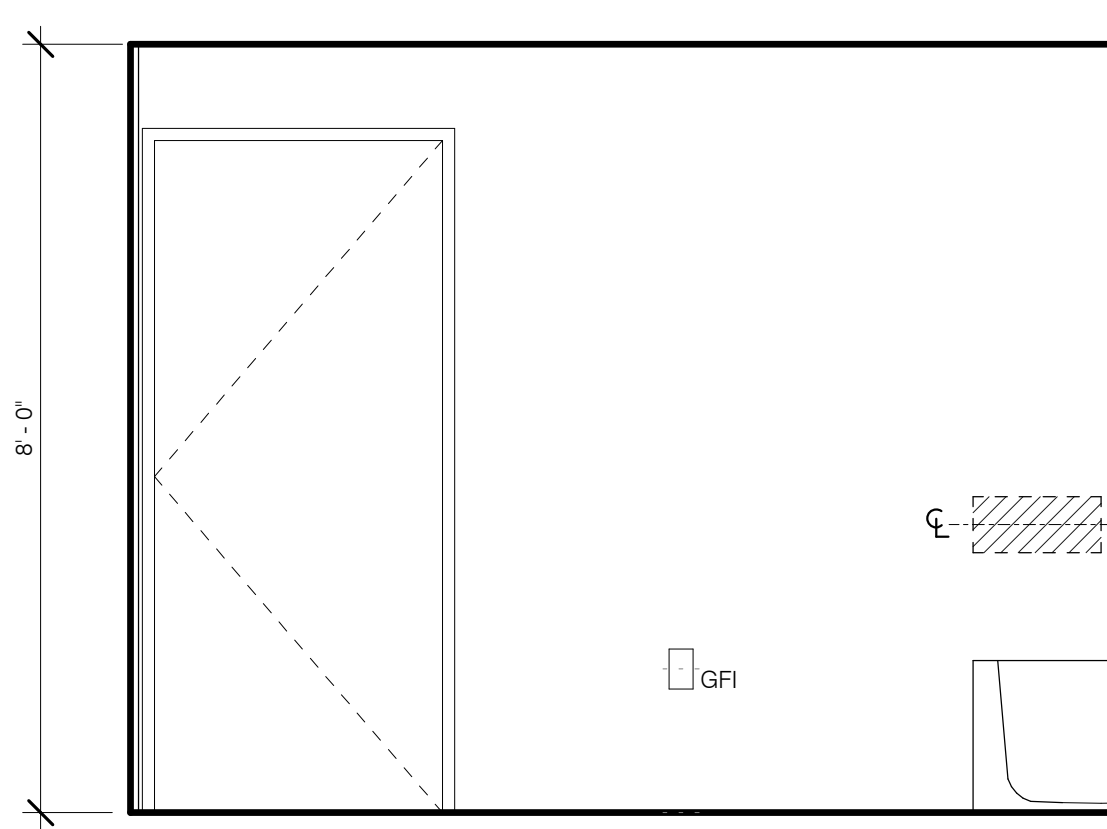
SB-2 BATH S 1/2" = 1'-0" 15

SB-2 BATH W 1/2" = 1'-0" 14

SB-2 BATH N 1/2" = 1'-0" 13

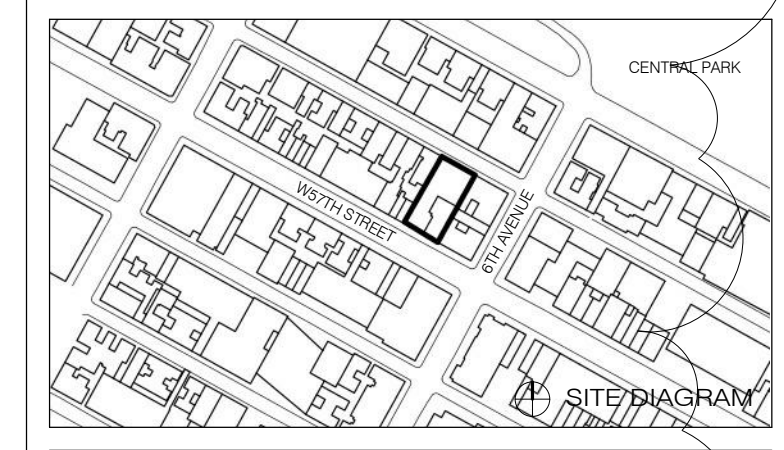
SB-2 BATH E 1/2" = 1'-0" 12

SB-2 BATH 1/2" = 1'-0" 11



BATHROOM TYPES BY UNIT - STEINWAY

Unit Type	Level	Number	Name
LEVEL 5	0509A	MECHANICAL	
LEVEL 9	0933	MECH	
09A	LEVEL 9	0901 C	KITCHENETTE (SK1)
09A	LEVEL 9	0901 M	MASTER BATH (SMB1)
09A	LEVEL 9	0901 J	BATH 1 (SB3)
09A	LEVEL 9	0901 M	TYPE A BATH (SB1)
09A	LEVEL 9	0901 G	PR (SP1)
09A	LEVEL 9	0901 E	BATH 2 (SB4)
09B	LEVEL 9	0902 E	BATH (SB7)
09B	LEVEL 9	0902 B	KITCHENETTE (SK8)
09C	LEVEL 9	0903 D	BATH (SB7)
09C	LEVEL 9	0903 B	KITCHENETTE (SK9)
09D	LEVEL 9	0904 E	BATH (SB7)
09D	LEVEL 9	0904 B	KITCHENETTE (SK10)
09E	LEVEL 9	0905 C	BATH (SB7)
09E	LEVEL 9	0905 B	KITCHENETTE (SK11)
10A	LEVEL 10	1001 Q	KITCHENETTE (SK1)
10A	LEVEL 10	1001 V	MASTER BATH (SMB1)
10A	LEVEL 10	1001 W	BATH 1 (SB3)
10A	LEVEL 10	1001 X	TYPE A BATH (SB1)
10A	LEVEL 10	1001 Y	PR (SP1)
10A	LEVEL 10	1001 D	BATH 2 (SB4)
10B	LEVEL 10	1002 Q	MASTER BATH (SMB2)
10B	LEVEL 10	1002 H	TYPE A BATH (SB1)
10B	LEVEL 10	1002 L	BATH 2 (SB3)
10B	LEVEL 10	1002 B	PR (SP3)
10B	LEVEL 10	1002 C	KITCHENETTE (SK2)
11A	LEVEL 11	1101 N	MASTER BATH (SMB1)
11A	LEVEL 11	1101 J	TYPE A BATH (SB1)
11A	LEVEL 11	1101 G	PR (SP1)
11A	LEVEL 11	1101 M	BATH 1 (SB6)
11A	LEVEL 11	1101 C	KITCHENETTE (SK3)
11A	LEVEL 11	1101 E	BATH 2 (SB4)
11B	LEVEL 11	1102 Q	MASTER BATH (SMB2)
11B	LEVEL 11	1102 H	TYPE A BATH (SB1)
11B	LEVEL 11	1102 L	BATH (SB3)
11B	LEVEL 11	1102 C	KITCHENETTE (SK2)
11B	LEVEL 11	1102 B	PR (SP3)
13A	LEVEL 13	1301 N	MASTER BATH (SMB3)
13A	LEVEL 13	1301 C	KITCHEN (SK4)
13A	LEVEL 13	1301 L	BATH 2 (SB2)
13A	LEVEL 13	1301 H	TYPE A BATH (SB1)
13A	LEVEL 13	1301 E	PR (SP2)
13B	LEVEL 13	1302 G	MASTER BATH (SMB4)
13B	LEVEL 13	1302 F	TYPE A BATH (SB1)
13B	LEVEL 13	1302 B	PR (SP3)
13B	LEVEL 13	1302 C	KITCHEN (SK5)
14A	LEVEL 14	1401 C	MASTER BATH (SMB5)
14A	LEVEL 14	1401 H	KITCHEN (SK6)
14A	LEVEL 14	1401 E	TYPE A BATH (SB1)
14A	LEVEL 14	1401 U	BATH 2 (SB5)
14A	LEVEL 14	1401 M	PR (SP2)
14B	LEVEL 14	1402 K	MASTER BATH (SMB4)
14B	LEVEL 14	1402 H	TYPE A BATH (SB1)
14B	LEVEL 14	1402 B	PR (SP3)
14B	LEVEL 14	1402 Z	KITCHEN (SK5)
16PH	LEVEL 16.0	1601 B	PR (SP3)
16PH	LEVEL 16.0	1601 M	BATH 2 (SB3)
16PH	LEVEL 16.0	1601 Q	TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601 H	KITCHEN
16PH	LEVEL 16.0	1601 S	POWDER (SP3)
16PH	LEVEL 16.0	1601 V	BUTLER PANTRY
16PH	LEVEL 17.0	1702	MASTER BATH (SMB6)
NR2	LEVEL 5	0505 A	UNISEX WC (U-5A)
NR2	LEVEL 5	0505 C	UNISEX WC (U-5C)
NR2	LEVEL 5	0505 A	UNISEX WC (U-5B)
NR2	LEVEL 5	0505 D	UNISEX WC (U-5B)
RC	LEVEL 7	0720 A	WC (U-7C)
RC	LEVEL 7	0724	WC (U-7A)
RC	GROUND	0110	UNISEX WC (U-1A)

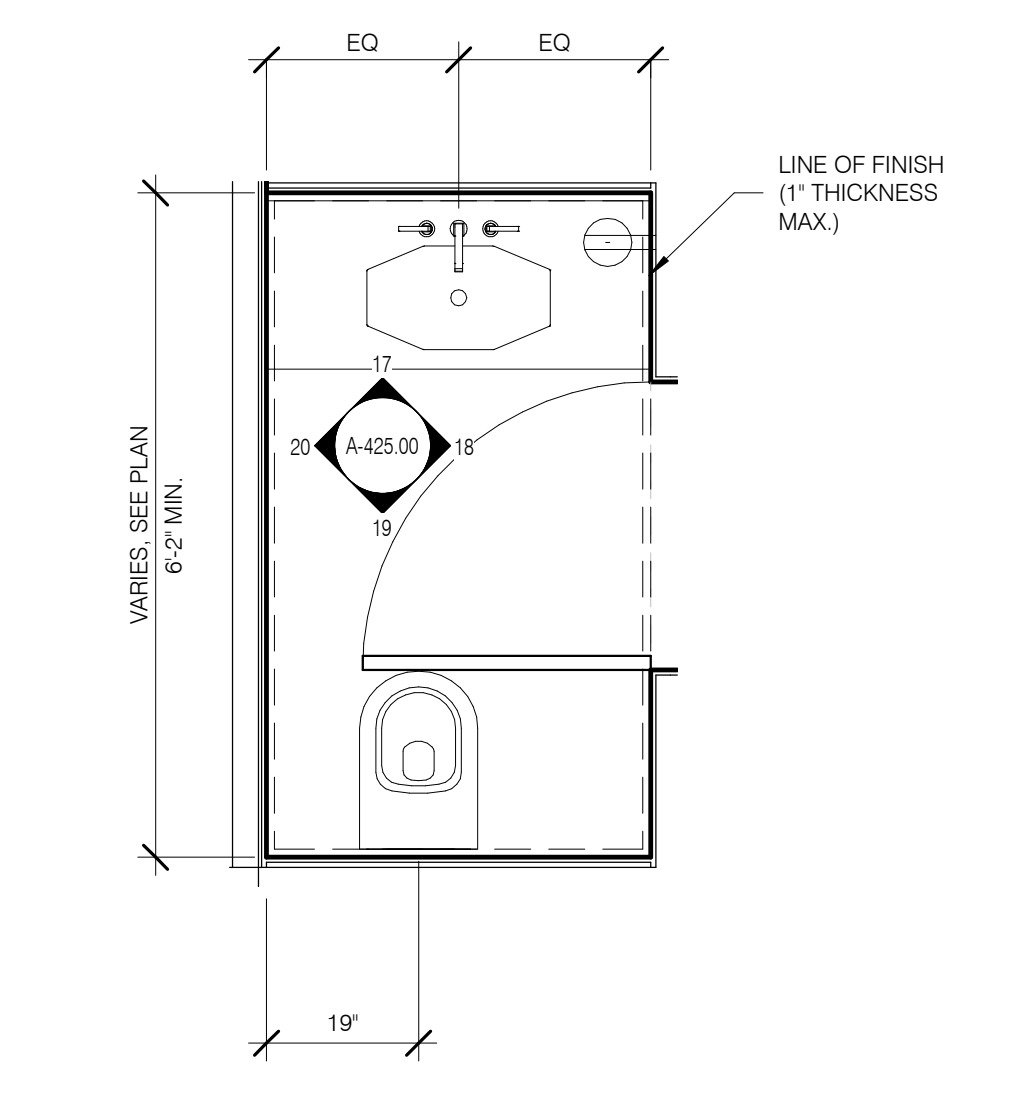
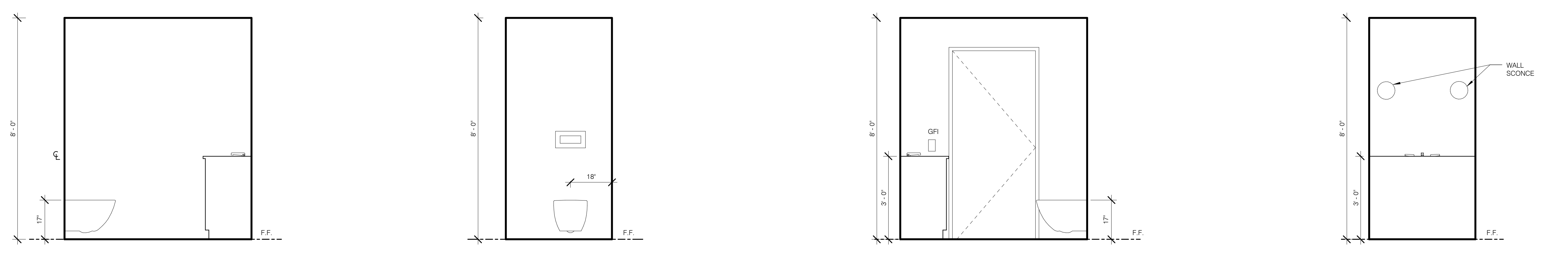


NO.	DATE	REVISION
1	3/27/15	DOB PAA

DRAWING TITLE  
**BATHROOMS - STEINWAY ENLARGED PLANS AND ELEVATIONS**

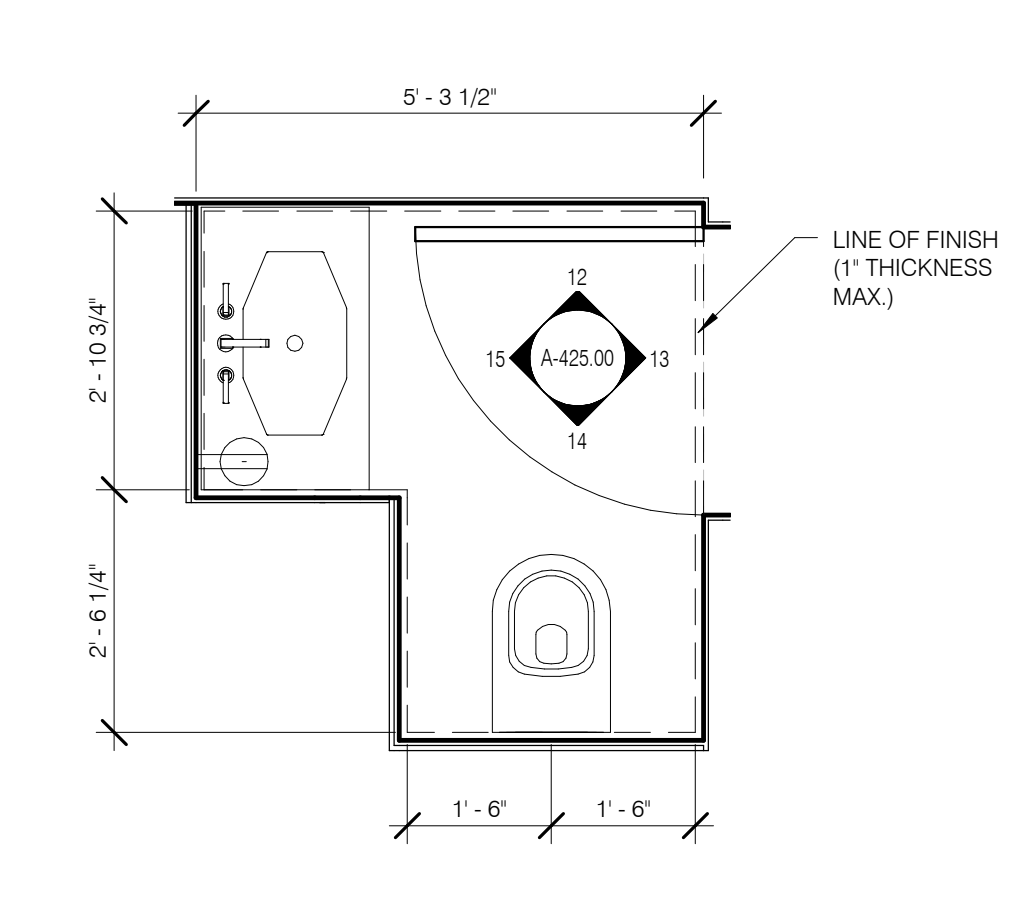
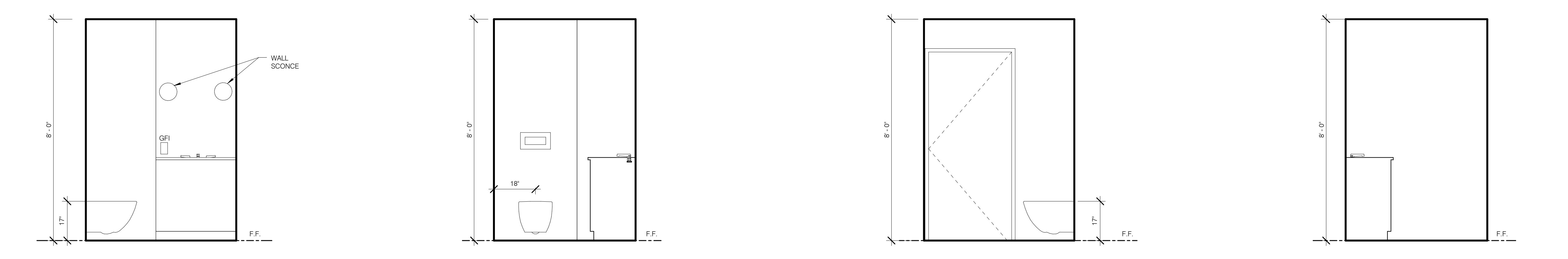
SEAL & SIGNATURE	DATE	2.20.10
PROJECT NO.	130607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	12133266	
DRAWING NUMBER		

UNIT	TYPE	Level	Number	Name
		LEVEL 5	0509A	MECHANICAL
		LEVEL 9	0933	MECH
05A	LEVEL 9	0901.C		KITCHENETTE (SK1)
05A	LEVEL 9	0901.N		MASTER BATH (SMB1)
05A	LEVEL 9	0901.J		BATH 1 (SB1)
05A	LEVEL 9	0901.M		TYPE A BATH (SB1)
05A	LEVEL 9	0901.G		PR (SP1)
05A	LEVEL 9	0901.E		BATH 2 (SB4)
09B	LEVEL 9	0902.E		BATH (SB7)
09B	LEVEL 9	0902.B		KITCHENETTE (SK8)
09C	LEVEL 9	0903.D		BATH (SB7)
09C	LEVEL 9	0903.B		KITCHENETTE (SK9)
09D	LEVEL 9	0904.E		BATH (SB7)
09D	LEVEL 9	0904.B		KITCHENETTE (SK10)
09E	LEVEL 9	0905.C		BATH (SB7)
09E	LEVEL 9	0905.B		KITCHENETTE (SK11)
10A	LEVEL 10	1001.Q		KITCHENETTE (SK1)
10A	LEVEL 10	1001.V		MASTER BATH (SMB1)
10A	LEVEL 10	1001.W		BATH 1 (SB3)
10A	LEVEL 10	1001.X		TYPE A BATH (SB1)
10A	LEVEL 10	1001.Y		PR (SP1)
10A	LEVEL 10	1001.D		BATH 2 (SB4)
10B	LEVEL 10	1002.Q		MASTER BATH (SMB2)
10B	LEVEL 10	1002.H		TYPE A BATH (SB1)
10B	LEVEL 10	1002.L		BATH 2 (SB3)
10B	LEVEL 10	1002.B		PR (SP3)
10B	LEVEL 10	1002.C		KITCHENETTE (SK2)
11A	LEVEL 11	1101.N		MASTER BATH (SMB1)
11A	LEVEL 11	1101.J		TYPE A BATH (SB1)
11A	LEVEL 11	1101.G		PR (SP1)
11A	LEVEL 11	1101.M		BATH 1 (SB6)
11A	LEVEL 11	1101.C		KITCHENETTE (SK3)
11A	LEVEL 11	1101.E		BATH 2 (SB4)
11B	LEVEL 11	1102.Q		MASTER BATH (SMB2)
11B	LEVEL 11	1102.H		TYPE A BATH (SB1)
11B	LEVEL 11	1102.L		BATH (SB3)
11B	LEVEL 11	1102.C		KITCHENETTE (SK2)
11B	LEVEL 11	1102.B		PR (SP3)
13A	LEVEL 13	1301.N		MASTER BATH (SMB3)
13A	LEVEL 13	1301.C		KITCHEN (SK4)
13A	LEVEL 13	1301.L		BATH 2 (SB2)
13A	LEVEL 13	1301.H		TYPE A BATH (SB1)
13A	LEVEL 13	1301.E		PR (SP2)
13B	LEVEL 13	1302.Q		MASTER BATH (SMB4)
13B	LEVEL 13	1302.F		TYPE A BATH (SB1)
13B	LEVEL 13	1302.B		PR (SP3)
13B	LEVEL 13	1302.C		KITCHEN (SK5)
14A	LEVEL 14	1401.C		MASTER BATH (SMB5)
14A	LEVEL 14	1401.H		KITCHEN (SK6)
14A	LEVEL 14	1401.E		TYPE A BATH (SB1)
14A	LEVEL 14	1401.U		BATH 2 (SB5)
14A	LEVEL 14	1401.M		PR (SP2)
14B	LEVEL 14	1402.K		MASTER BATH (SMB4)
14B	LEVEL 14	1402.H		TYPE A BATH (SB1)
14B	LEVEL 14	1402.B		PR (SP3)
14B	LEVEL 14	1402.Z		KITCHEN (SK5)
16PH	LEVEL 16.0	1601.B		PR (SP3)
16PH	LEVEL 16.0	1601.M		BATH 2 (SB3)
16PH	LEVEL 16.0	1601.Q		TYPE A BATH (SB1)
16PH	LEVEL 16.0	1601.H		KITCHEN
16PH	LEVEL 16.0	1601.S		POWDER (SP3)
16PH	LEVEL 16.0	1601.V		BUTLER PANTRY
16PH	LEVEL 17.0	1702		MASTER BATH (SMB6)
NR2	LEVEL 5	0505.A		UNISEX WC (U-5A)
NR2	LEVEL 5	0506.C		UNISEX WC (U-5C)
NR2	LEVEL 5	0506.A		UNISEX WC (U-5B)
NR2	LEVEL 5	0506.D		UNISEX WC (U-5B)
RC	LEVEL 7	0720.A		WC (U-7C)
RC	LEVEL 7	0724		WC (U-7A)
RC	GROUND	0110		UNISEX WC (U-1A)
RC	LEVEL 7	0708		WC (U-7A)
RC	LEVEL 7	0709		WC (U-7B)
RC	LEVEL 7	0716.D		WC (U-7B)
RC	GROUND	0103.B		UNISEX WC (U-1B)
RC	GROUND	0103.A		UNISEX WC (U-1A)
RC	LEVEL 7	0718.C		WC (U-7A)



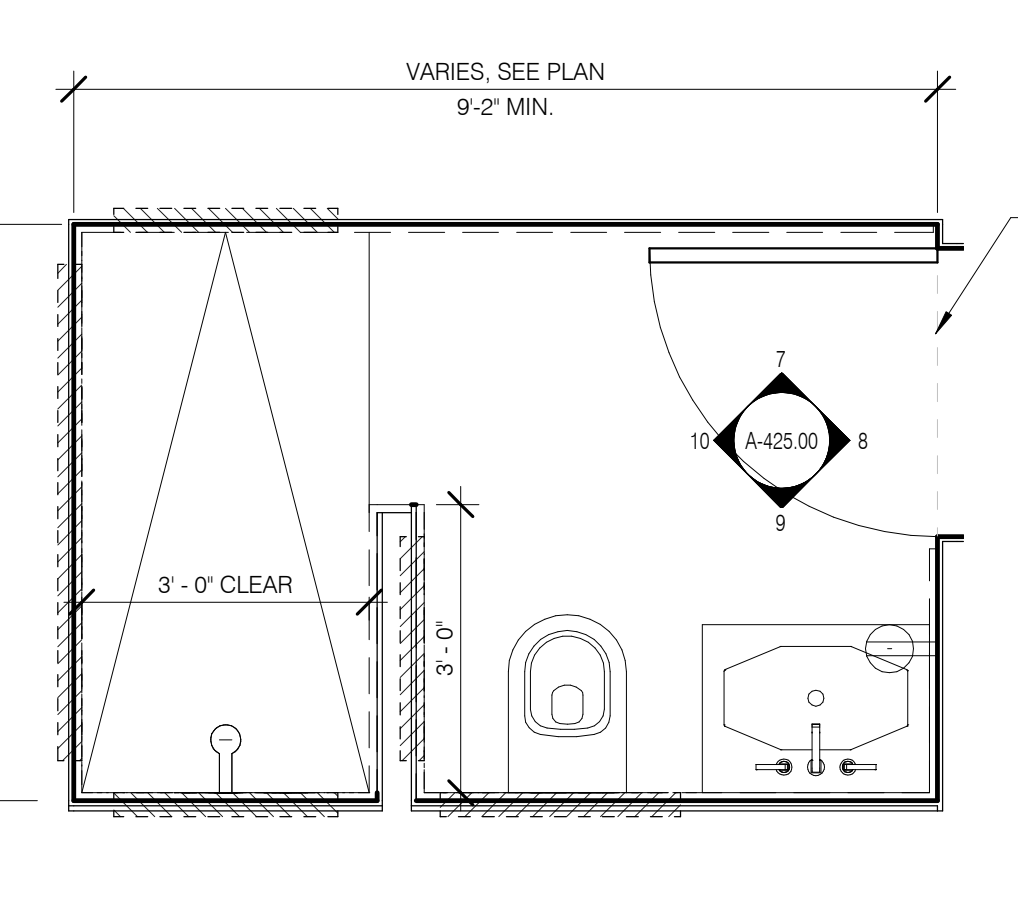
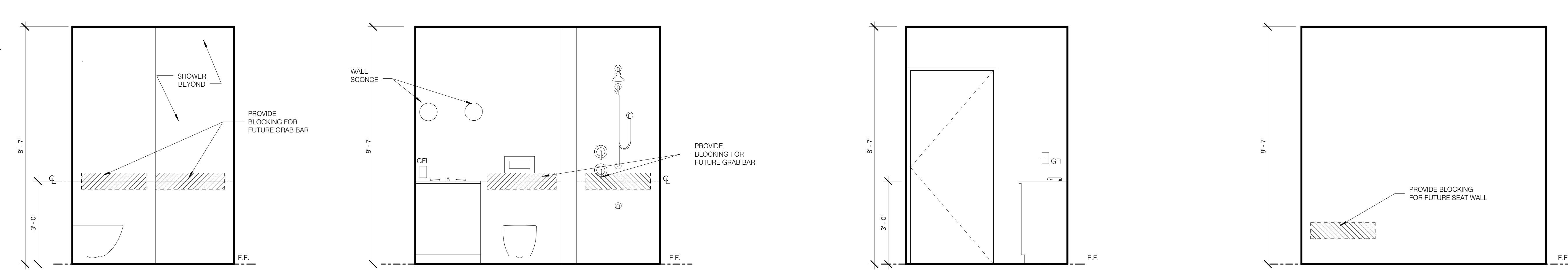
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SP-3 POWDER ROOM S 1/2" = 1'-0" 19  
SP-3 POWDER ROOM E 1/2" = 1'-0" 18  
SP-3 POWDER ROOM N 1/2" = 1'-0" 17

SP-3 POWDER ROOM (TYP.) 1/2" = 1'-0" 16



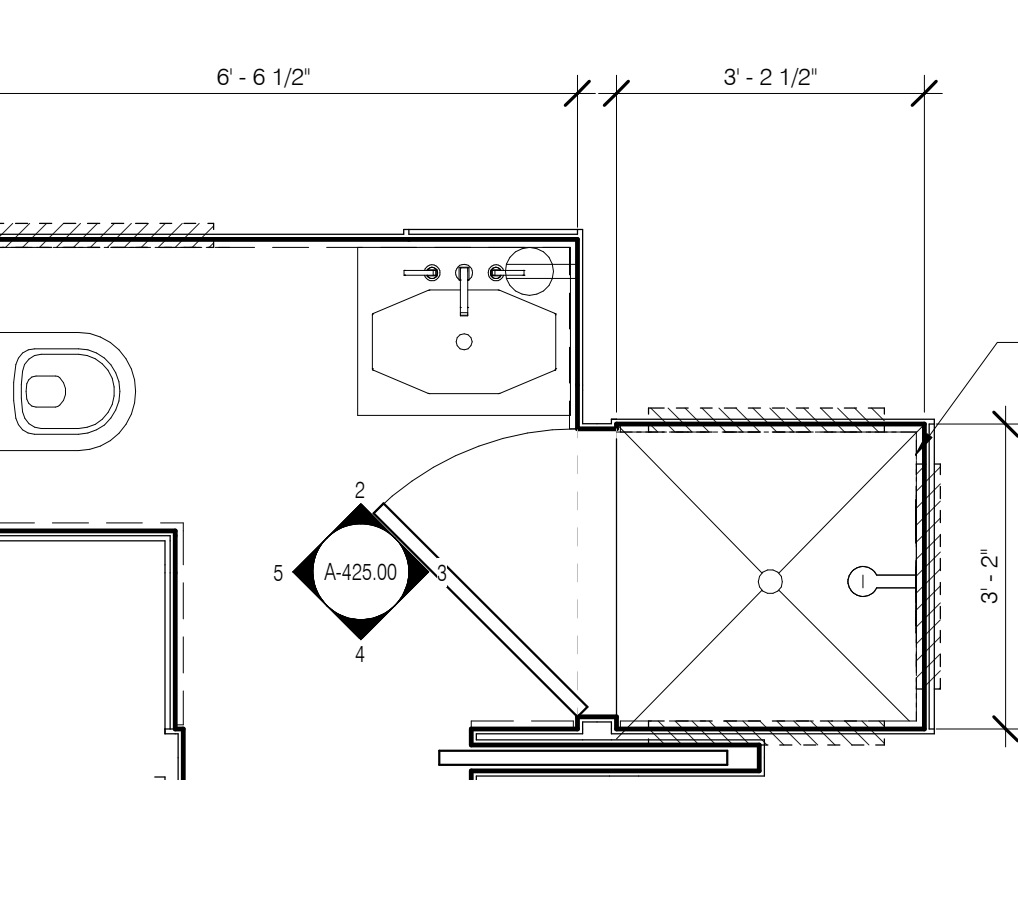
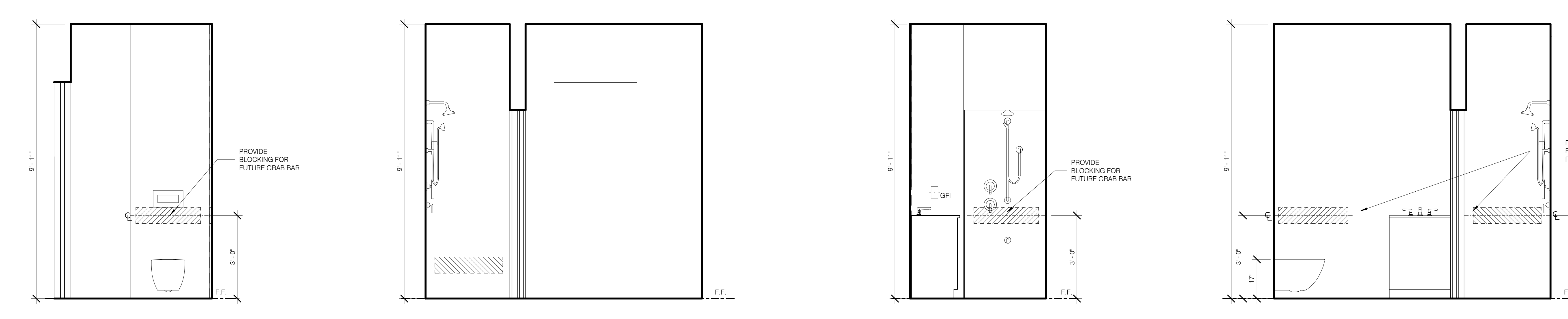
SP-1 POWDER ROOM W 1/2" = 1'-0" 15  
SP-1 POWDER ROOM S 1/2" = 1'-0" 14  
SP-1 POWDER ROOM E 1/2" = 1'-0" 13  
SP-1 POWDER ROOM N 1/2" = 1'-0" 12

SP-1 POWDER ROOM (TYP.) 1/2" = 1'-0" 11



SB-6 BATH (TYP.) W 1/2" = 1'-0" 10  
SB-6 BATH (TYP.) S 1/2" = 1'-0" 9  
SB-6 BATH (TYP.) E 1/2" = 1'-0" 8  
SB-6 BATH (TYP.) N 1/2" = 1'-0" 7

SB-6 BATH (TYP.) 1/2" = 1'-0" 6



SB-5 BATH W 1/2" = 1'-0" 5  
SB-5 BATH S 1/2" = 1'-0" 4  
SB-5 BATH E 1/2" = 1'-0" 3  
SB-5 BATH N 1/2" = 1'-0" 2

SB-5 BATH 1/2" = 1'-0" 1

Unit Type	Level	Number	Name
SK-1			
68A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.C	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16PH	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
SK-10			
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

**JDS DEVELOPMENT GROUP**

JDS DEVELOPMENT GROUP  
140 WEST 57TH STREET  
NEW YORK, NY 10019  
Tel: 646.625.3922

**sh p**

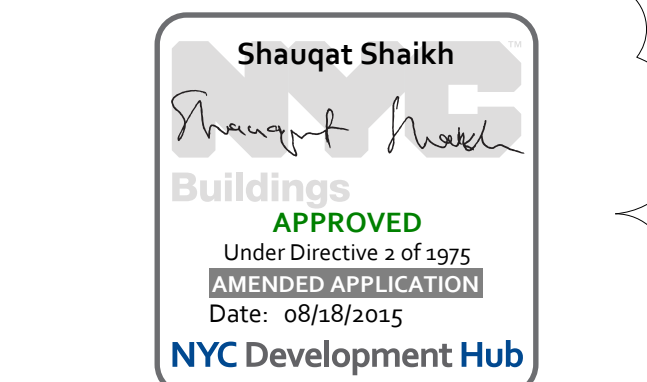
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION
SHAP ARCHITECTS, P.C. 230 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 Tel: 212.693.9888	WSP CANFOR SERAIK 230 EAST 47TH STREET NEW YORK, NY 10017 Tel: 212.697.9888	JAMES SHUKLA & ASSOCIATES 40 WEST 47TH STREET NEW YORK, NY 10018 Tel: 212.253.9333	WINDERSSEN & ASSOCIATES 4 WOOD STREET, SUITE 504 UNIONVILLE, NY 10886 Tel: 877.944.5222	PROPERTY MARKETS GROUP 1 EAST 17TH STREET, 24TH FLOOR NEW YORK, NY 10003 Tel: 212.693.8888
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION
SHAP ARCHITECTS, P.C.	WSP CANFOR SERAIK	JAMES SHUKLA & ASSOCIATES	WINDERSSEN & ASSOCIATES	PROPERTY MARKETS GROUP
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	ACQUISITION
SHAP ARCHITECTS, P.C.	WSP CANFOR SERAIK	JAMES SHUKLA & ASSOCIATES	WINDERSSEN & ASSOCIATES	PROPERTY MARKETS GROUP



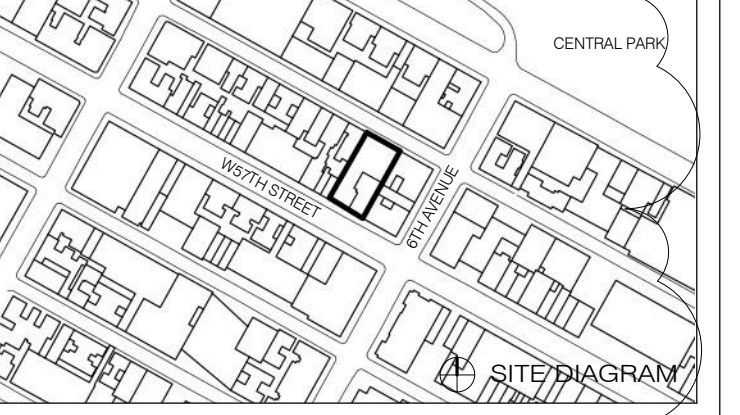
PROPERTY MARKETS GROUP  
1 EAST 17TH STREET, 24TH FLOOR  
NEW YORK, NY 10003  
Tel: 212.693.8888

DOB PAA

111 WEST 57TH STREET  
NEW YORK, NY 10019



111 WEST 57TH STREET  
NEW YORK, NY 10019

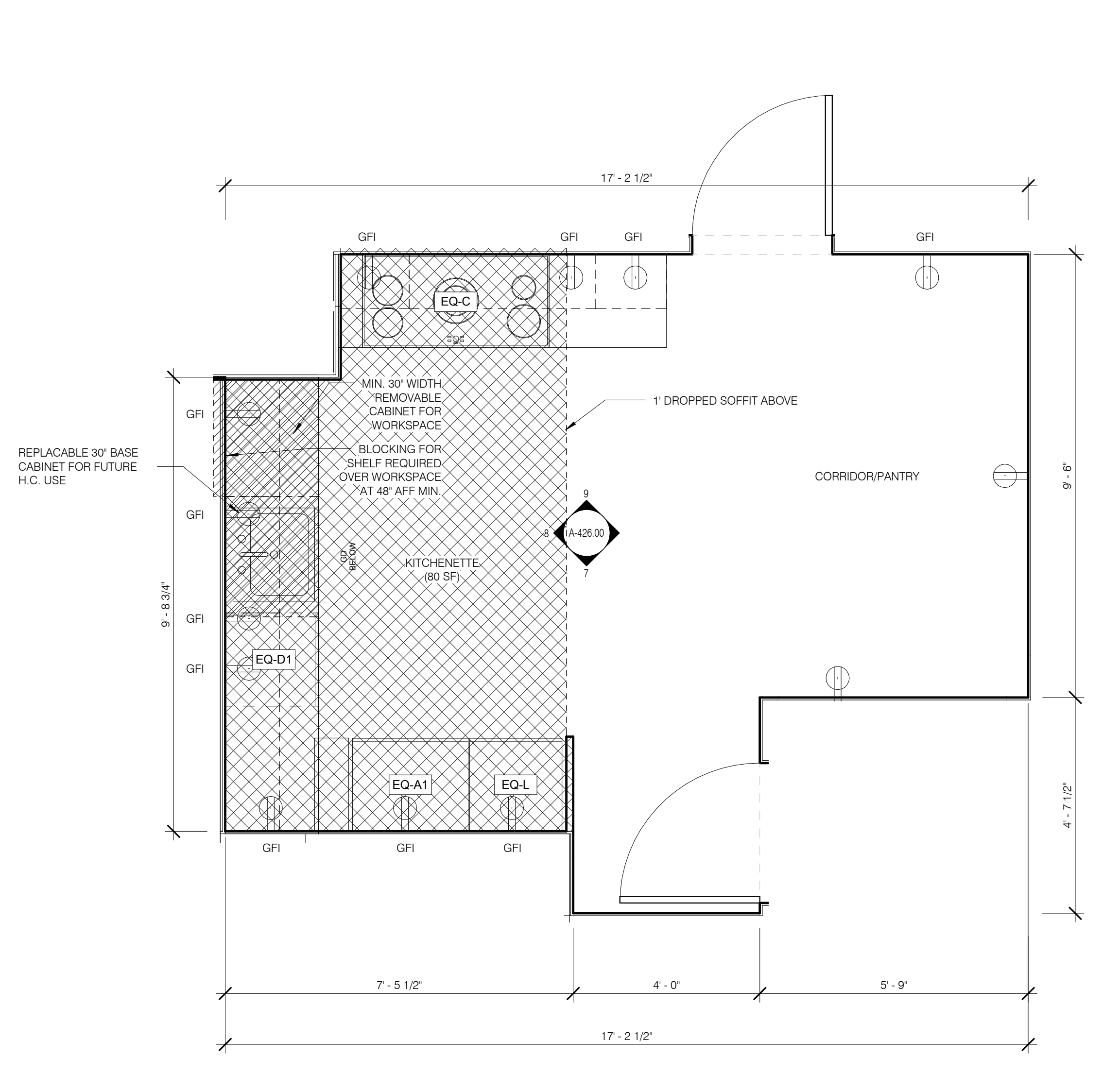


NO.	DATE	REVISION
1	03.27.15	DOB PAA

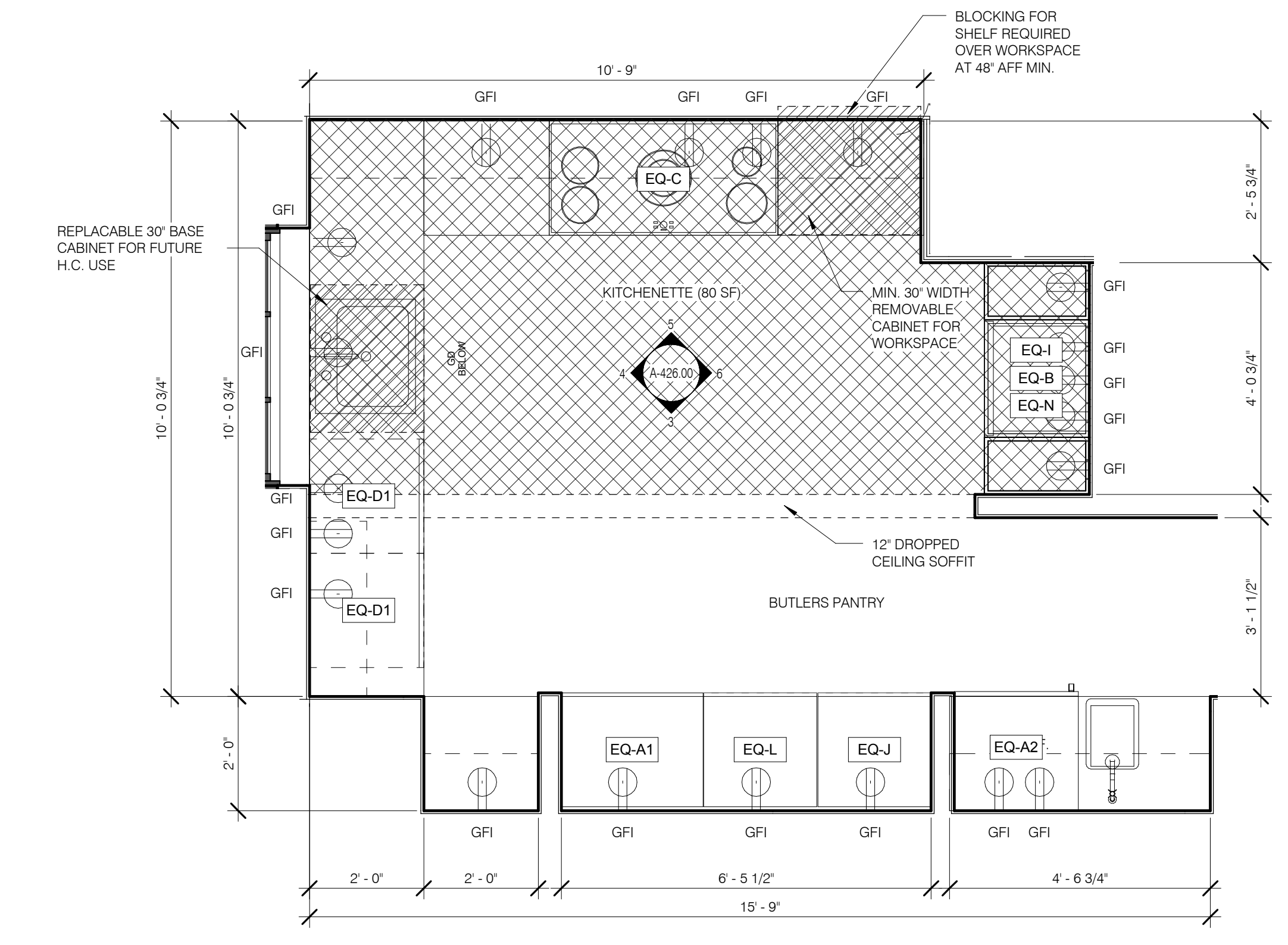
DRAWING TITLE  
**KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS**

SEAL & SIGNATURE	DATE
	2.20.15

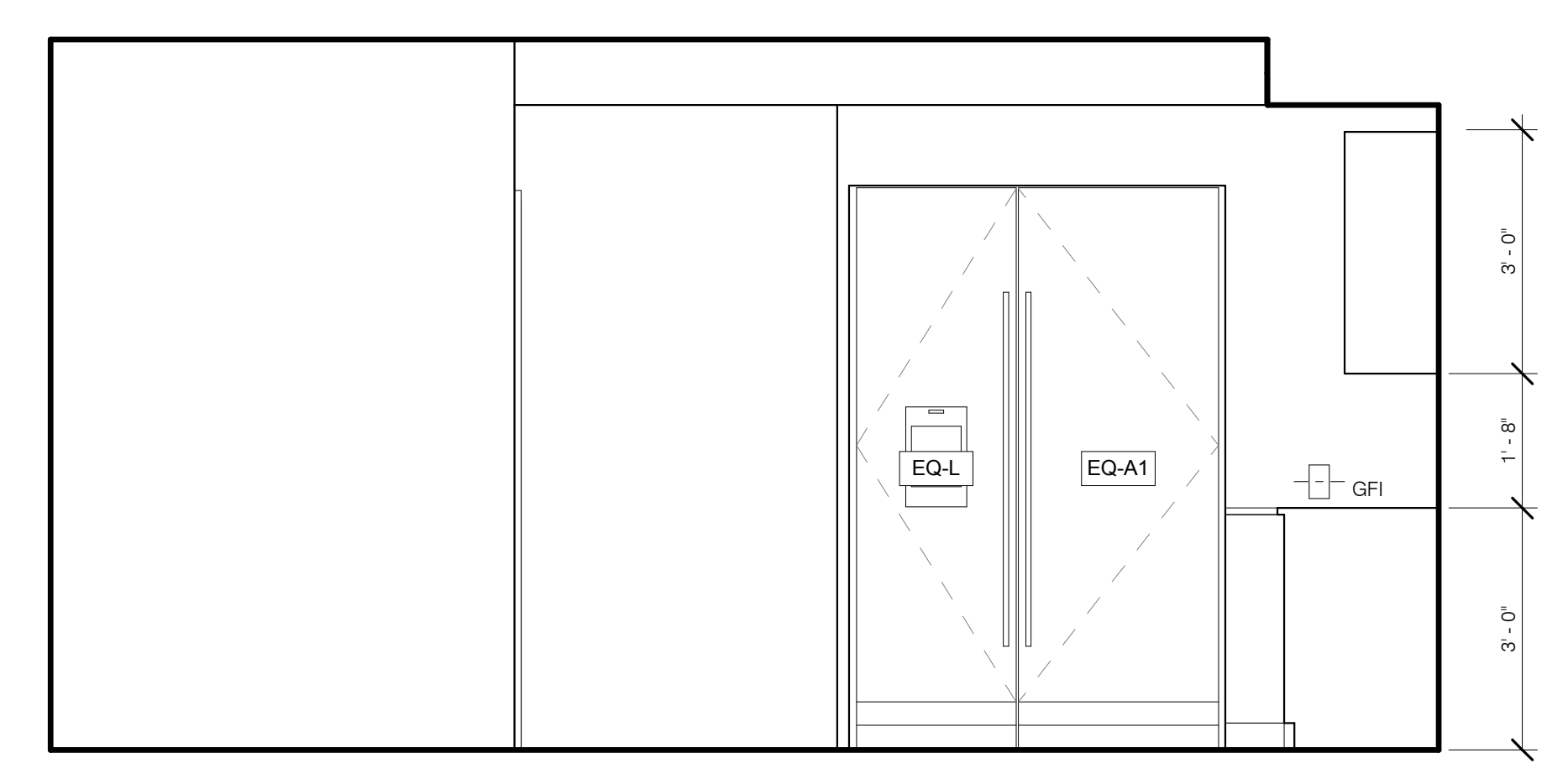
A-426.00



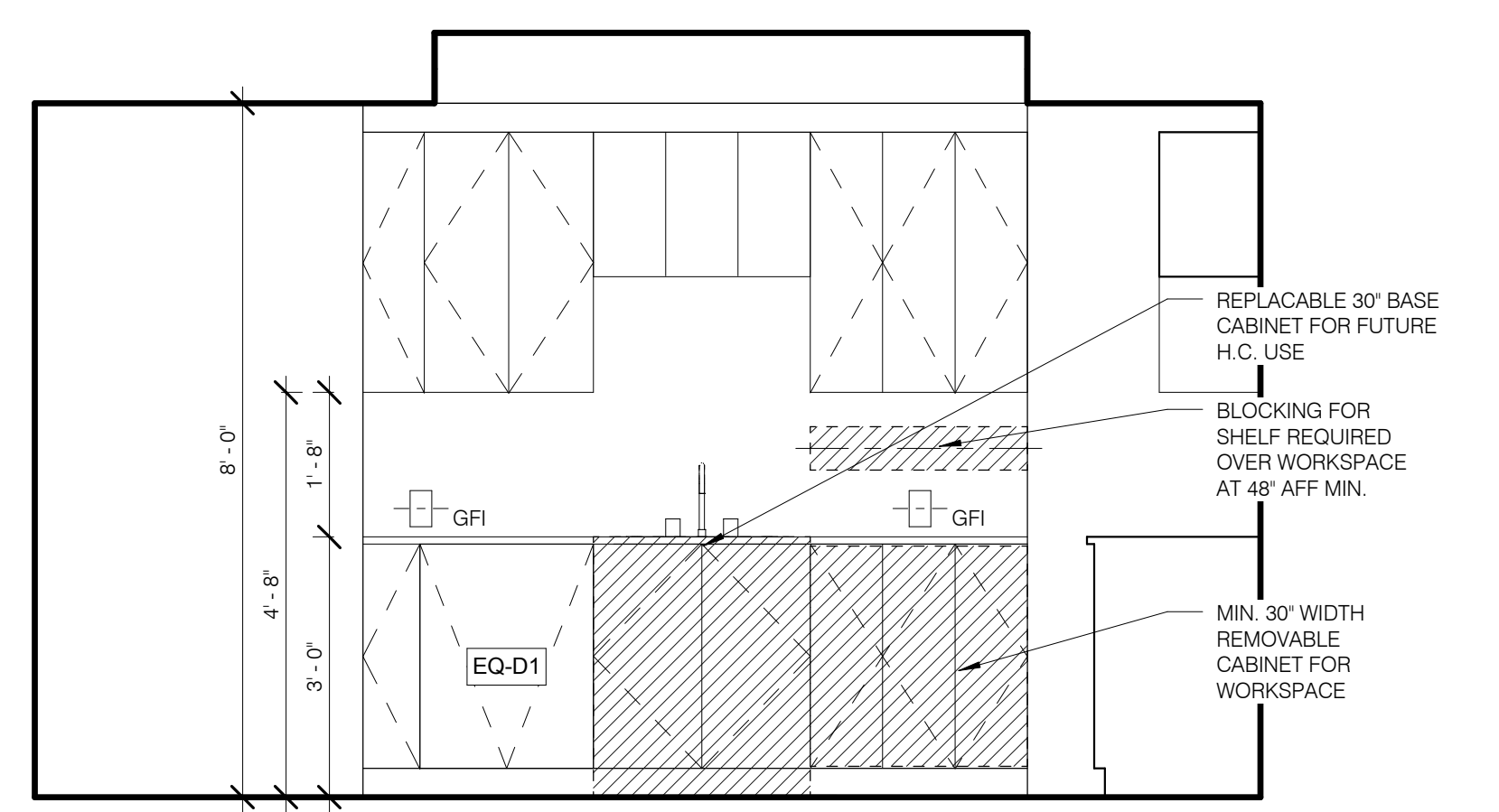
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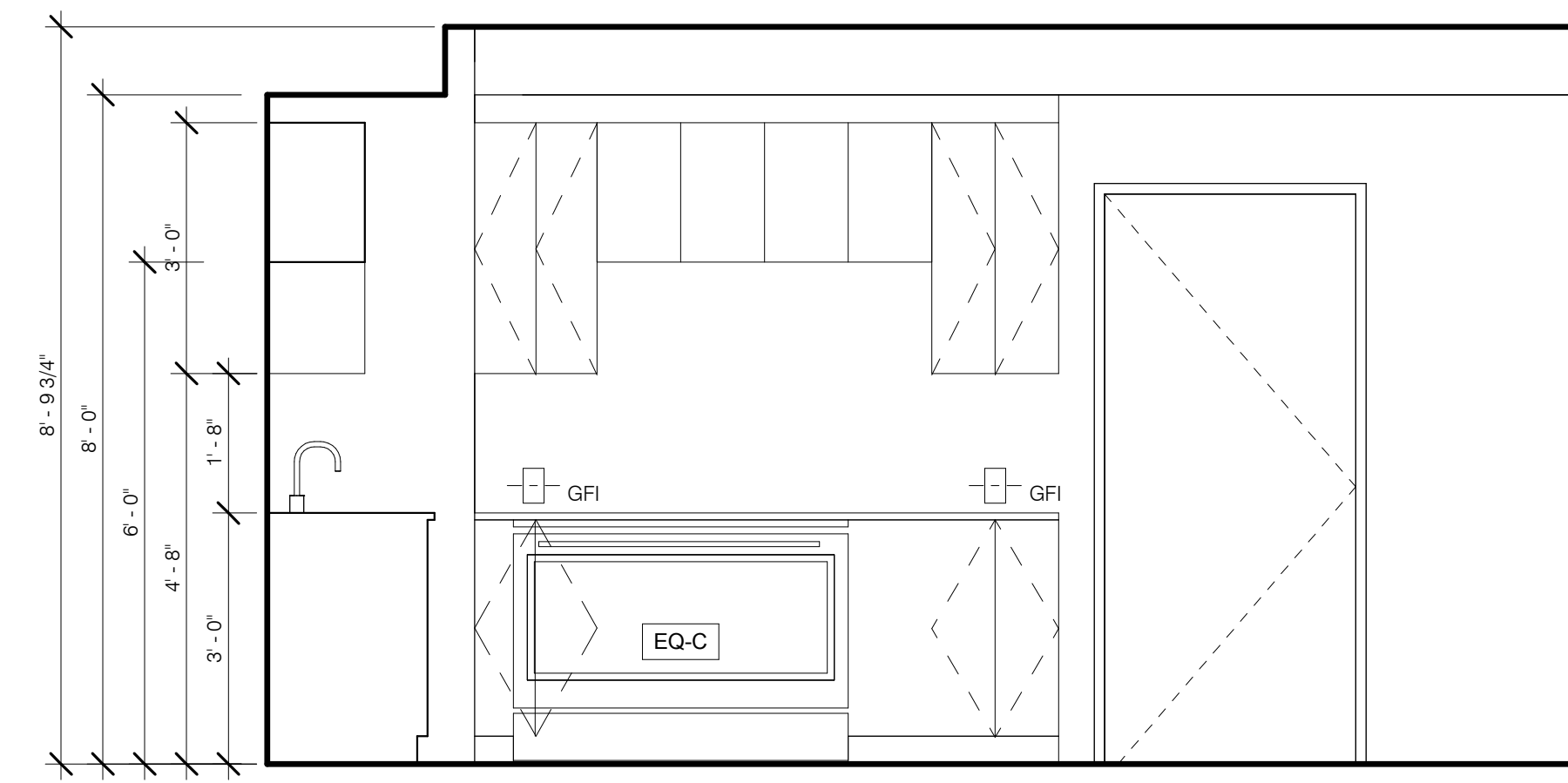
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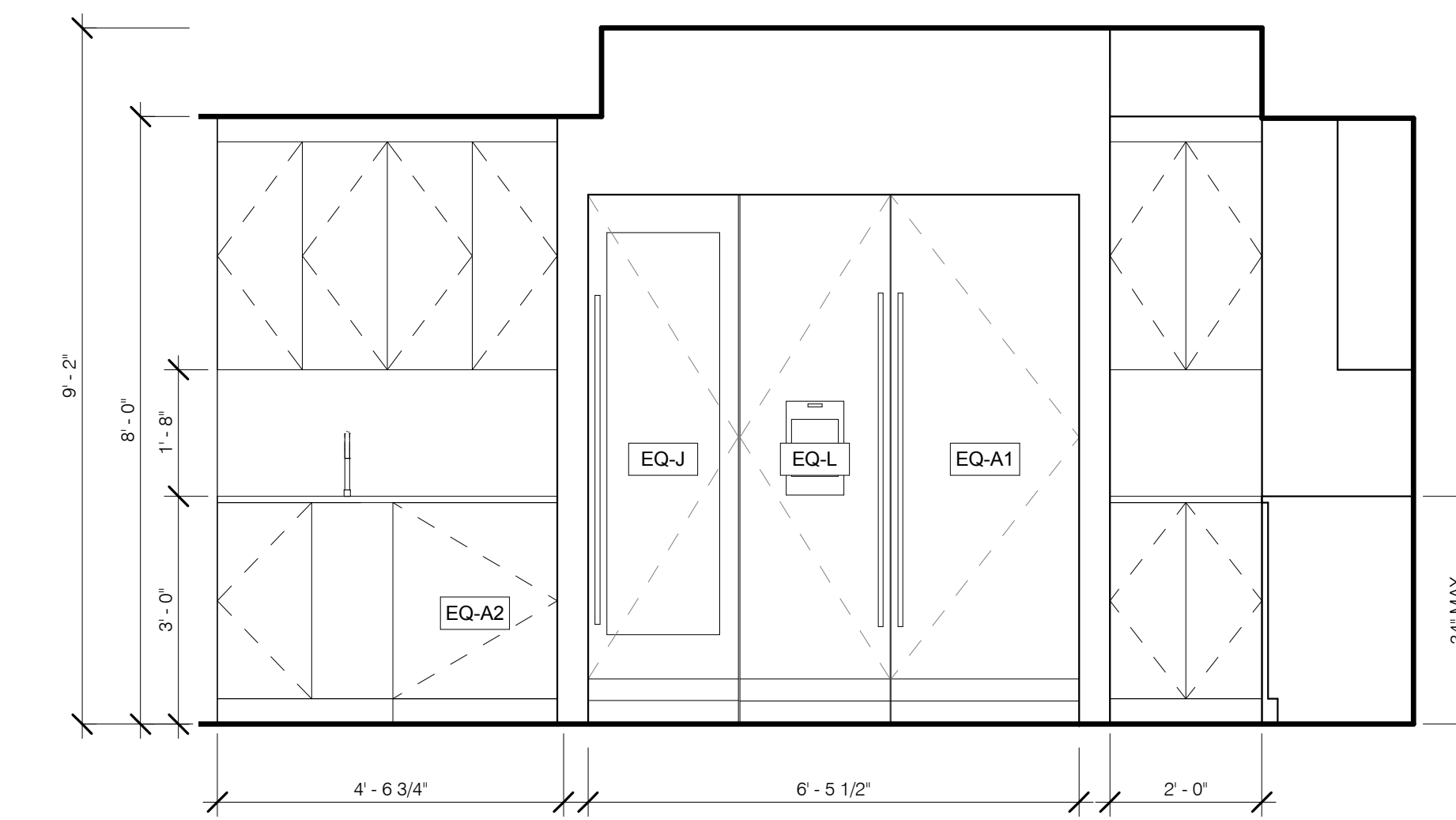
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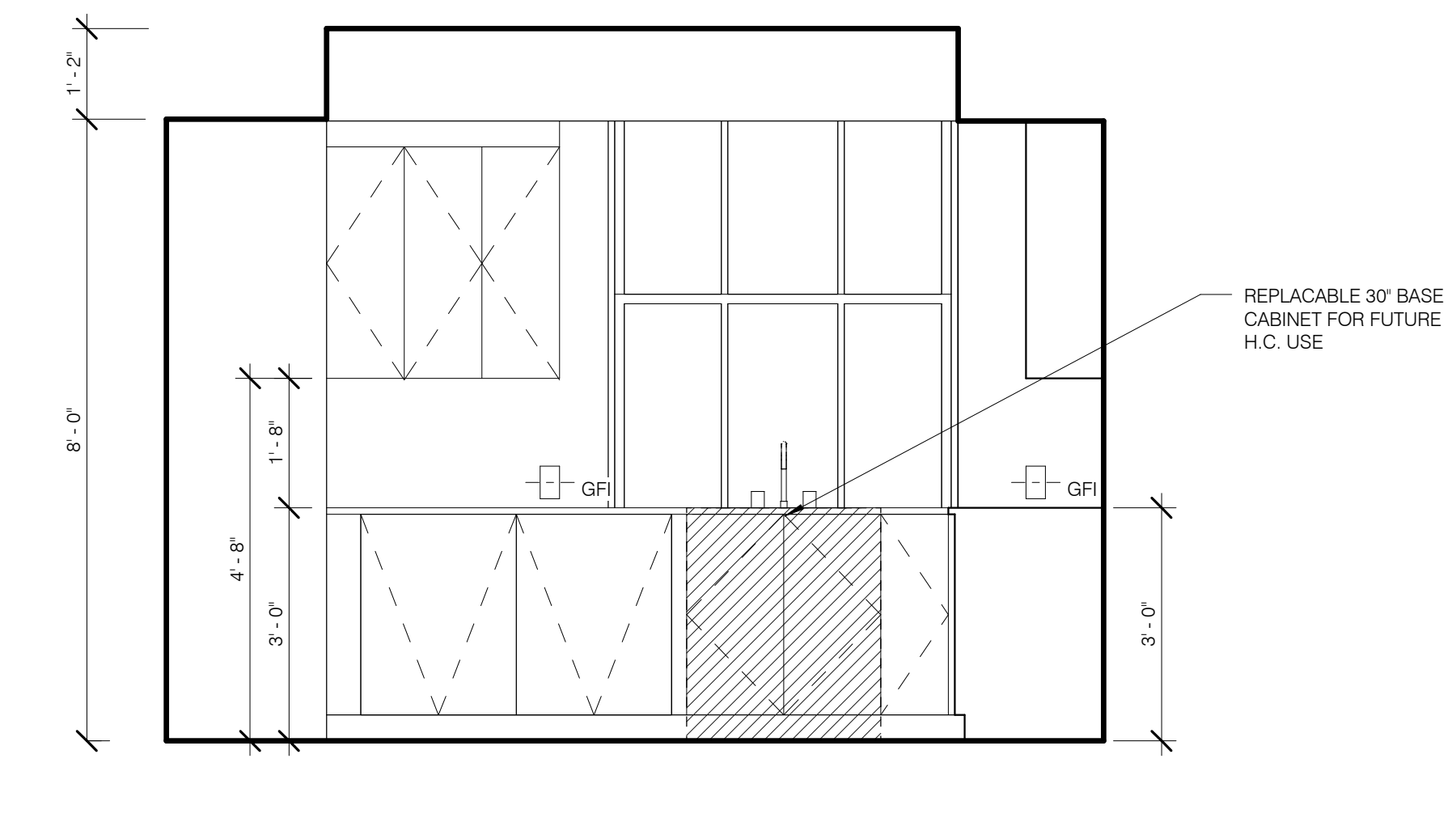
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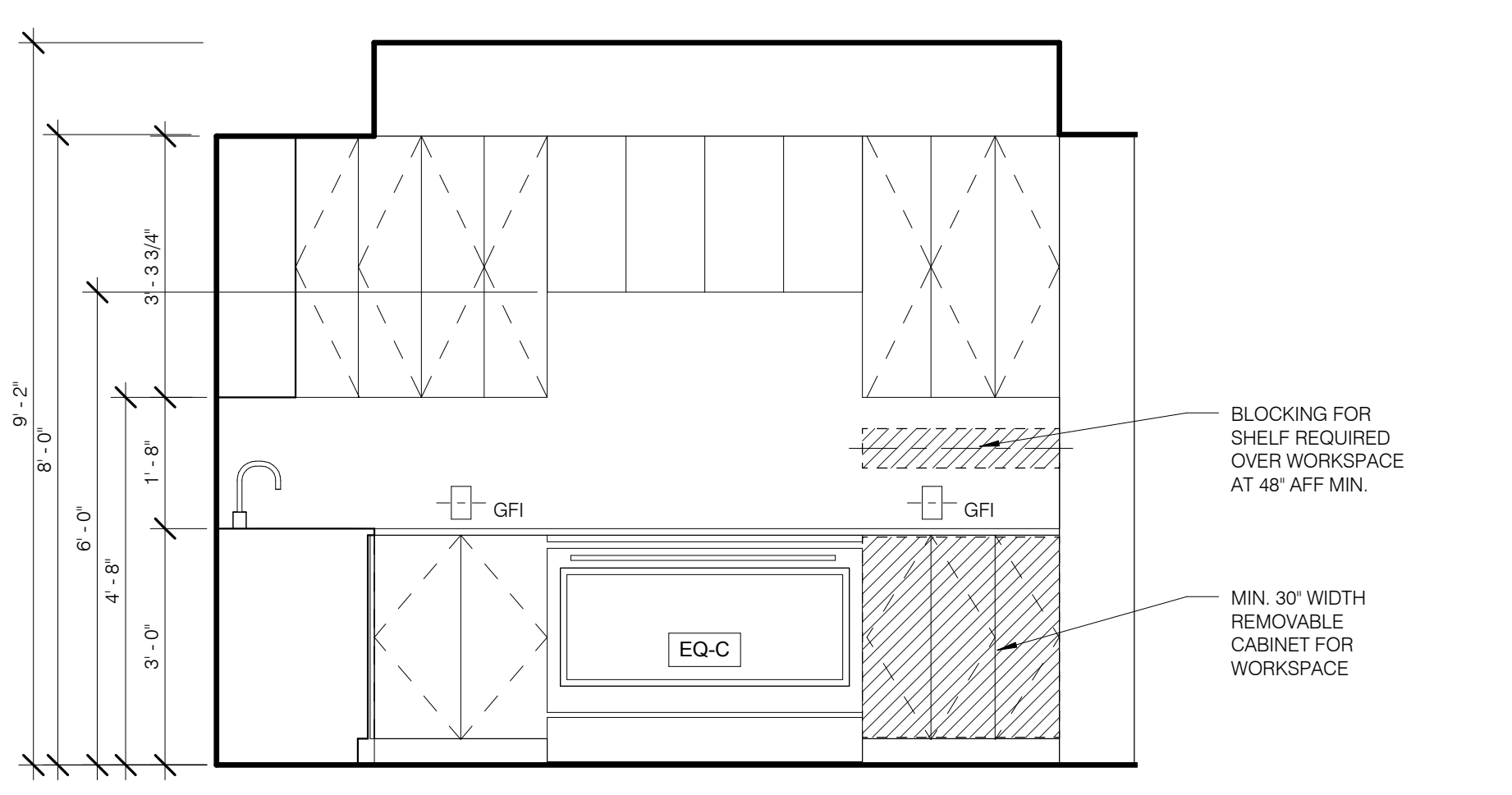
SK-2 KITCHENETTE N 1/2" = 1'-0" 9 A-426.00 A-426.00



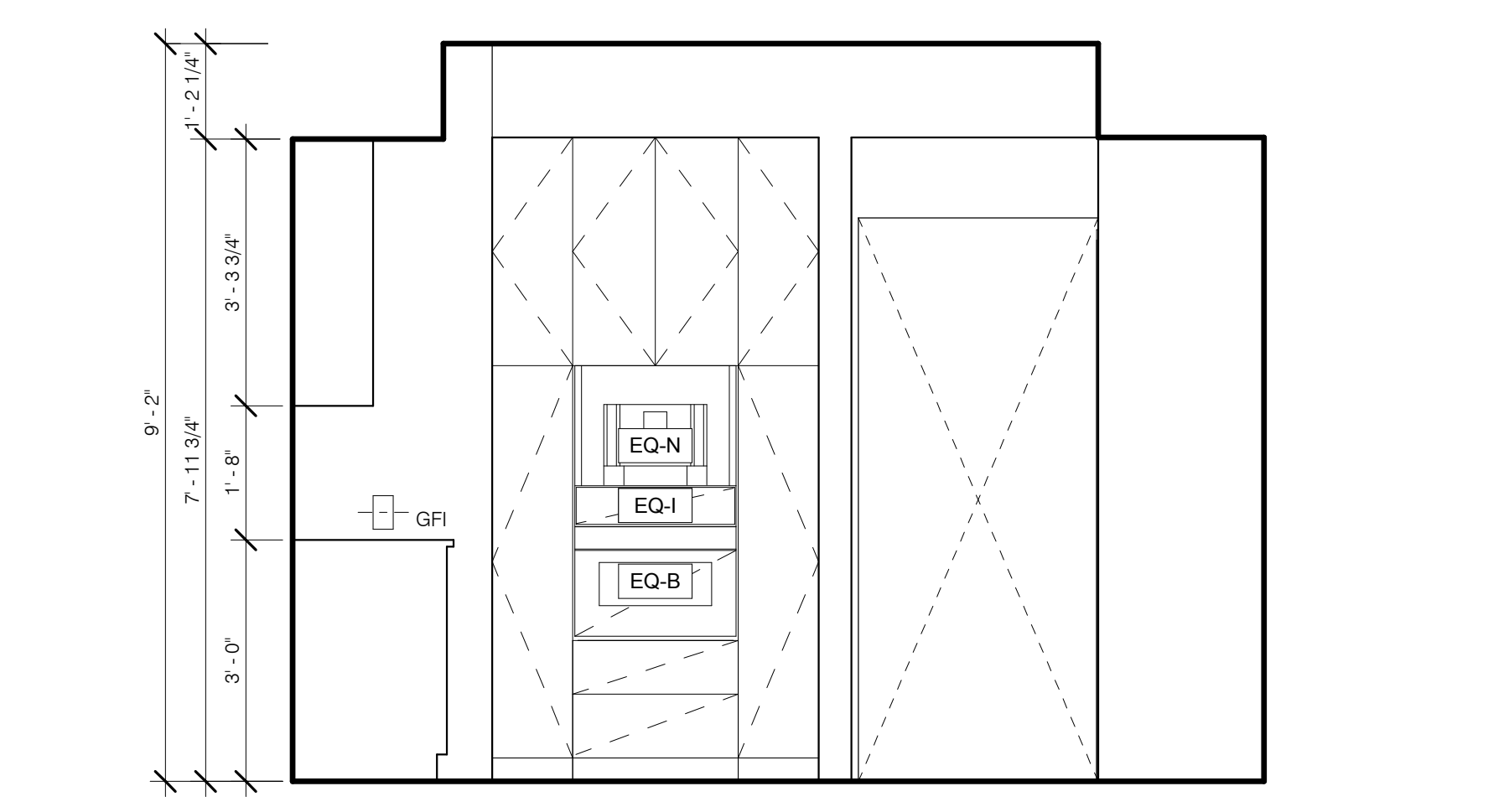
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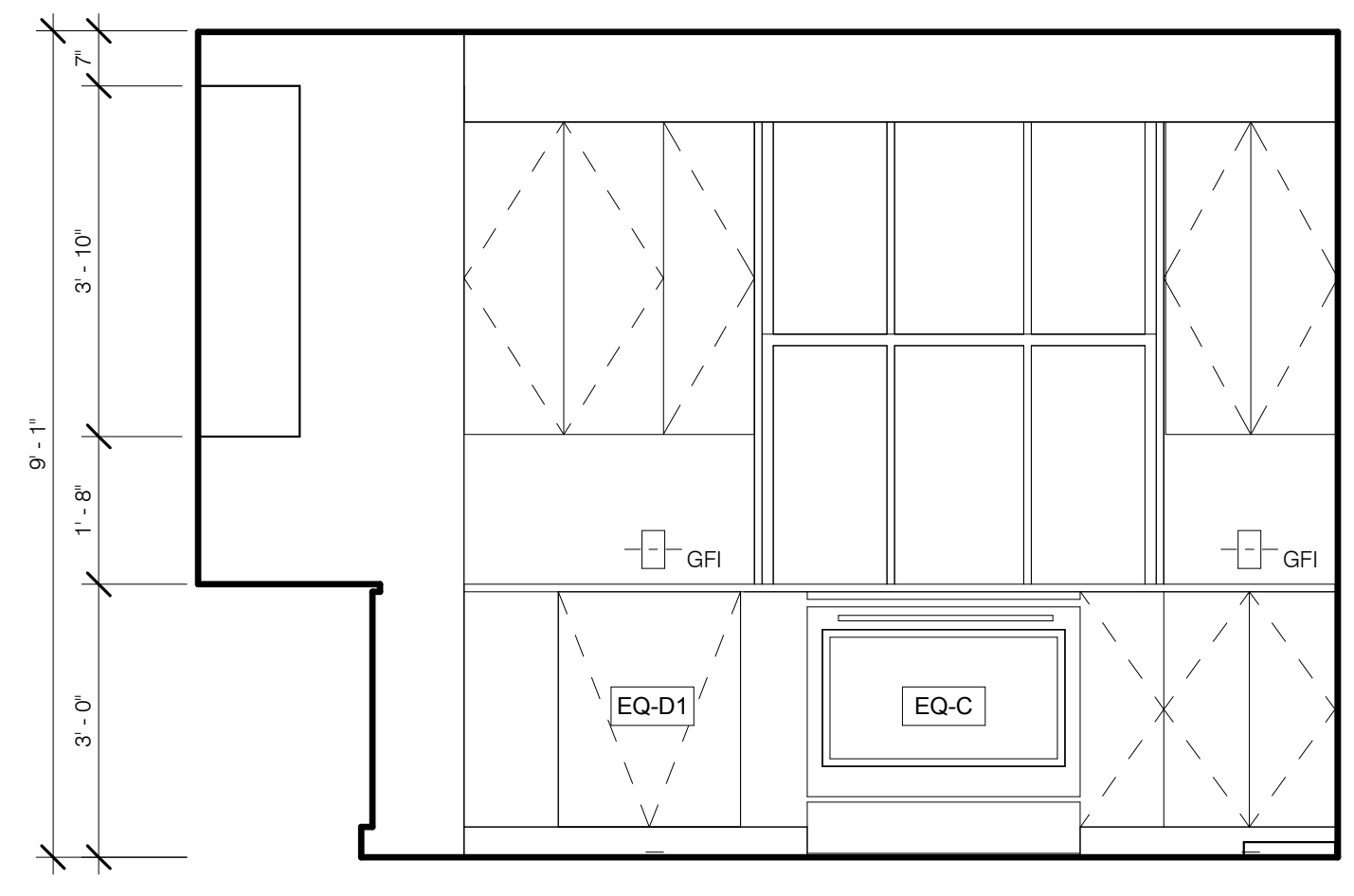
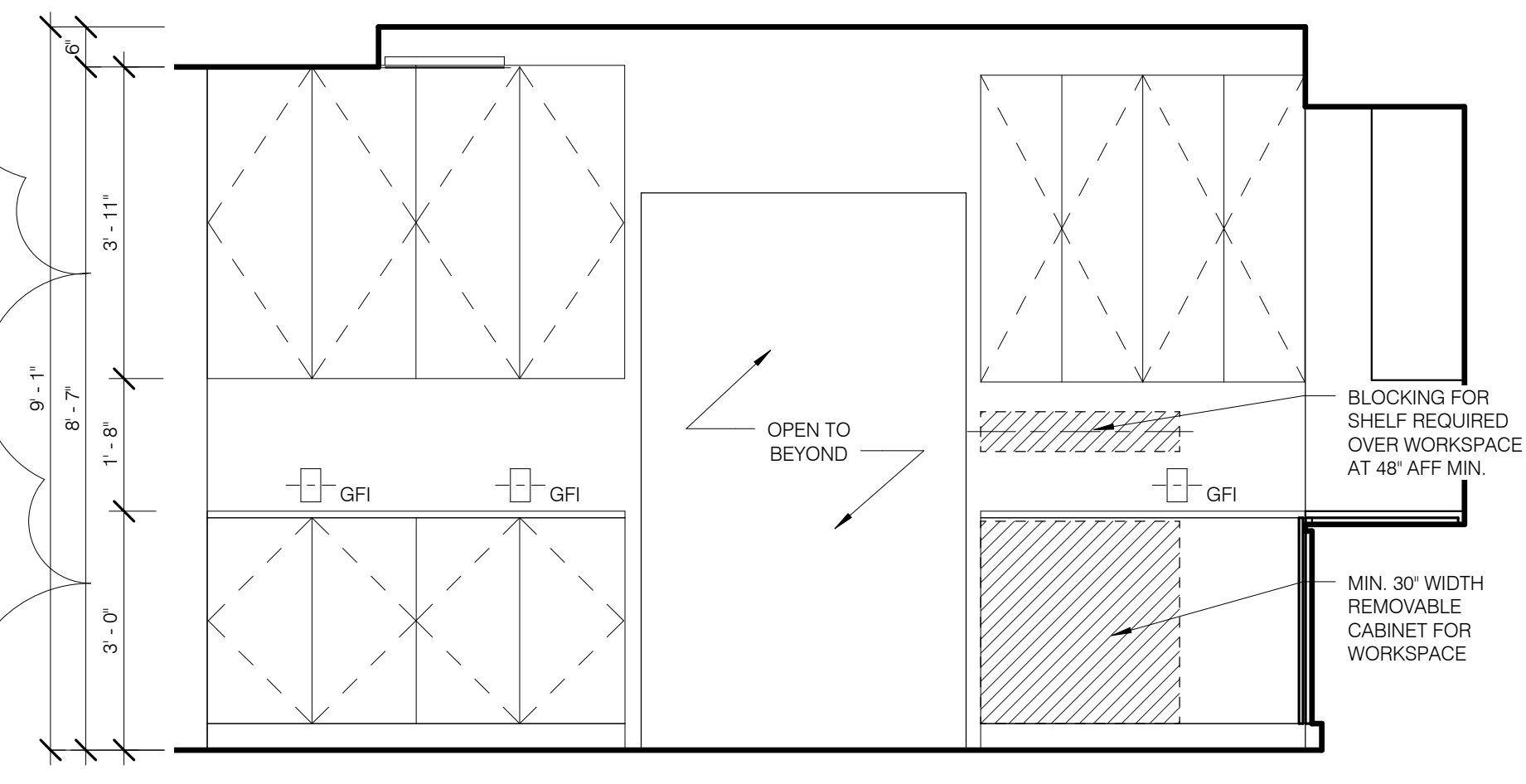
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SK-1 KITCHEN N 1/2" = 1'-0" 5 A-426.00 A-426.00

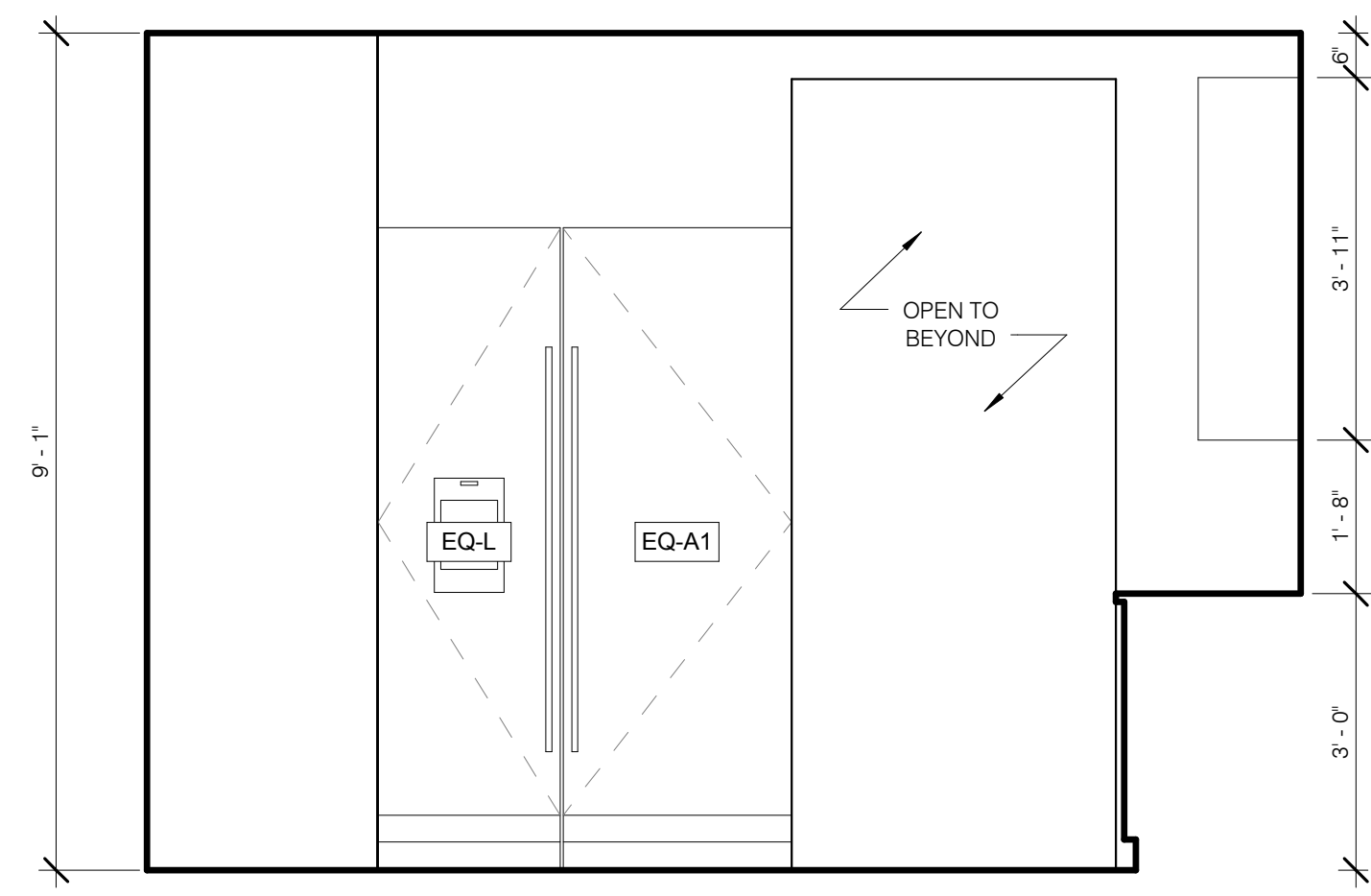
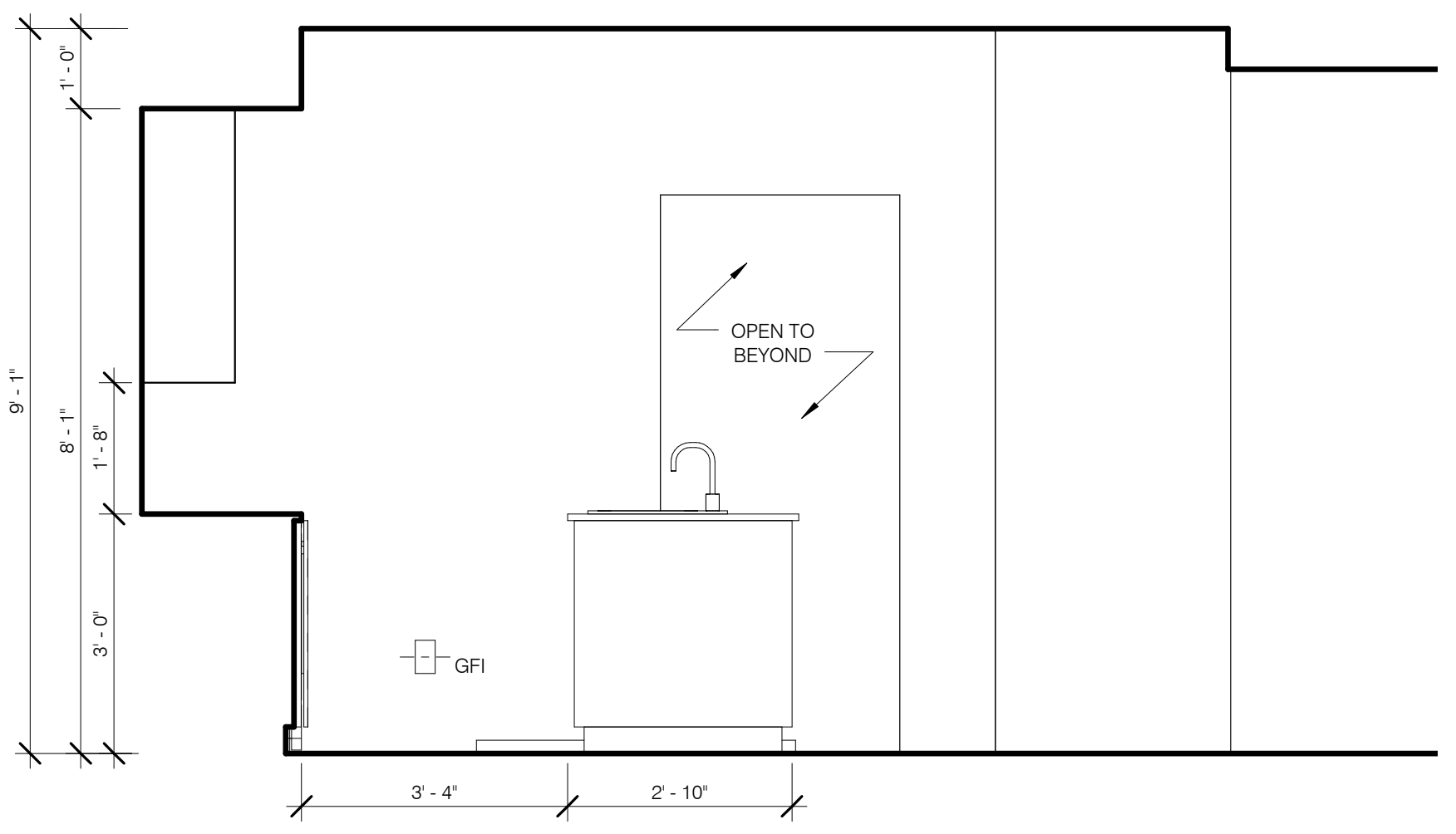


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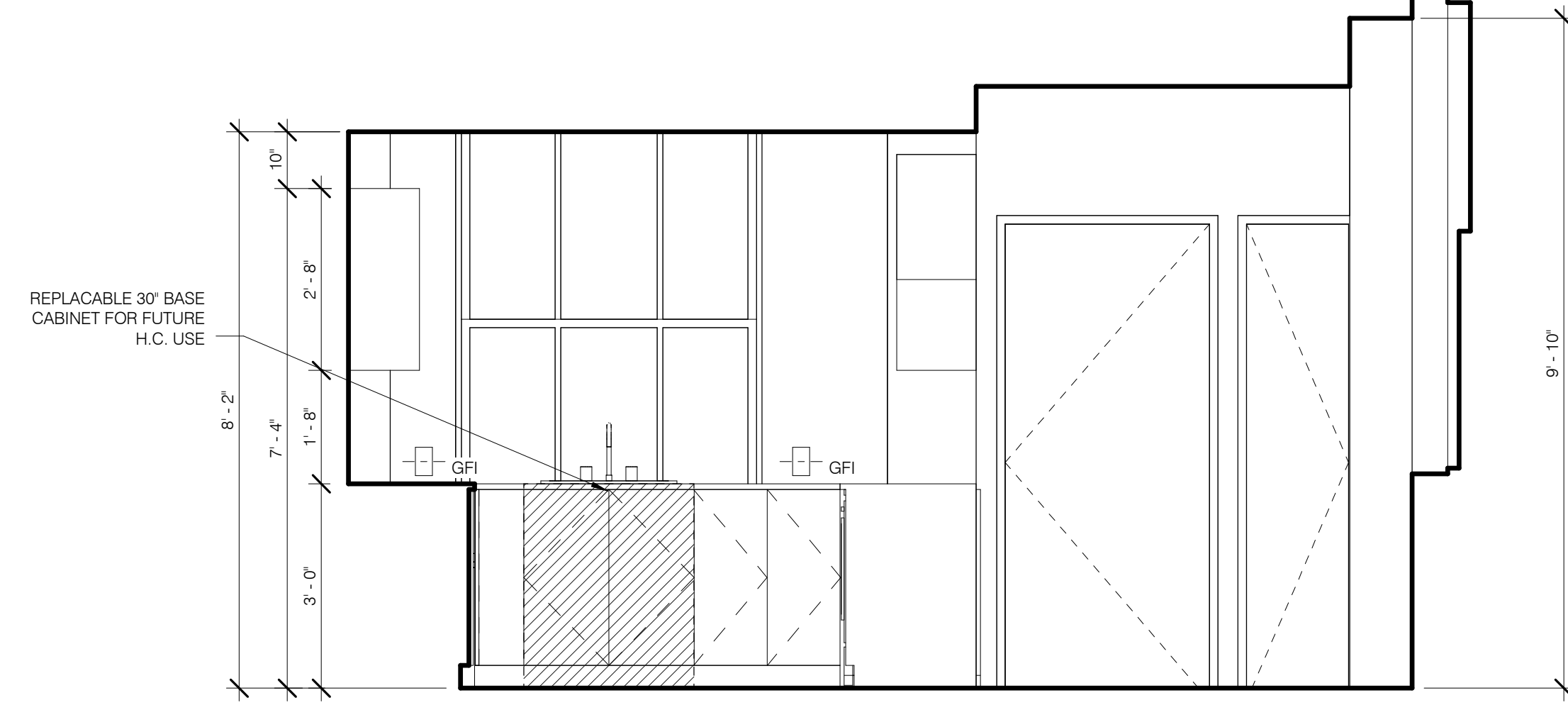
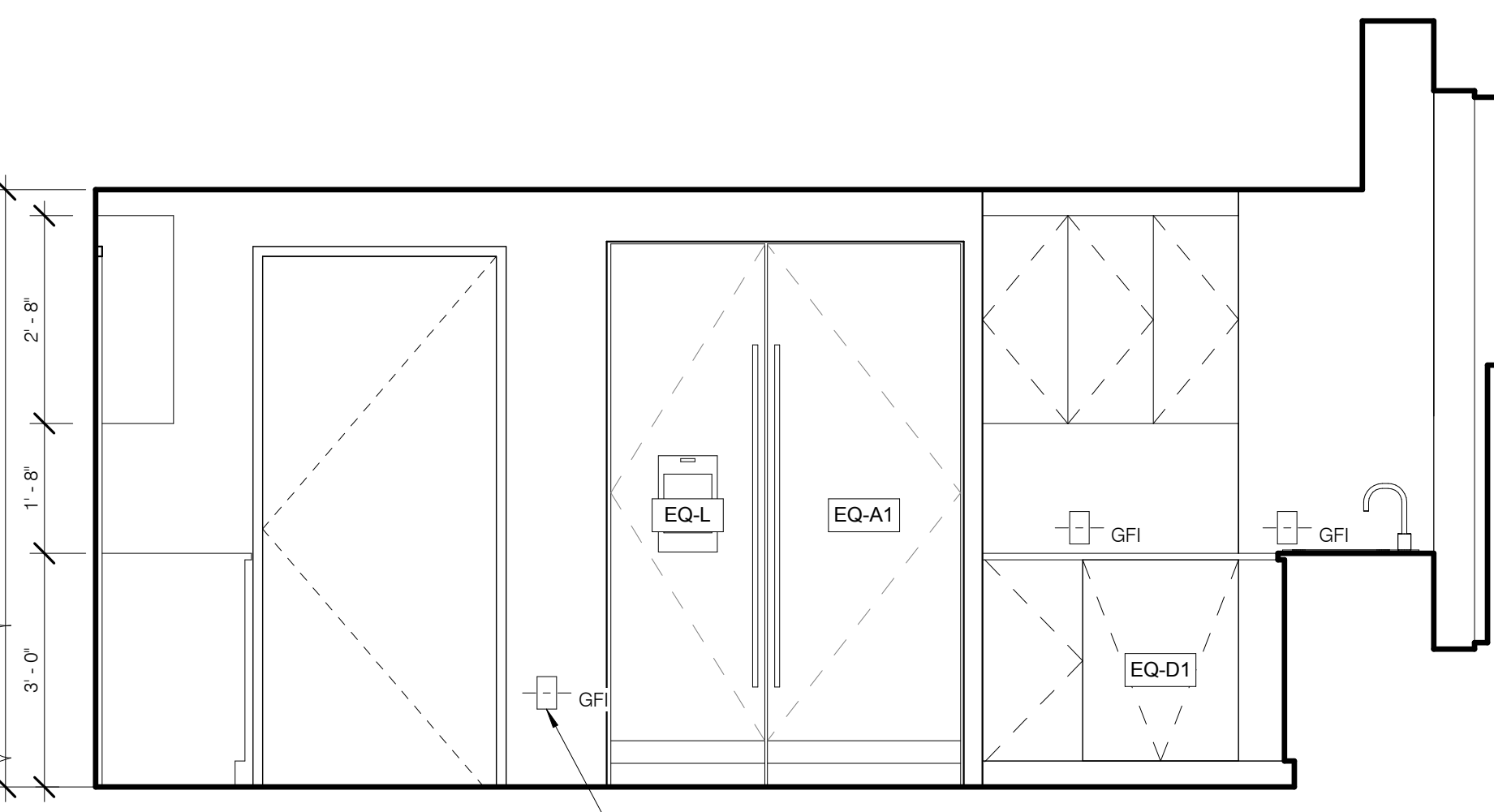
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SK-3 KITCHENETTE W 1/2" = 1'-0" 4 A-427.00 A-427.00



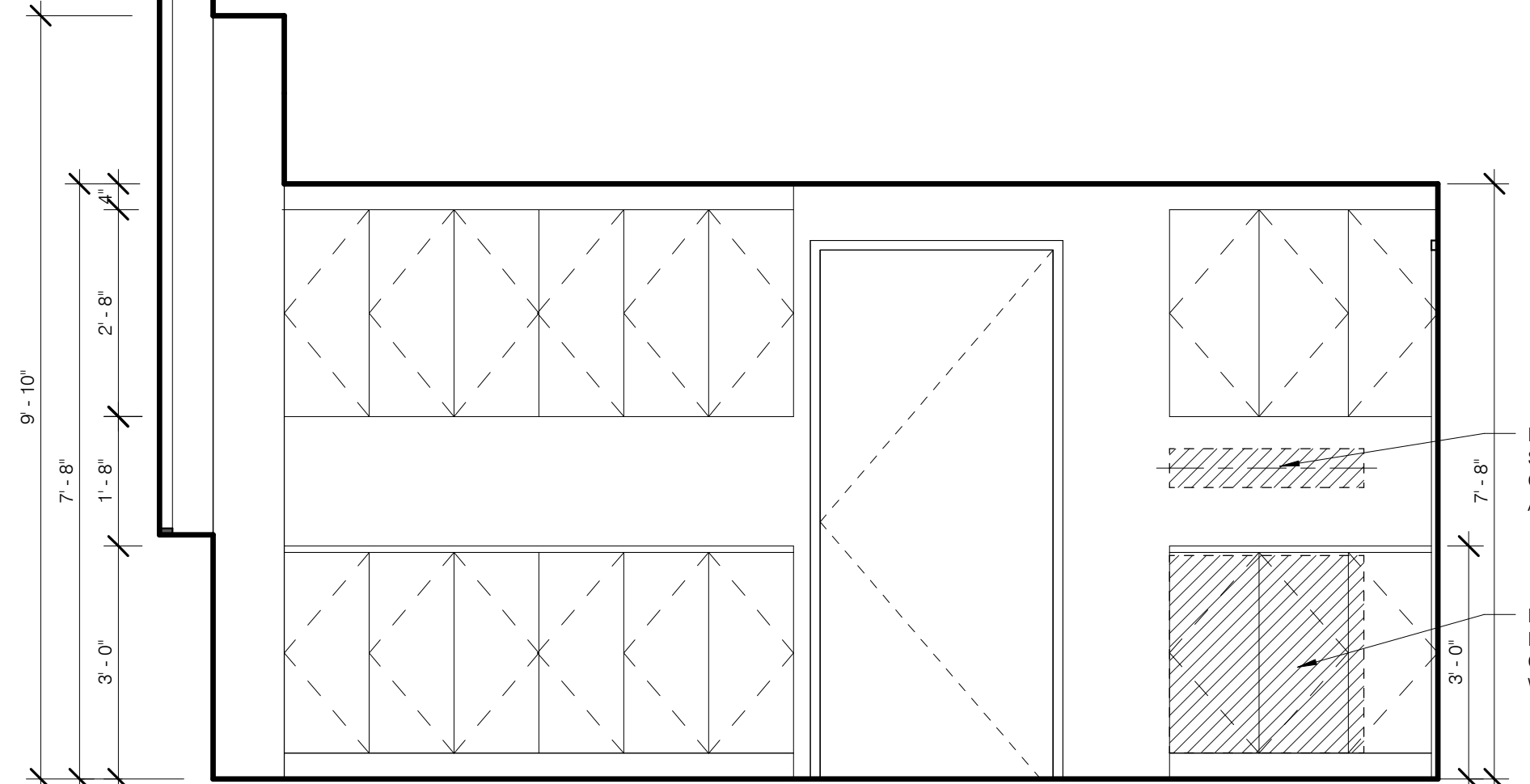
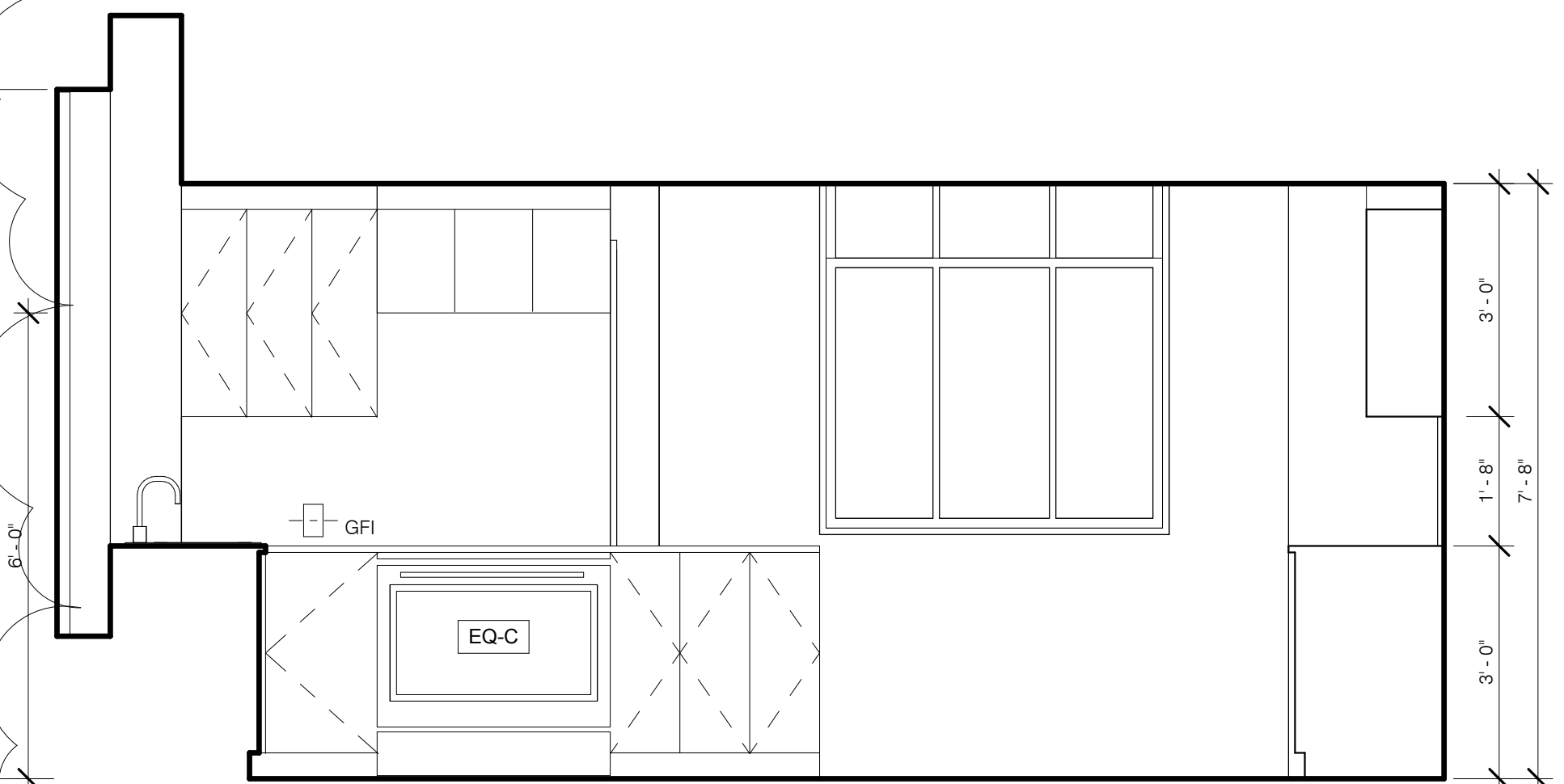
SK-3 KITCHENETTE N 1/2" = 1'-0" 5 A-427.00 A-427.00

SK-3 KITCHENETTE E 1/2" = 1'-0" 6 A-427.00 A-427.00



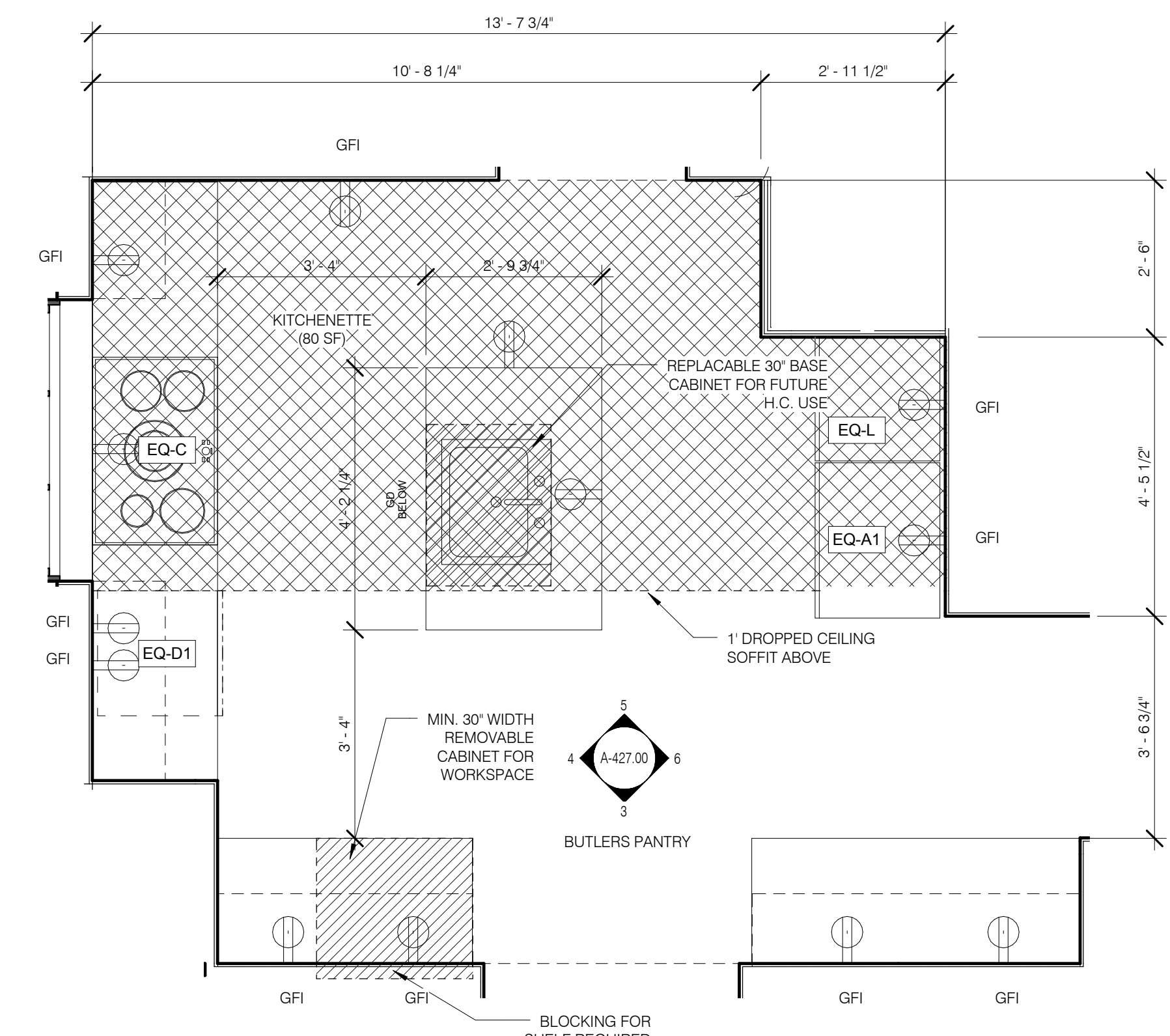
SK-4 KITCHEN S 1/2" = 1'-0" 7 A-427.00 A-427.00

SK-4 KITCHEN W 1/2" = 1'-0" 8 A-427.00 A-427.00

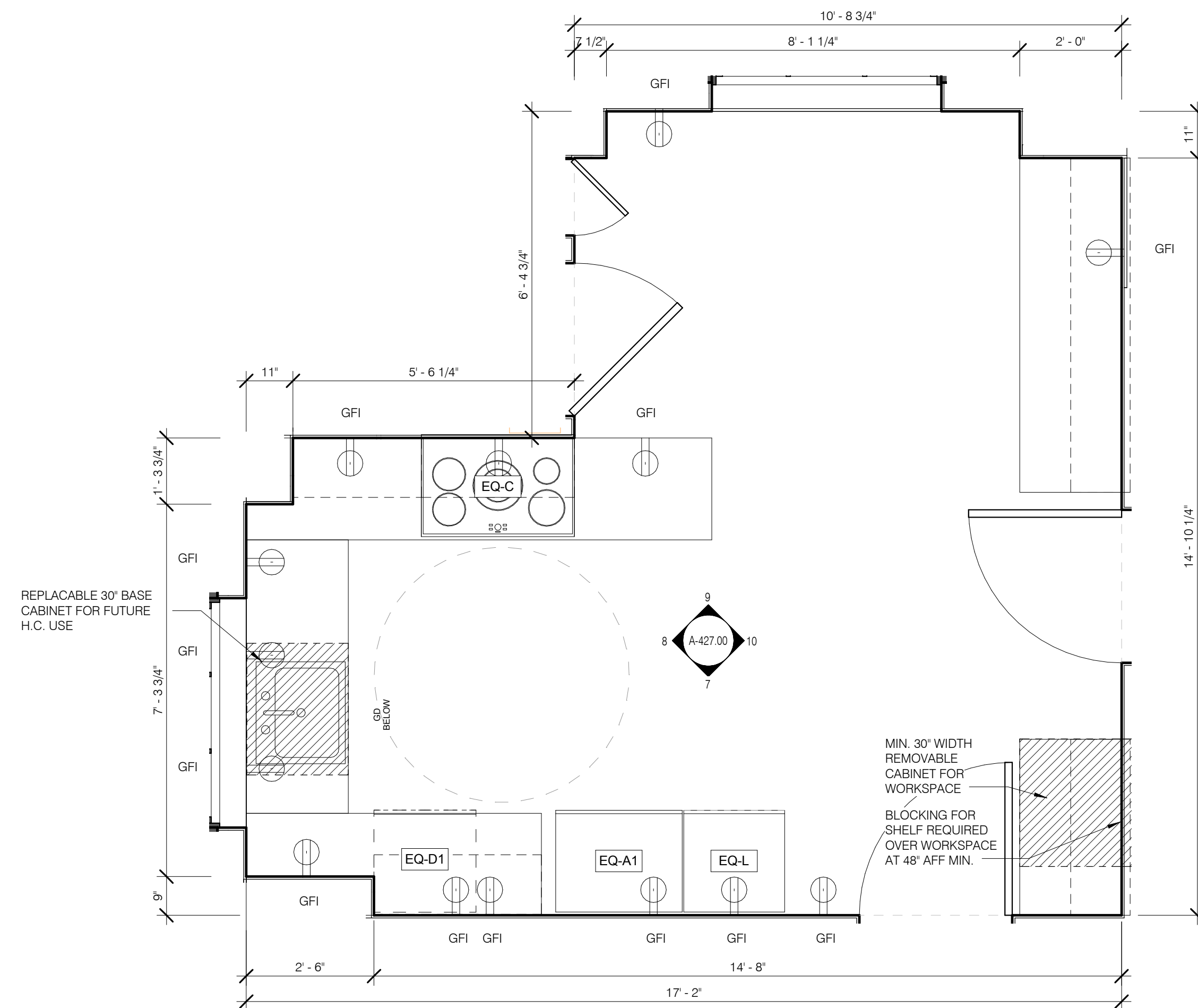


SK-4 KITCHEN N 1/2" = 1'-0" 9 A-427.00 A-427.00

SK-4 KITCHEN E 1/2" = 1'-0" 10 A-427.00 A-427.00



SK-3 KITCHENETTE 1/2" = 1'-0" 1 A-427.00



SK-4 KITCHEN 1/2" = 1'-0" 2 A-427.00

Unit Type	Level	Number	Name
SK-1			
6A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.C	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16PH	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
SK-10			
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

**JDS DEVELOPMENT GROUP**

JDS DEVELOPMENT GROUP  
140 WEST 57TH STREET, 6TH FLOOR  
NEW YORK, NY 10019  
TEL: 646.633.3892

**sh p**

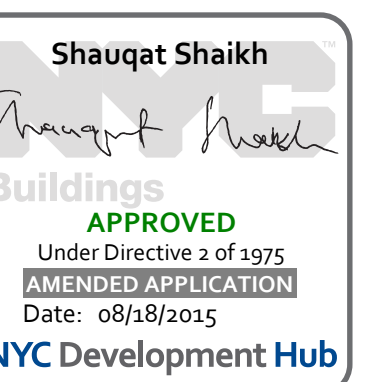
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	INTERIORS	STUDIO SCOFFED
SHAP ARCHITECTS, P.C. 230 BROADWAY, 17TH FLOOR NEW YORK, NY 10007 TEL: 212.693.4888	WSP CANFOR SERAJK 230 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.697.9868	JAMES SHAW & BEALES ALPINE STREET, 13TH FLOOR NEW YORK, NY 10003 TEL: 212.203.9933	WINTERLSEN & ASSOCIATES 4 WOODSIDE STREET, SUITE 504 LONGWOOD, NY 10158 TEL: 877.894.8222	STUDIO SCOFFED 300 W 42ND STREET NEW YORK, NY 10018 TEL: 212.253.0000
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	INTERIORS	STUDIO SCOFFED
WSP CANFOR SERAJK	WINTERLSEN & ASSOCIATES	JAMES SHAW & BEALES	WINTERLSEN & ASSOCIATES	STUDIO SCOFFED
230 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.697.9868	4 WOODSIDE STREET, SUITE 504 LONGWOOD, NY 10158 TEL: 877.894.8222	ALPINE STREET, 13TH FLOOR NEW YORK, NY 10003 TEL: 212.203.9933	4 WOODSIDE STREET, SUITE 504 LONGWOOD, NY 10158 TEL: 877.894.8222	300 W 42ND STREET NEW YORK, NY 10018 TEL: 212.253.0000
ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	INTERIORS	STUDIO SCOFFED
WSP CANFOR SERAJK	WINTERLSEN & ASSOCIATES	JAMES SHAW & BEALES	WINTERLSEN & ASSOCIATES	STUDIO SCOFFED
230 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212.697.9868	4 WOODSIDE STREET, SUITE 504 LONGWOOD, NY 10158 TEL: 877.894.8222	ALPINE STREET, 13TH FLOOR NEW YORK, NY 10003 TEL: 212.203.9933	4 WOODSIDE STREET, SUITE 504 LONGWOOD, NY 10158 TEL: 877.894.8222	300 W 42ND STREET NEW YORK, NY 10018 TEL: 212.253.0000



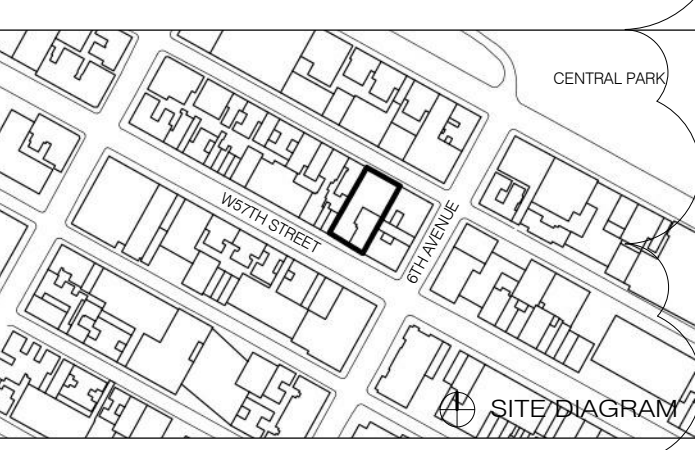
PROPERTY MARKETS GROUP  
1 EAST 17TH STREET, 24TH FLOOR  
NEW YORK, NY 10003  
TEL: 212.693.8888

CURRENT ISSUE

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**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

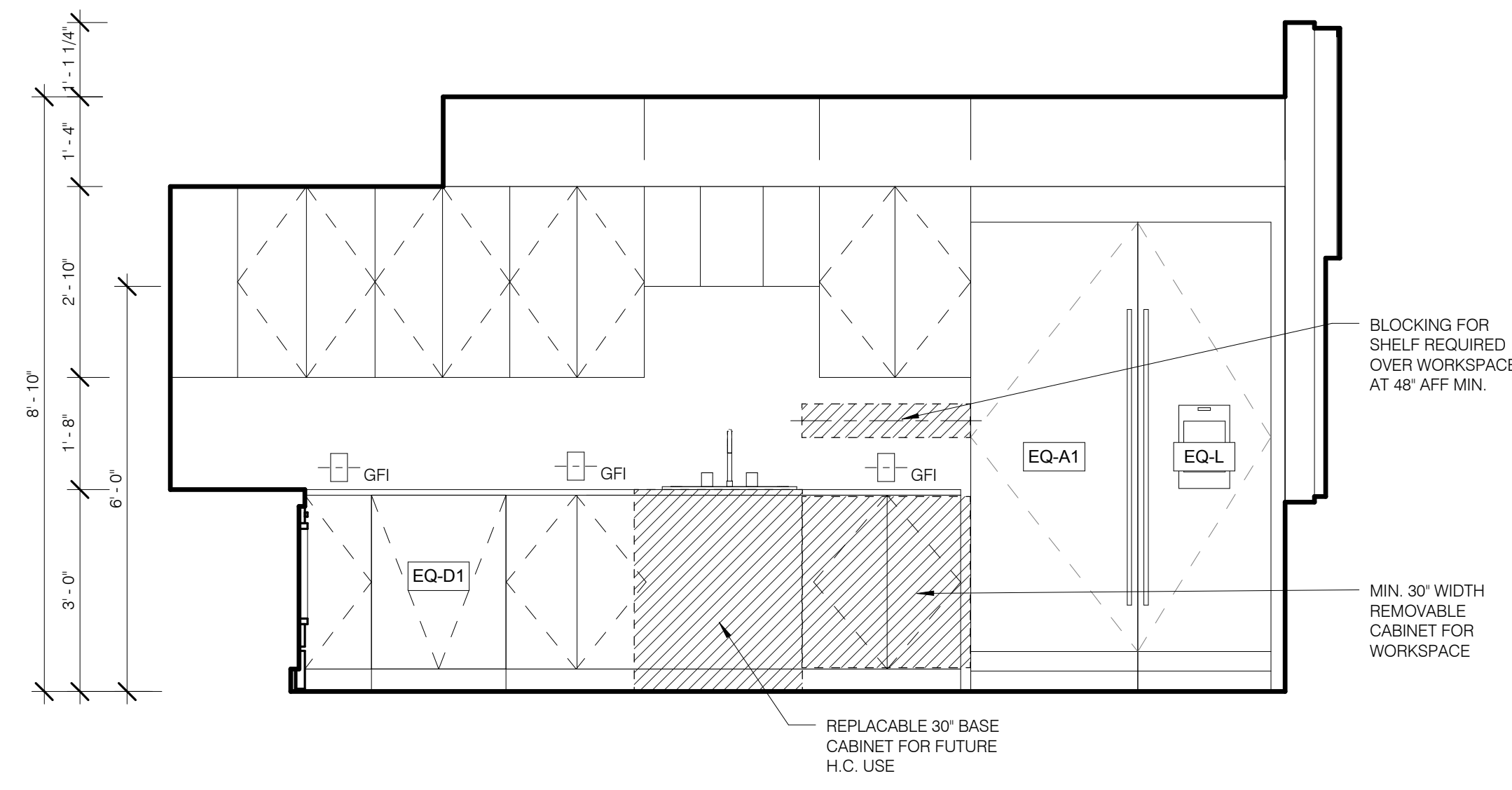
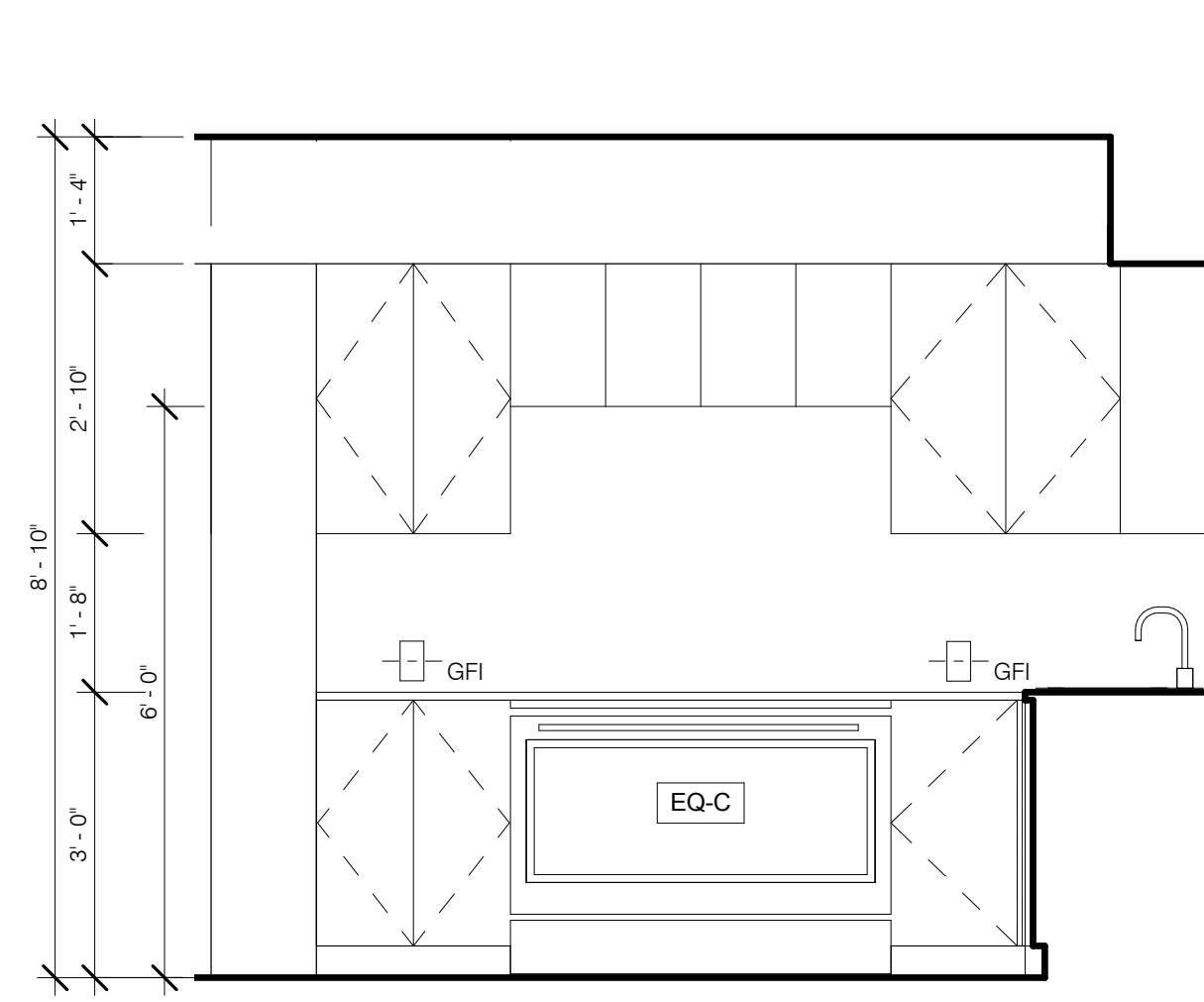


NO.	DATE	REVISION
1	03.27.15	DOB PAA

**KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS**

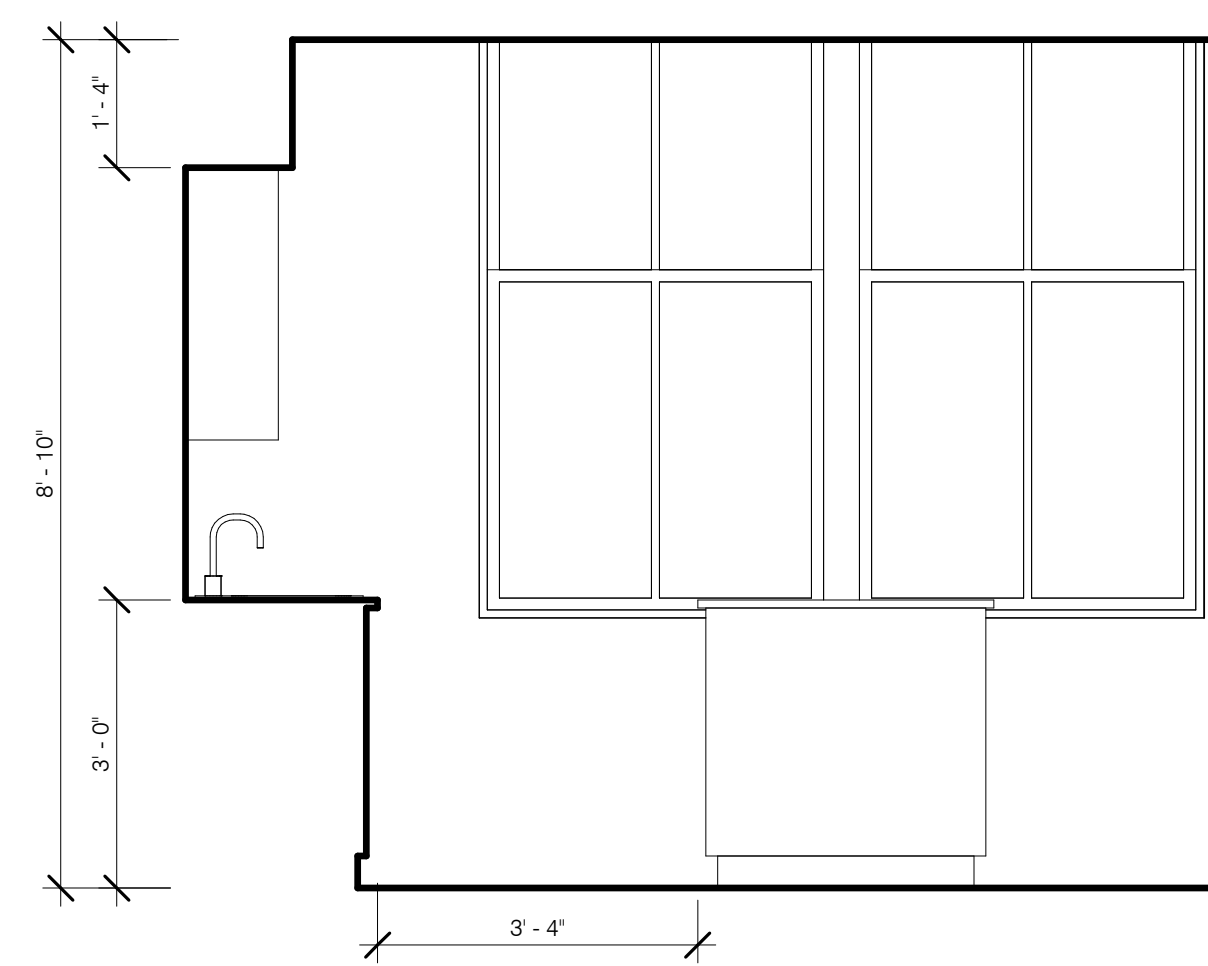
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**A-427.00**

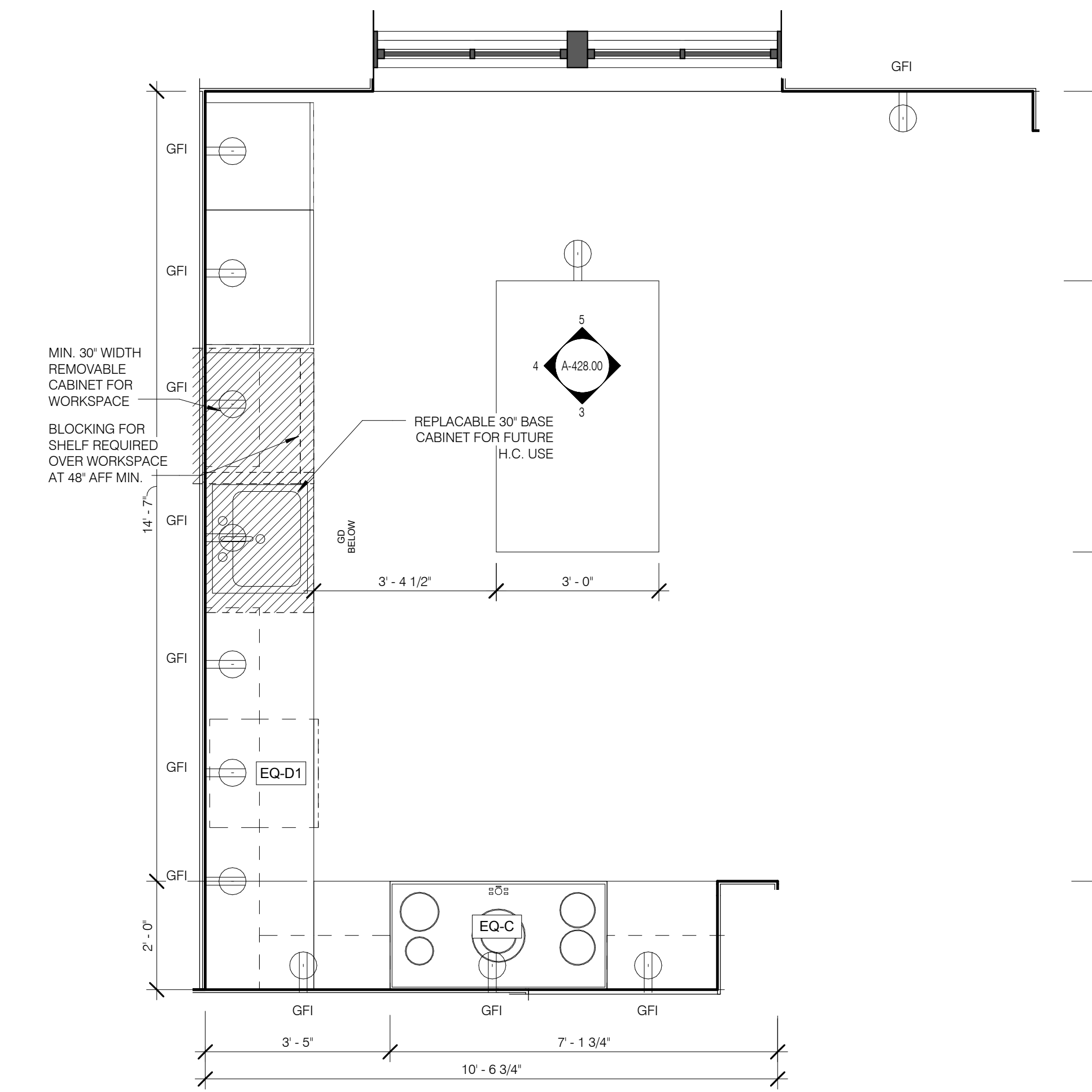


SK-5 KITCHEN S 1/2" = 1'-0" 3 A-428.00 A-428.00

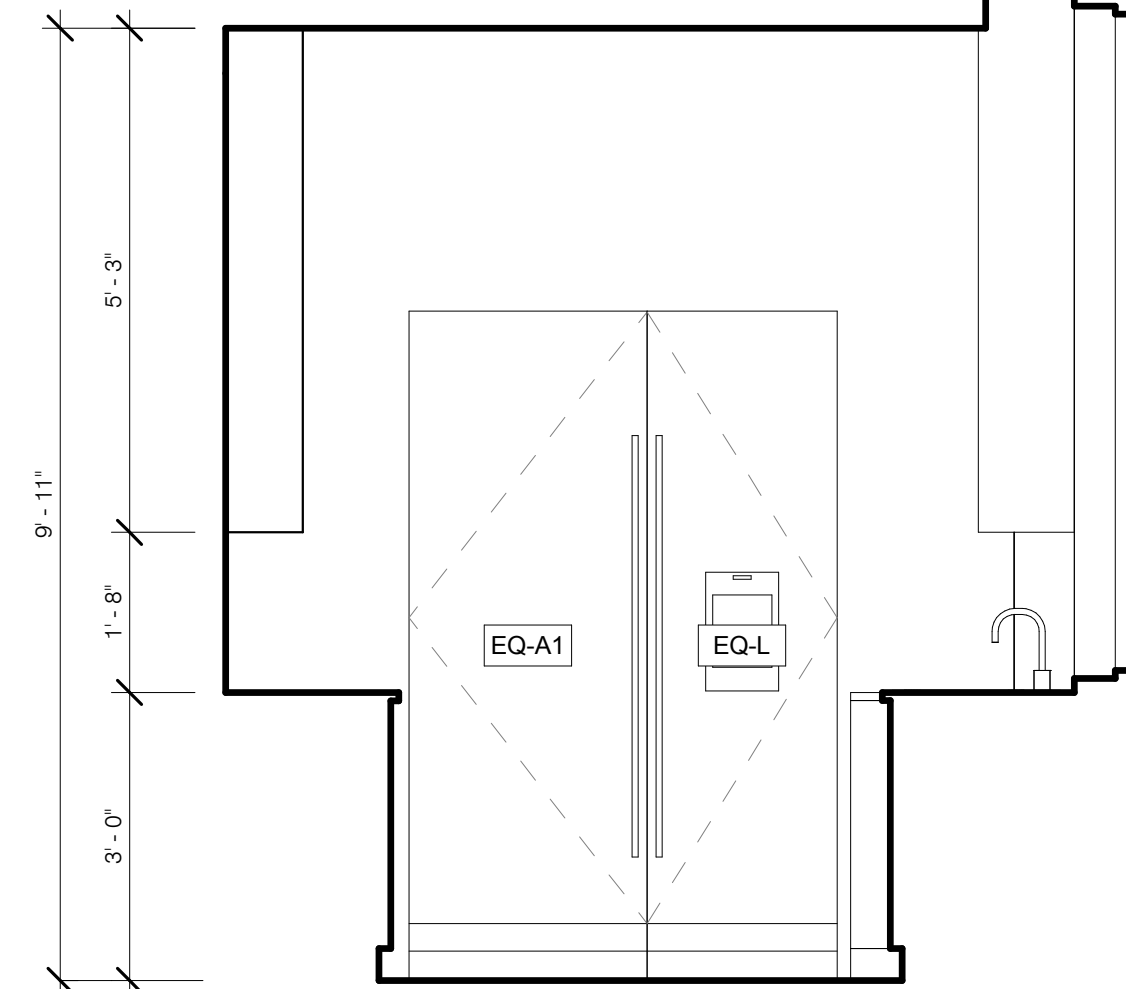
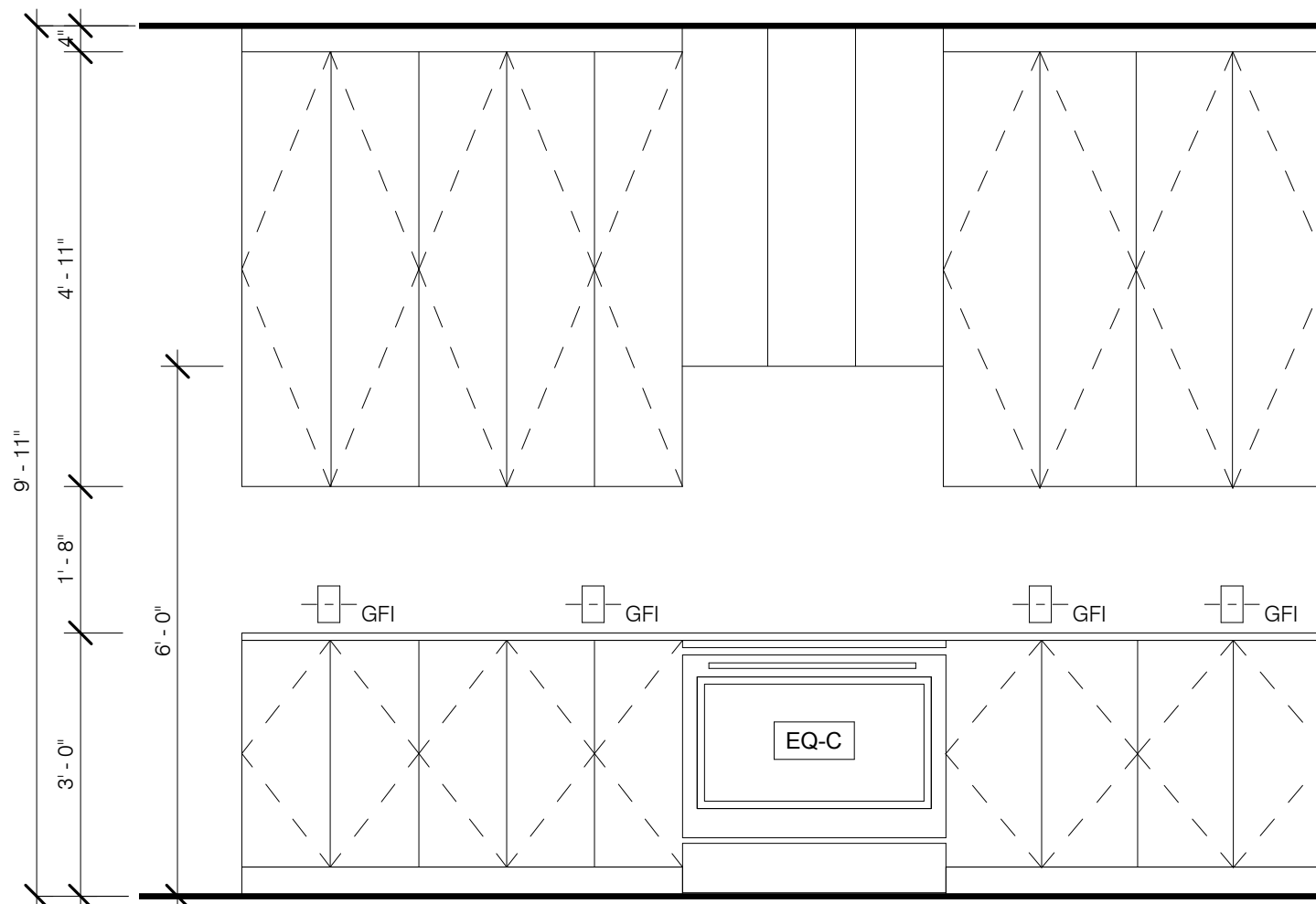
SK-5 KITCHEN W 1/2" = 1'-0" 4 A-428.00 A-428.00



SK-5 KITCHEN N 1/2" = 1'-0" 5 A-428.00 A-428.00

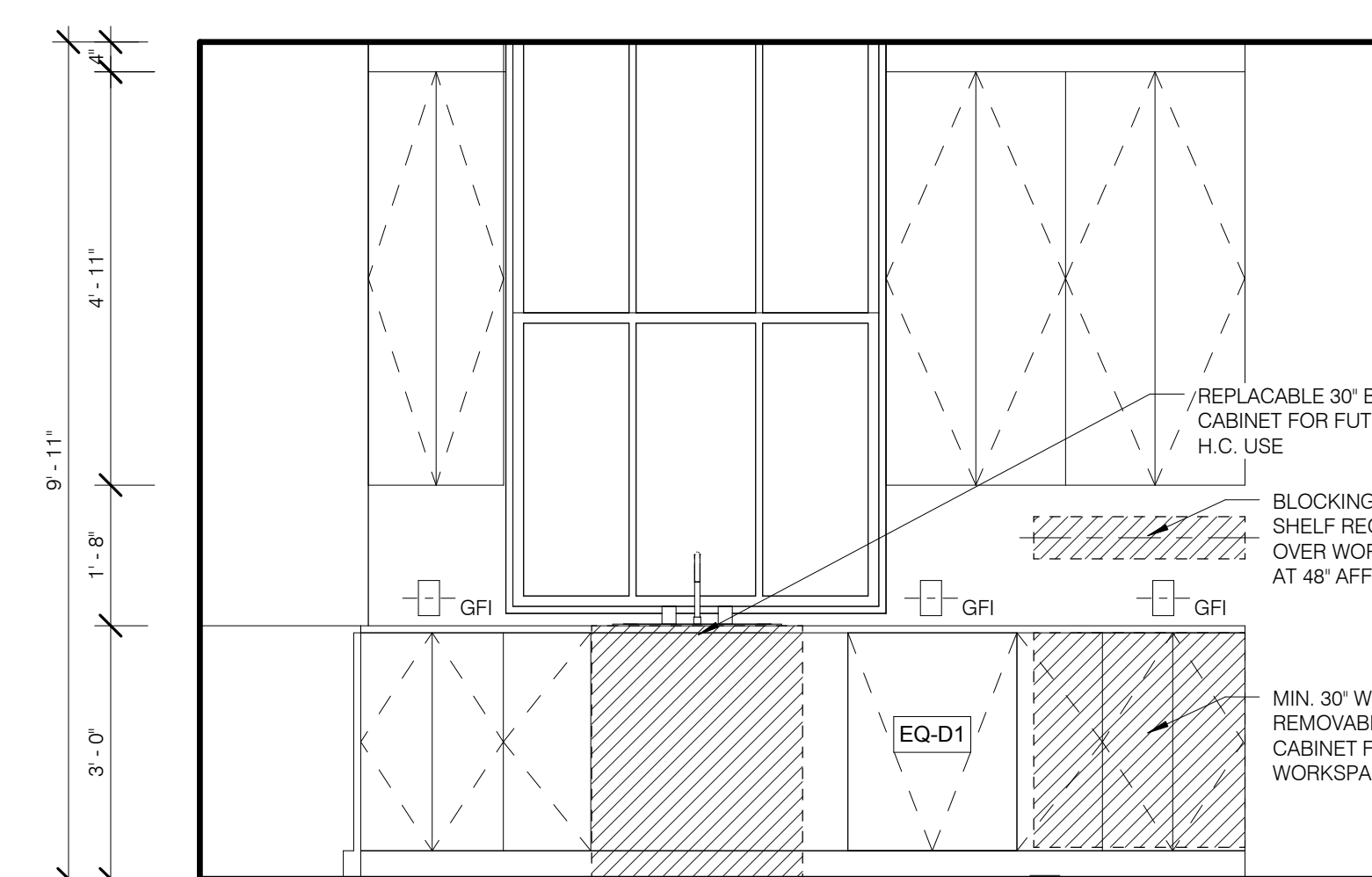


SK-5 KITCHEN (TYP.) 1/2" = 1'-0" 1 A-428.00

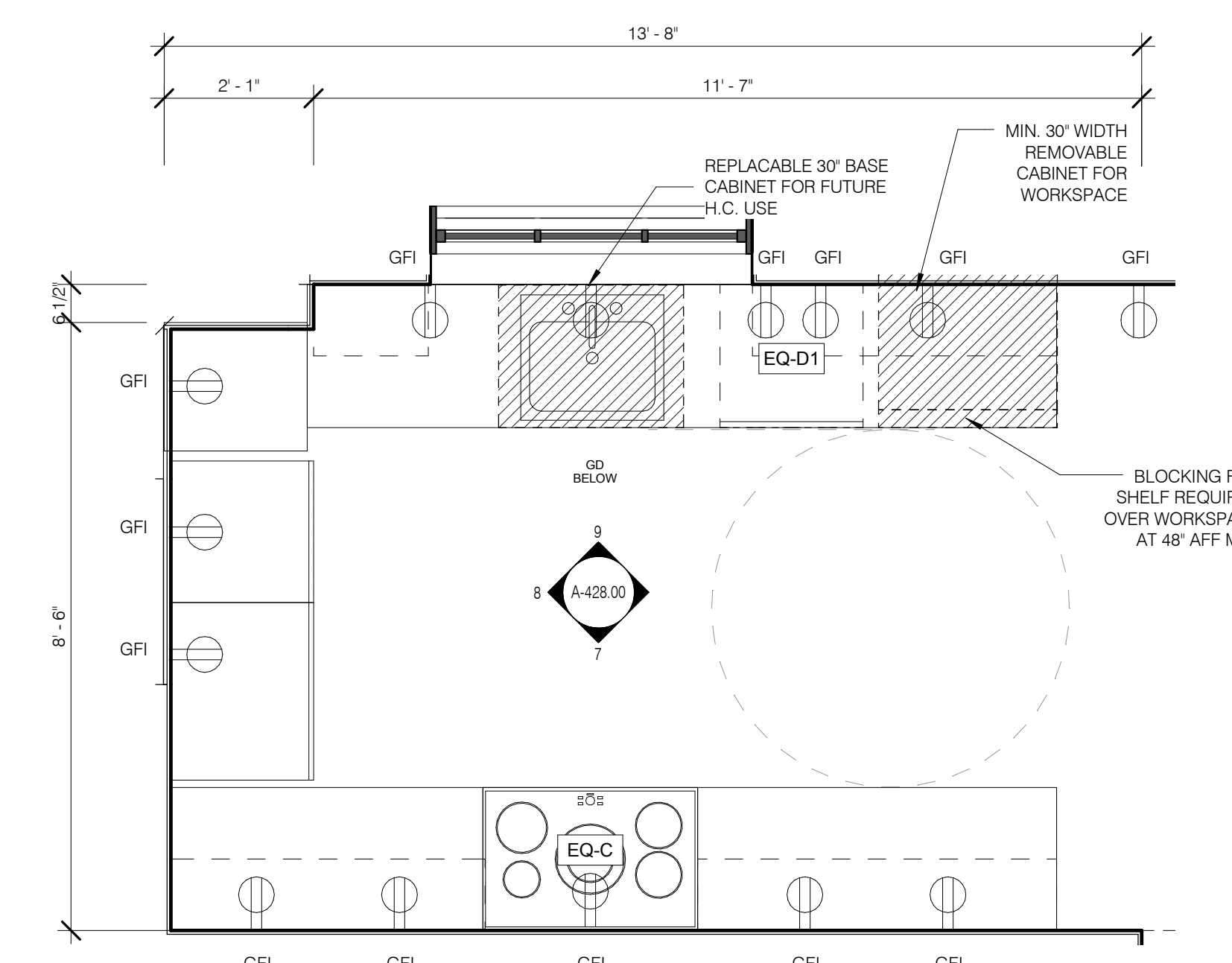


SK-6 KITCHEN S 1/2" = 1'-0" 7 A-428.00 A-428.00

SK-6 KITCHEN W 1/2" = 1'-0" 8 A-428.00 A-428.00



SK-6 KITCHEN N 1/2" = 1'-0" 9 A-428.00 A-428.00



SK-6 KITCHEN 1/2" = 1'-0" 2 A-428.00

Unit Type	Level	Number	Name
SK-1			
08A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.C	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16PH	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16PH	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
SK-10			
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE

**JDS DEVELOPMENT GROUP**

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140 WEST 57TH STREET, 8TH FLOOR  
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**sh p**

ARCHITECT  
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STRUCTURAL ENGINEER  
WSP CANFOR BERAK  
230 WEST 47TH STREET  
NEW YORK, NY 10019  
TEL: 212.693.8888

MEP ENGINEER  
JAMES SHUKLA & ASSOCIATES  
400 WEST 125TH STREET  
NEW YORK, NY 10032  
TEL: 212.253.9933

CIVIL ENGINEER  
ARUP ENGINEERING, P.C.  
400 WEST 125TH STREET  
NEW YORK, NY 10019  
TEL: 212.253.9933

ACOUSTICS  
LONGMANN LINDSEY  
400 WEST 125TH STREET  
NEW YORK, NY 10019  
TEL: 212.253.9933

INTERIORS  
STUDIO SCOFIELD  
100 BROADWAY  
NEW YORK, NY 10004  
TEL: 212.253.9933

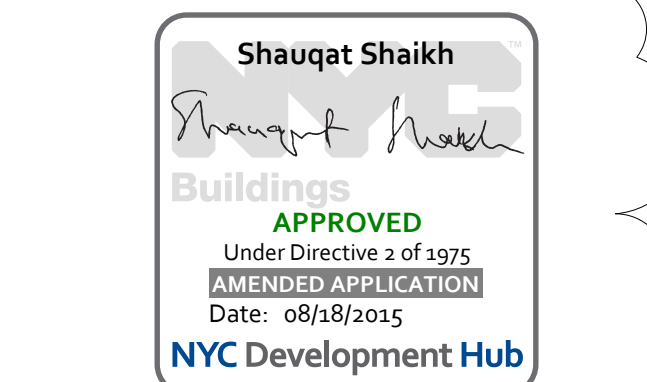
PROPERTY MARKETS GROUP  
140 WEST 57TH STREET, 2ND FLOOR  
NEW YORK, NY 10019  
TEL: 212.693.8888

CURRENT ISSUE

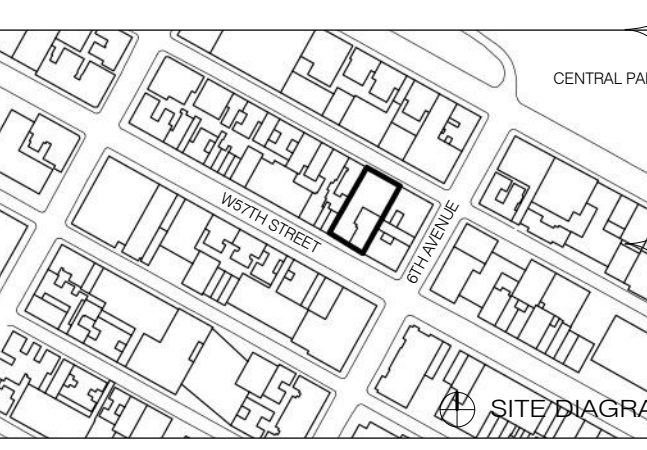


PROPERTY MARKETS GROUP  
140 WEST 57TH STREET, 2ND FLOOR  
NEW YORK, NY 10019  
TEL: 212.693.8888

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111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019



NO.	DATE	REVISION
1	03.27.15	DOB PAA

DRAWING TITLE  
**KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS**

SEAL & SIGNATURE	DATE
	3.27.15

PROJECT NO. 130607  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
DOB NO. 121332968  
DRAWING NUMBER  
**A-428.00**



KITCHEN TYPES BY UNIT - STEINWAY

Unit Type	Level	Number	Name
SK-1			
09A	LEVEL 9	0901.C	KITCHENETTE (SK1)
10A	LEVEL 10	1001.Q	KITCHENETTE (SK1)
SK-2			
10B	LEVEL 10	1002.C	KITCHENETTE (SK2)
11B	LEVEL 11	1102.C	KITCHENETTE (SK2)
SK-3			
11A	LEVEL 11	1101.C	KITCHENETTE (SK3)
SK-4			
13A	LEVEL 13	1301.C	KITCHEN (SK4)
SK-5			
13B	LEVEL 13	1302.C	KITCHEN (SK5)
14B	LEVEL 14	1402.Z	KITCHEN (SK5)
SK-6			
14A	LEVEL 14	1401.H	KITCHEN (SK6)
SK-7A			
16H	LEVEL 16.0	1601.H	KITCHEN
SK-7B			
16H	LEVEL 16.0	1601.V	BUTLER PANTRY
SK-8			
09B	LEVEL 9	0902.B	KITCHENETTE (SK8)
SK-9			
09C	LEVEL 9	0903.B	KITCHENETTE (SK9)
09D	LEVEL 9	0904.B	KITCHENETTE (SK10)
SK-11			
09E	LEVEL 9	0905.B	KITCHENETTE (SK11)

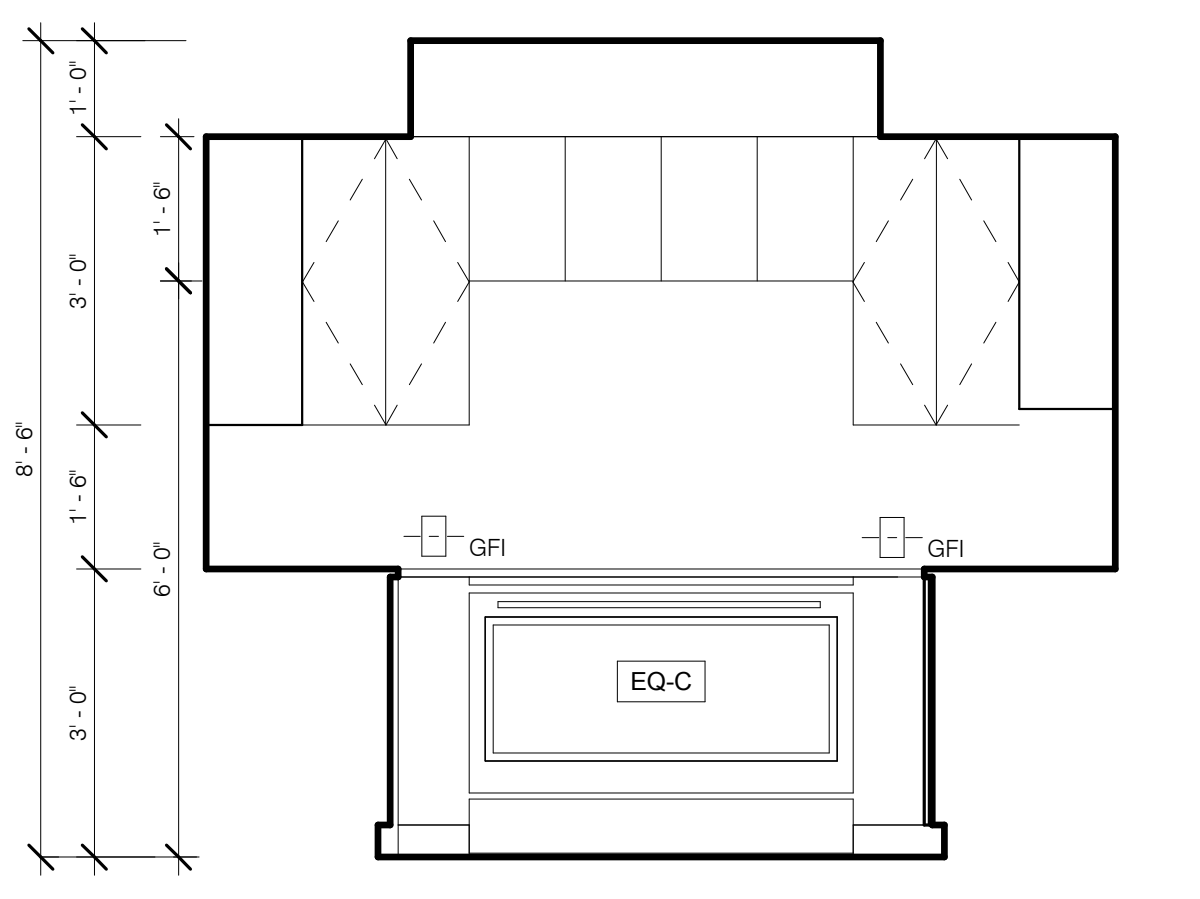
FOR ALL KITCHEN MILLWORK SEE INTERIOR DESIGN PACKAGE



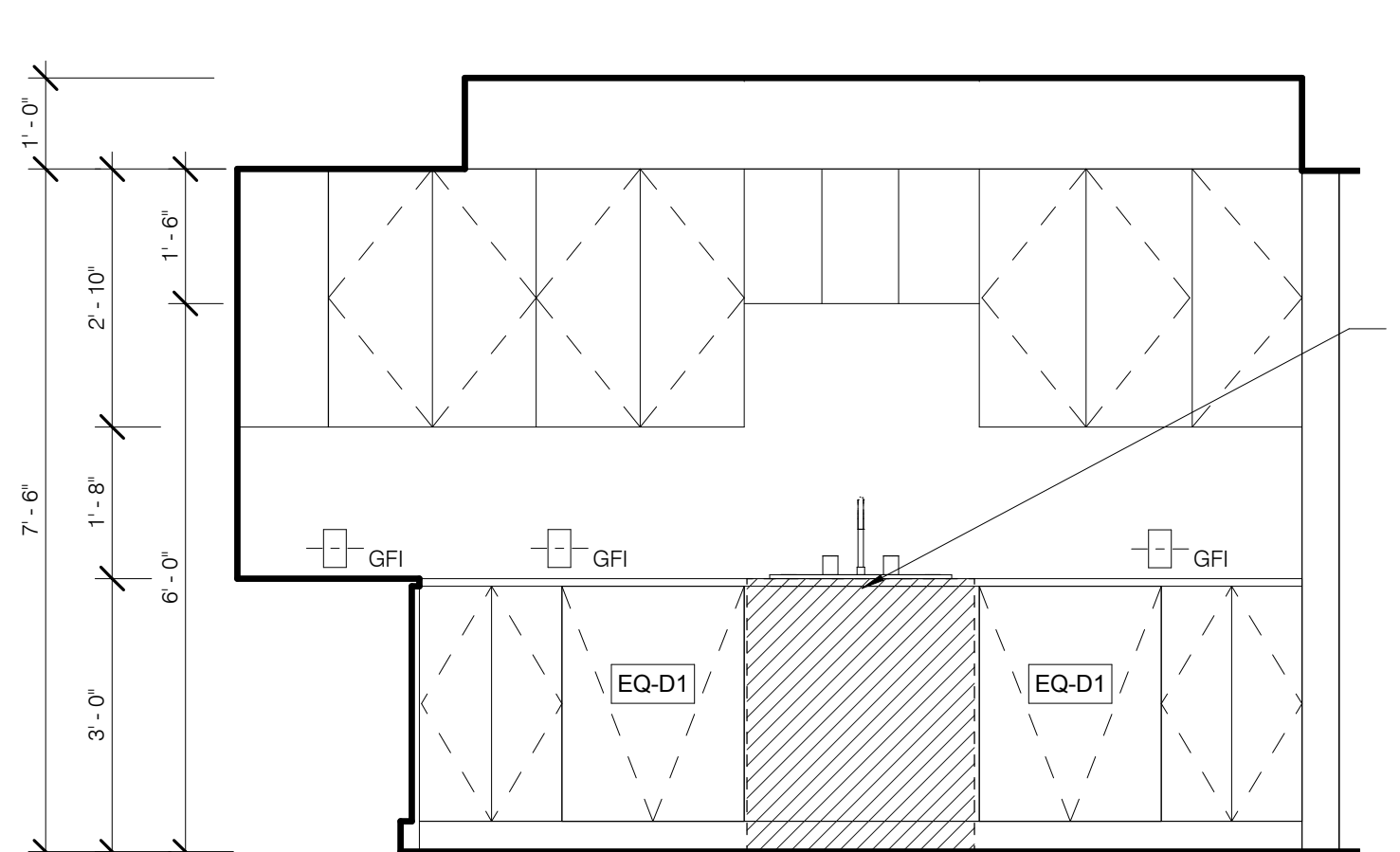
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**KITCHENS - STEINWAY ENLARGED PLANS AND ELEVATIONS**

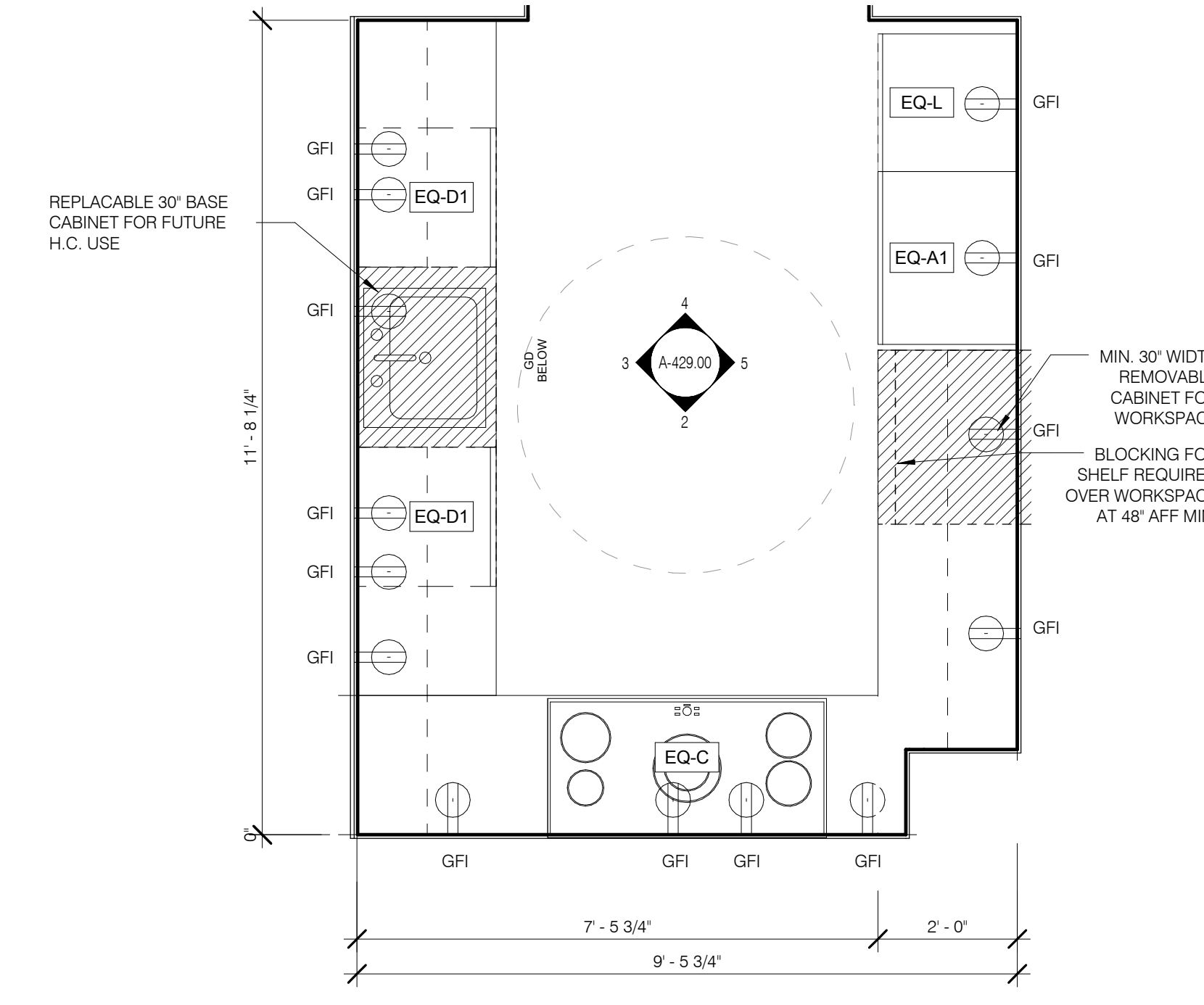
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PROJECT NO.	130907	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121.832.966	
DRAWING NUMBER	A-429.00	



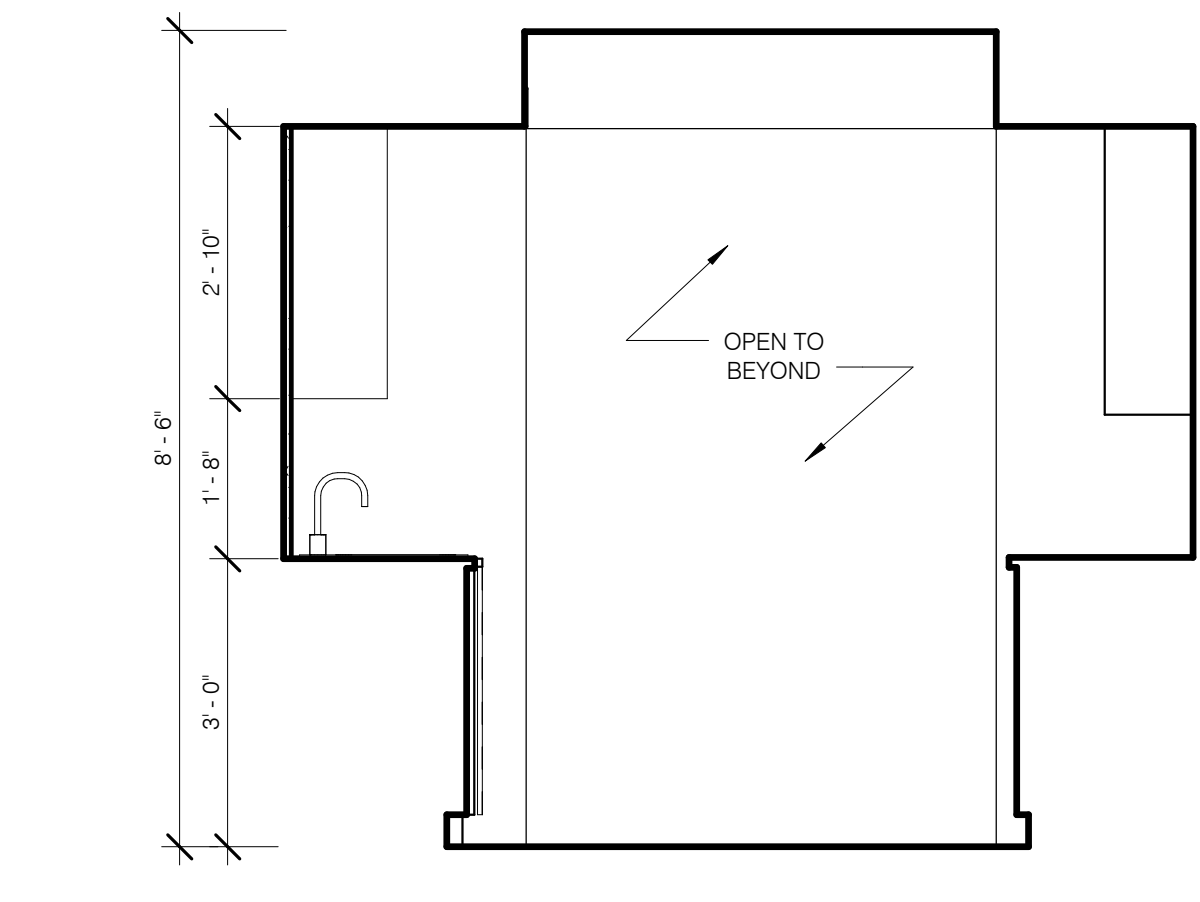
SK-7 KITCHEN S 1/2" = 1'-0" 2



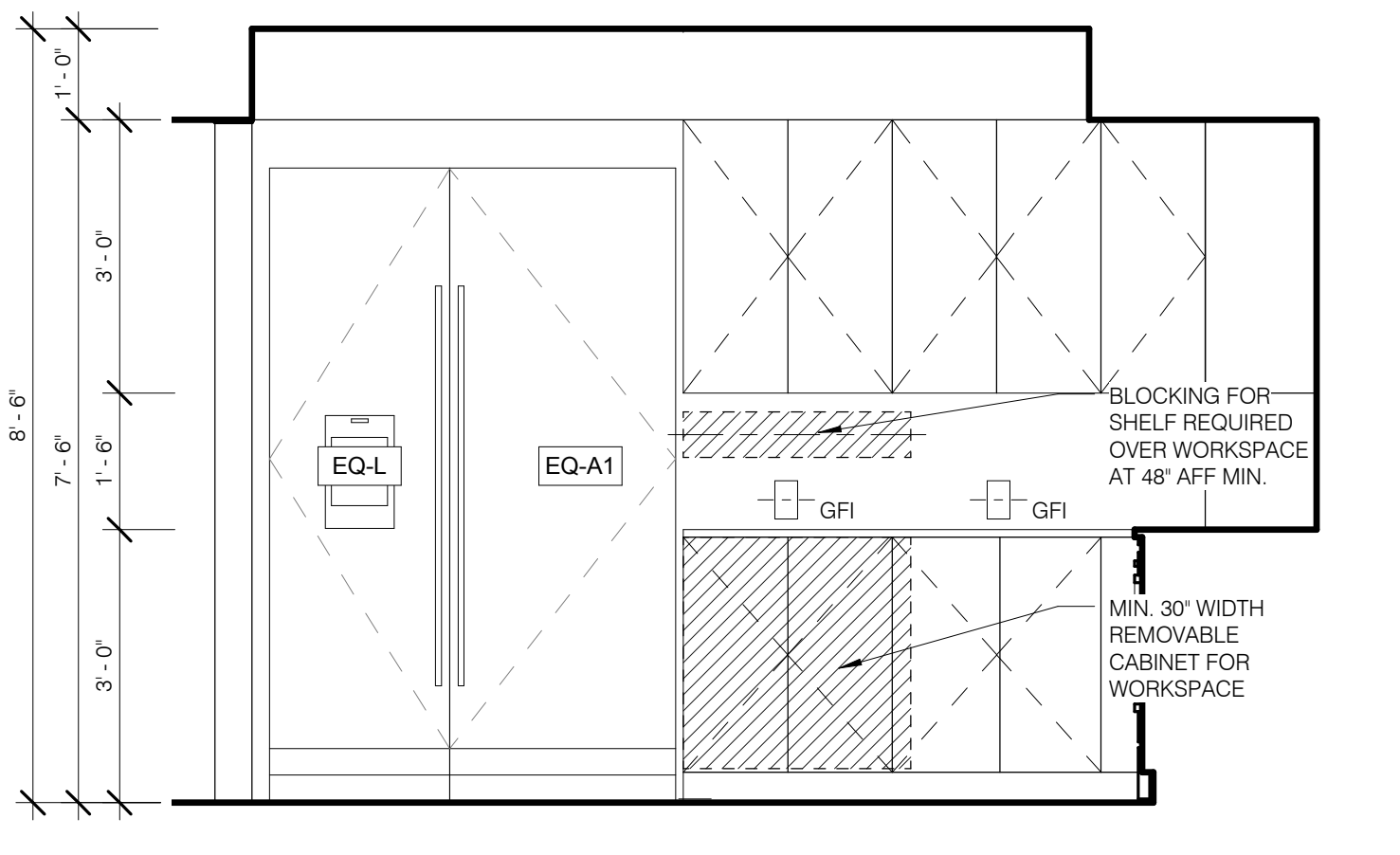
SK-7 KITCHEN W 1/2" = 1'-0" 3



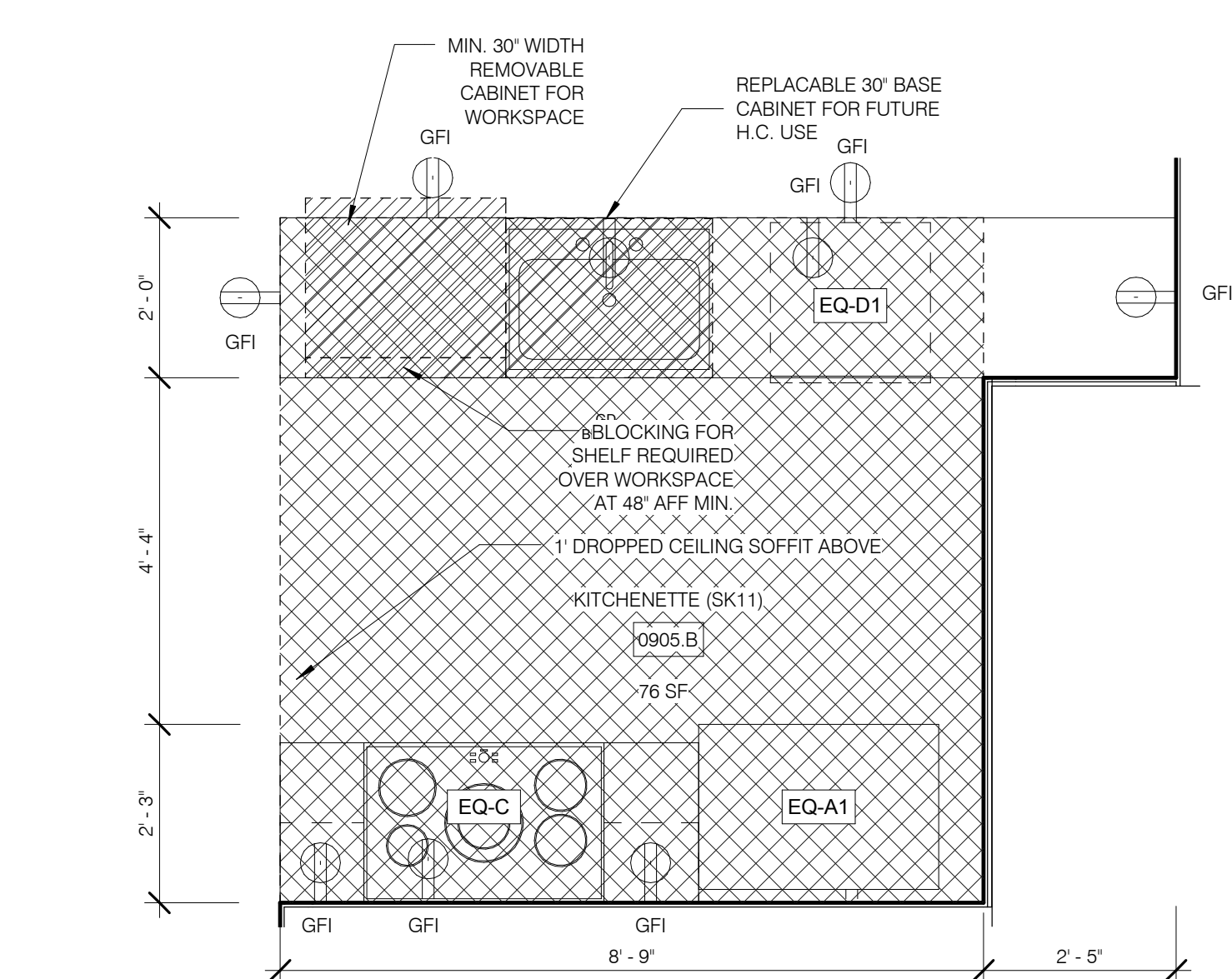
SK-7A KITCHEN 1/2" = 1'-0" 1



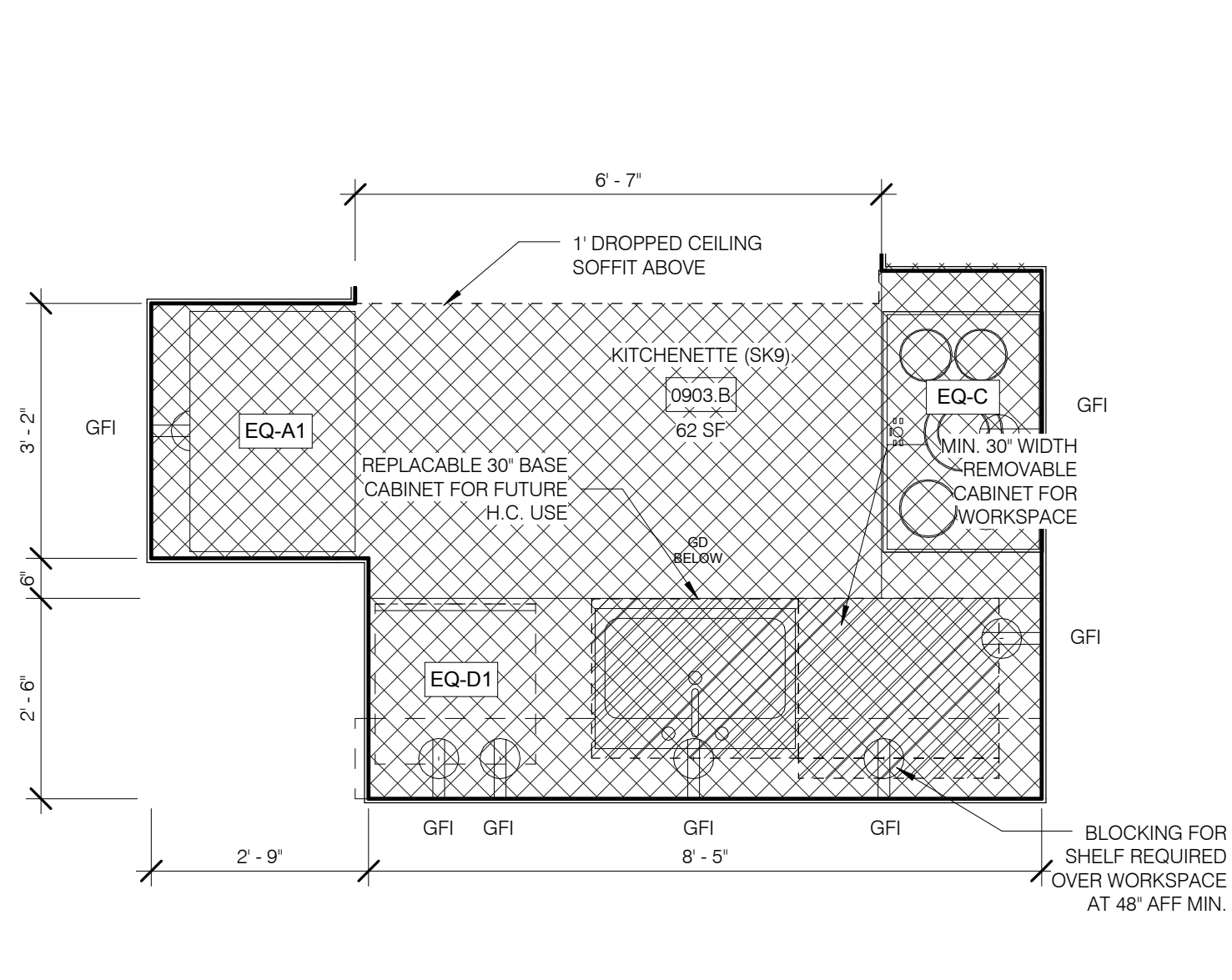
SK-7 KITCHEN N 1/2" = 1'-0" 4



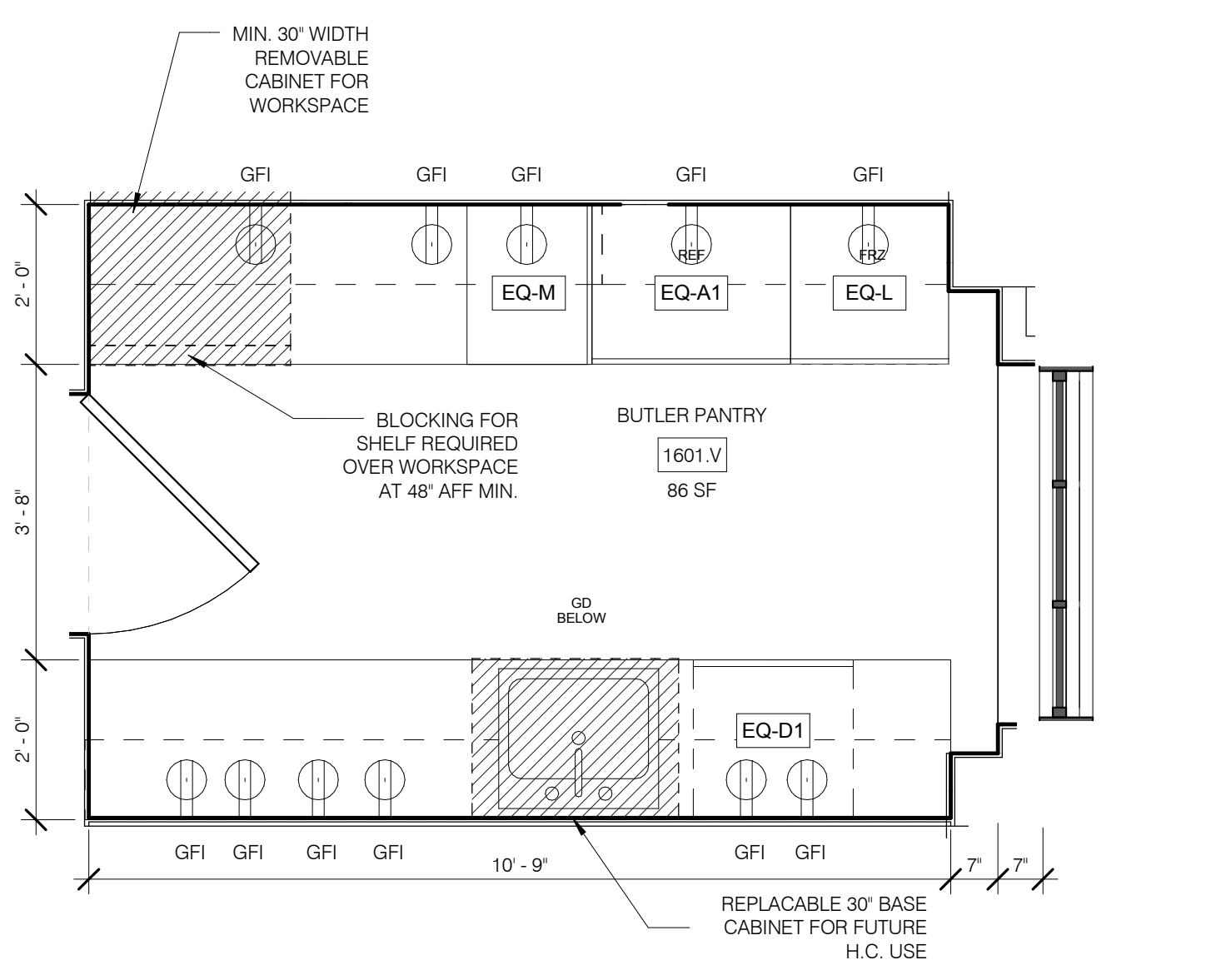
SK-7 KITCHEN E 1/2" = 1'-0" 5



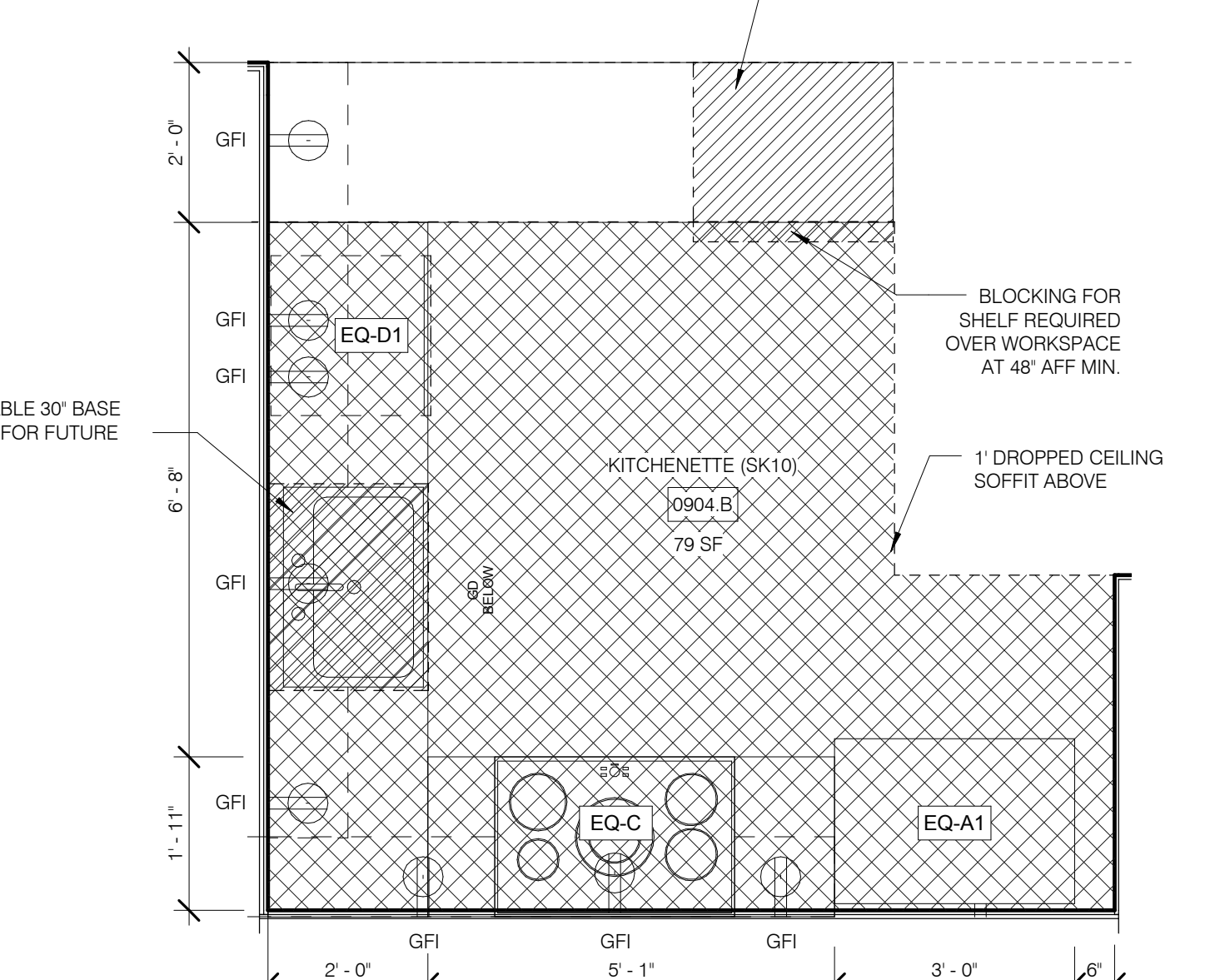
SK-11 KITCHEN 1/2" = 1'-0" 10



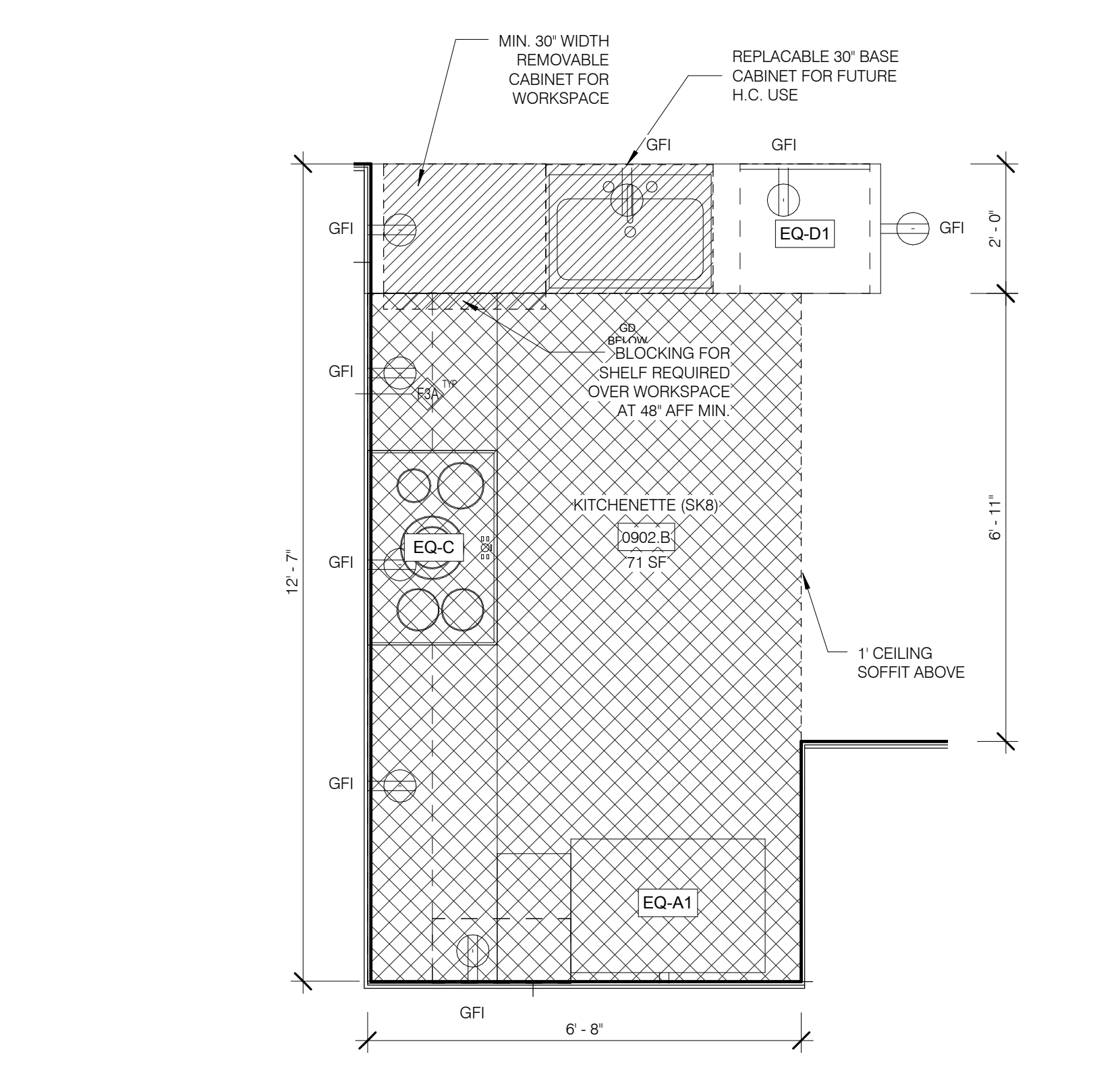
SK-9 KITCHEN 1/2" = 1'-0" 8



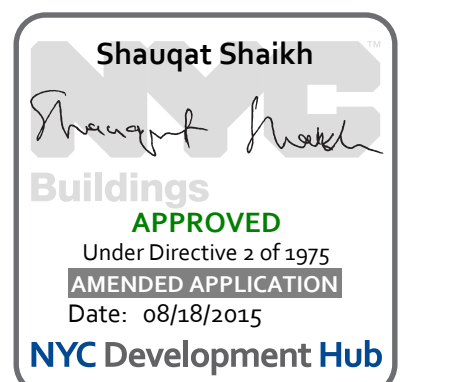
SK-7B KITCHEN 1/2" = 1'-0" 6



SK-10 KITCHEN 1/2" = 1'-0" 9



SK-8 KITCHENETTE 1/2" = 1'-0" 7



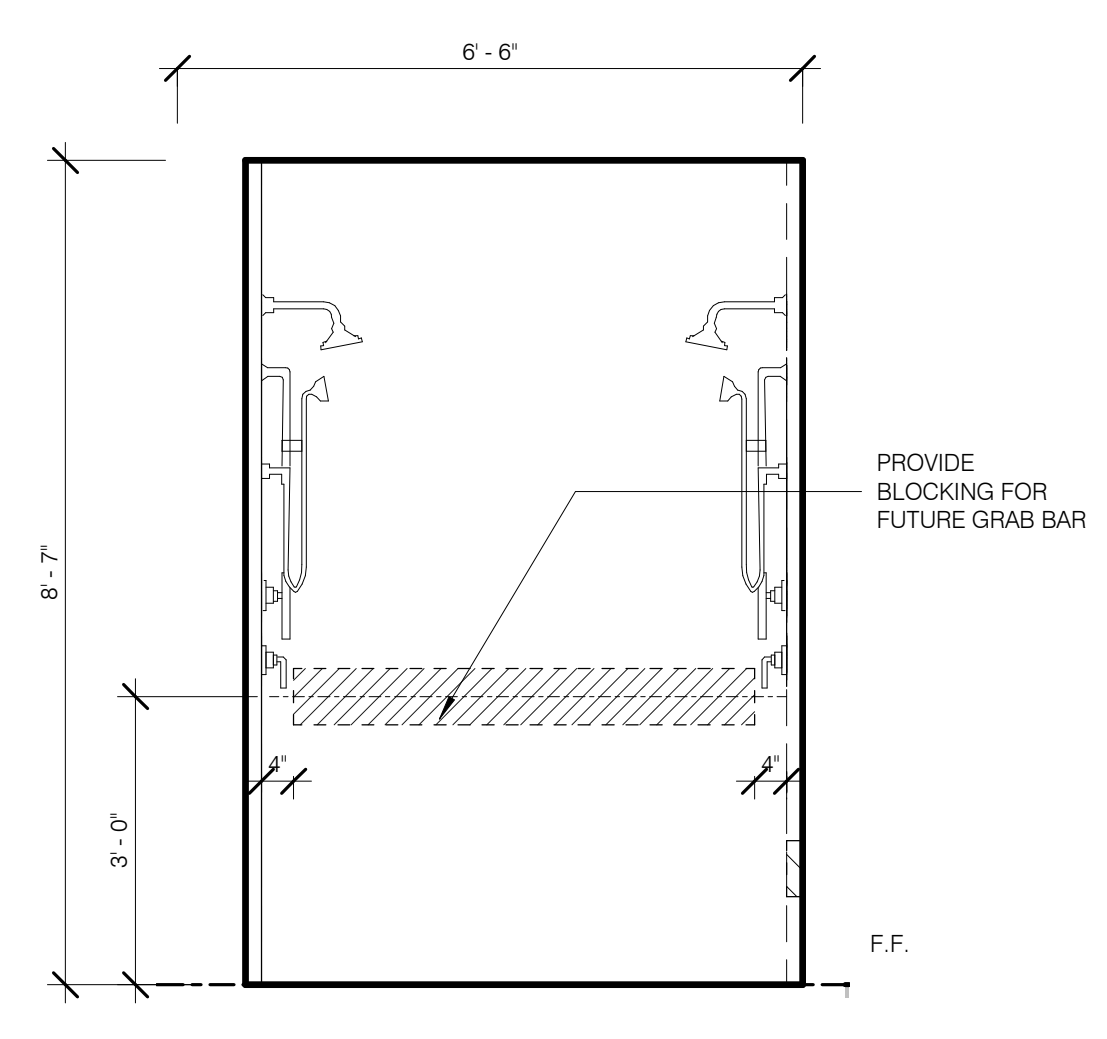
111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019



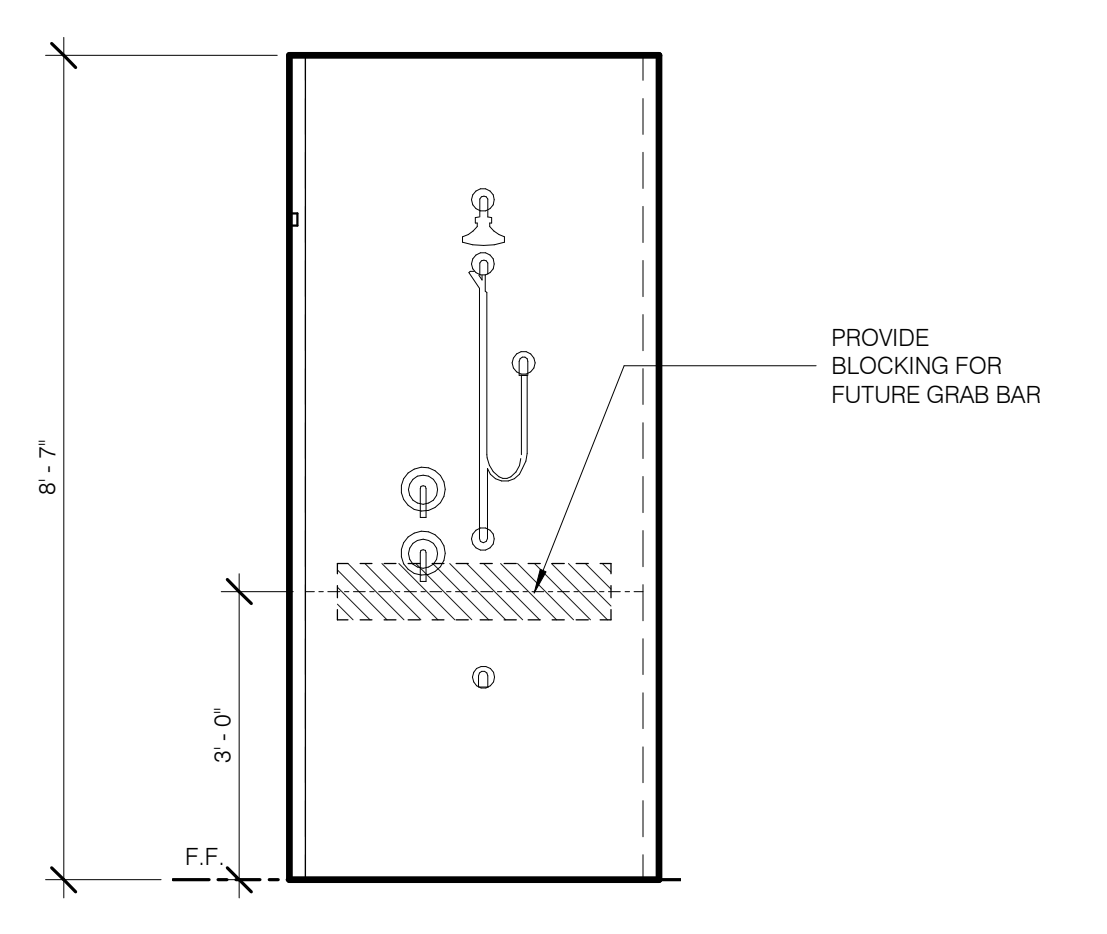
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DRAWING TITLE  
SHOWERS - STEINWAY ENLARGED ELEVATIONS

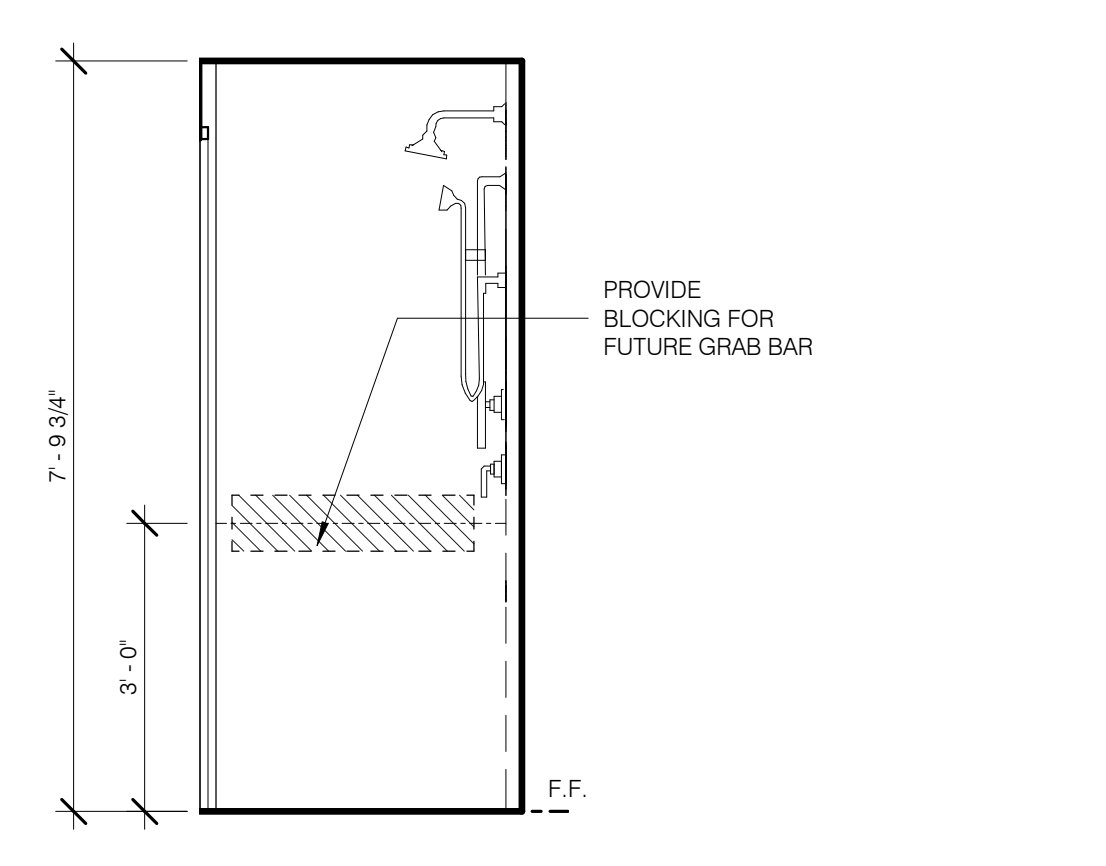
SEAL & SIGNATURE: REGISTERED ARCHITECT, STATE OF NEW YORK. DATE: 3/27/15. PROJECT NO: 130907. DRAWN BY: SH&P. CHECKED BY: SH&P. DATE: 08/28/15. DRAWING NUMBER: A-440.01



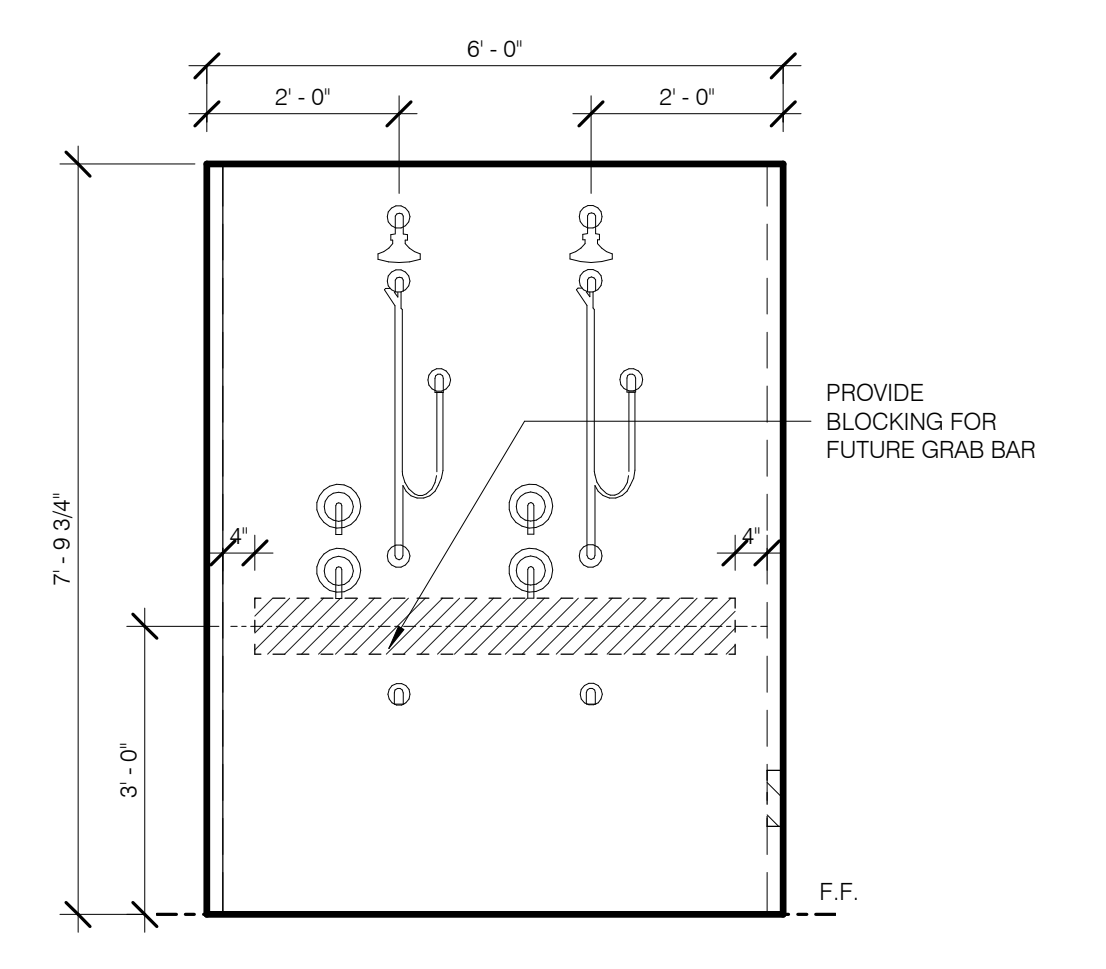
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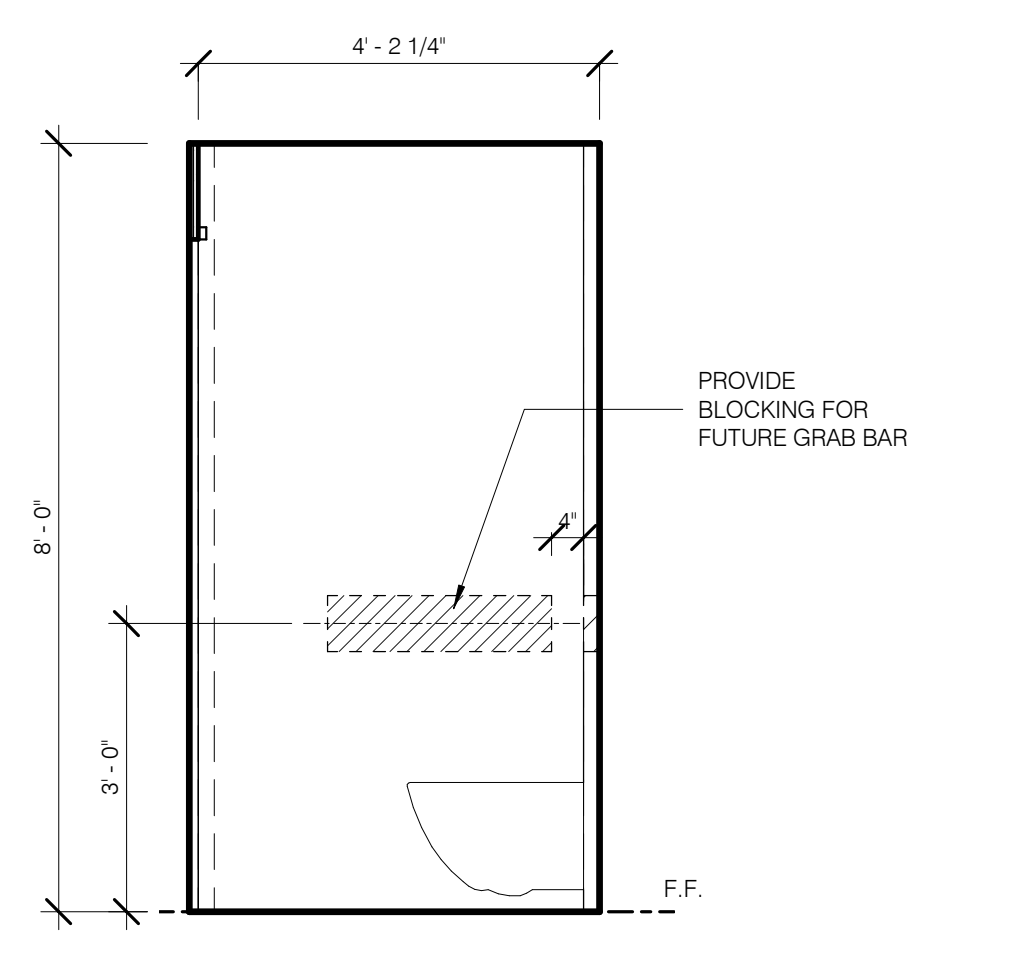
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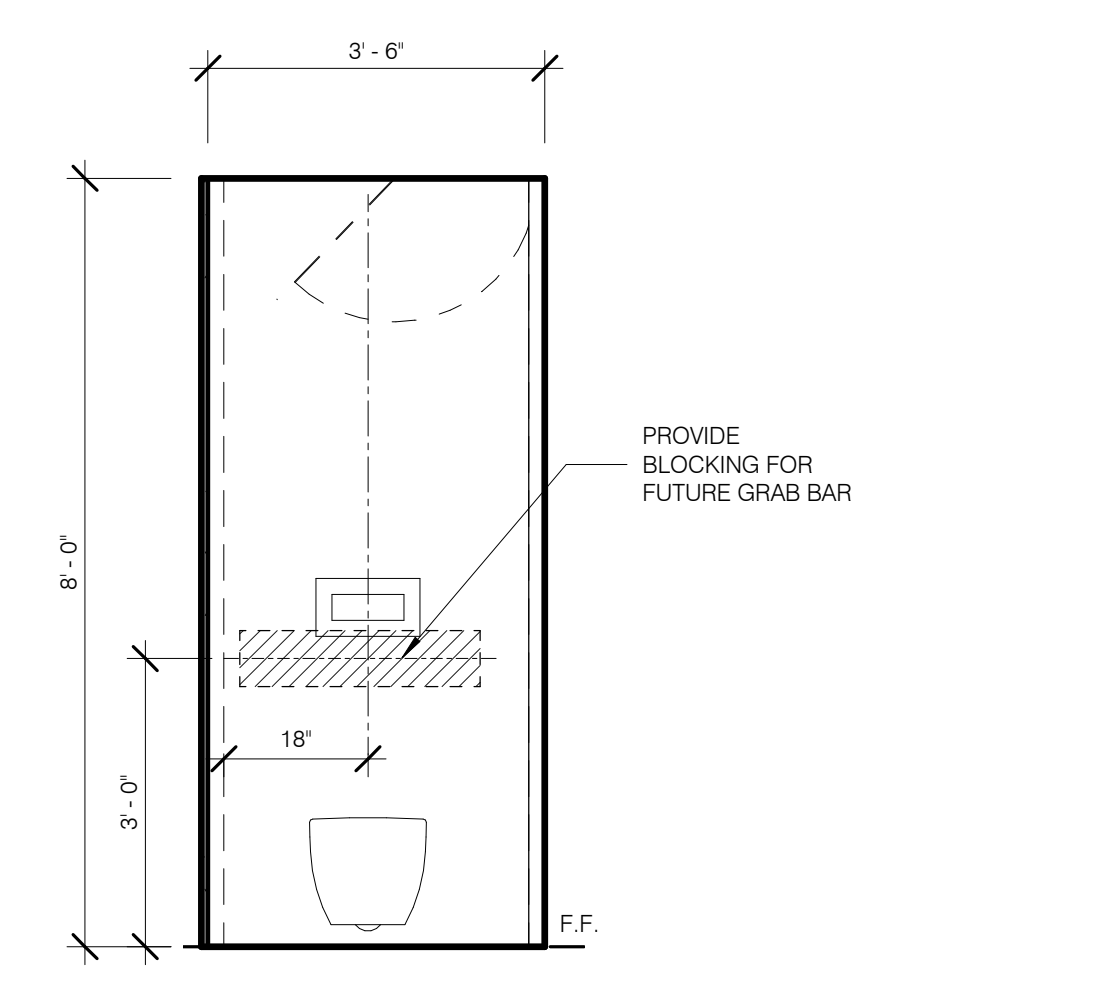
MASTER SHOWER (DOUBLE-1, TYP) N 1/2" = 1'-0" 3



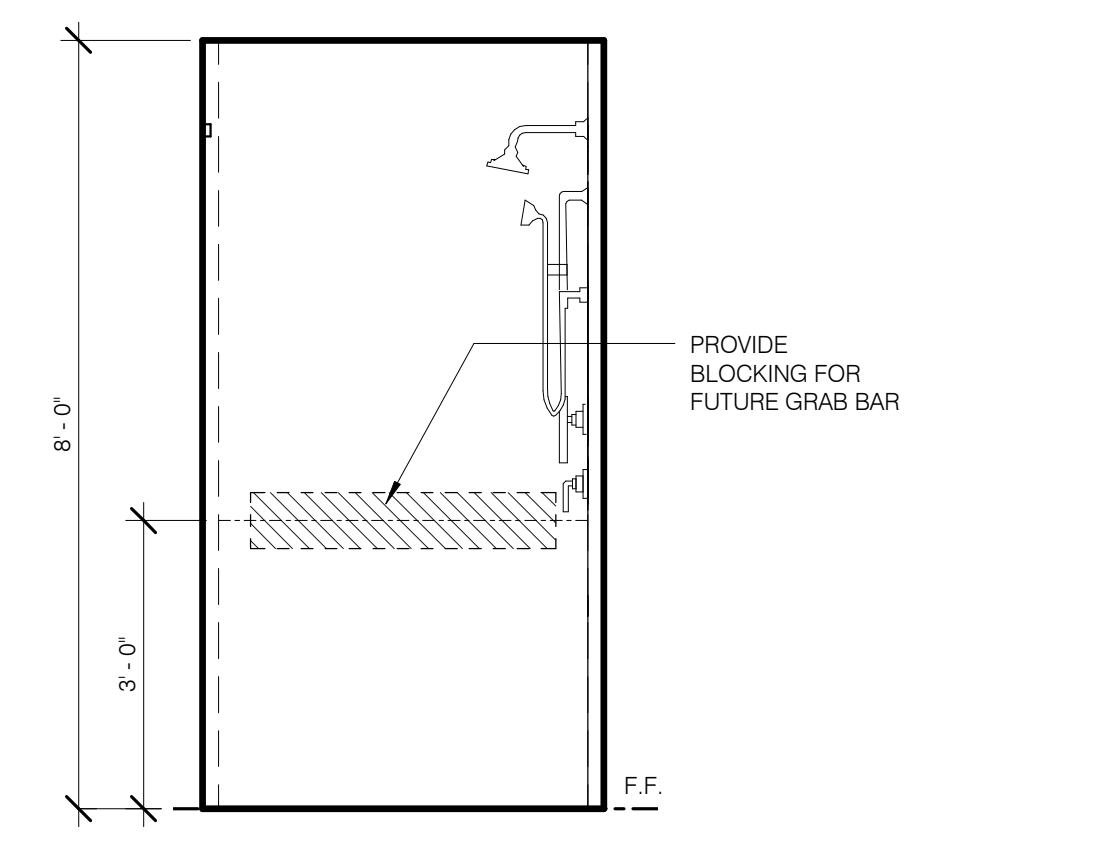
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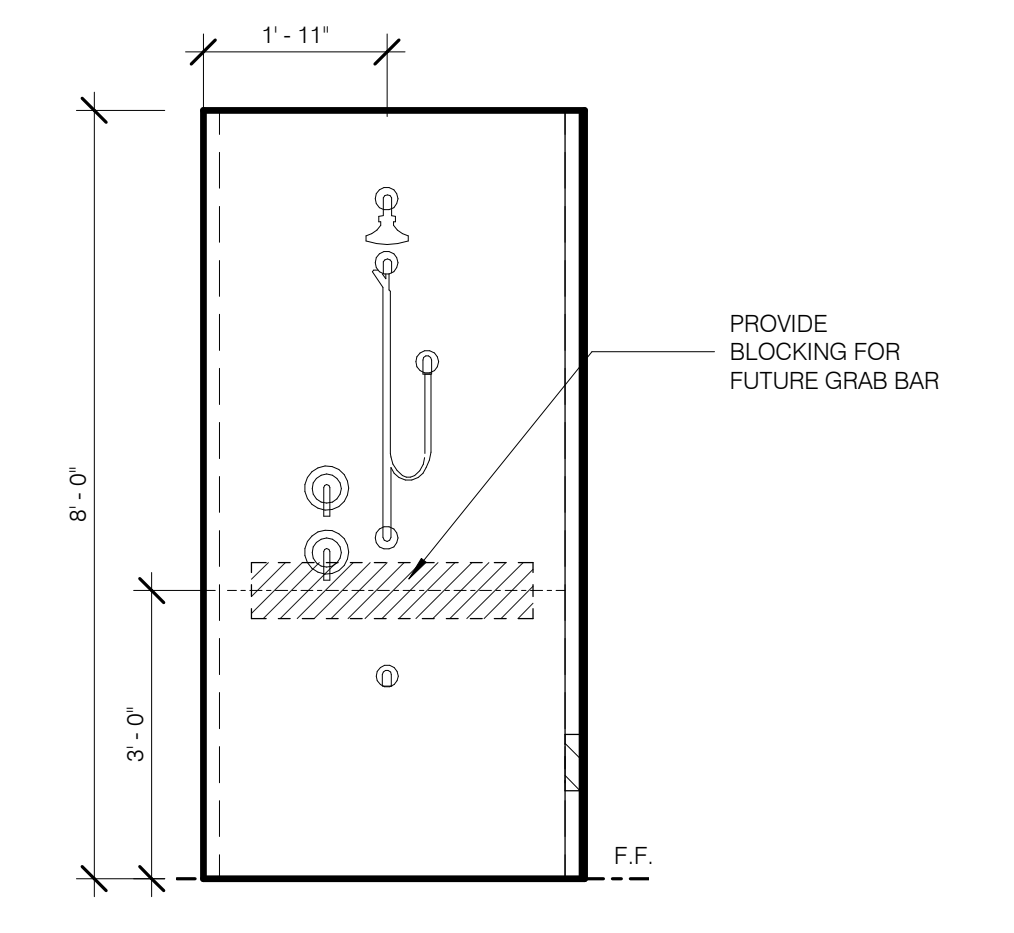
MASTER W.C. (TYP) W 1/2" = 1'-0" 12



MASTER W.C. (TYP) N 1/2" = 1'-0" 11



MASTER SHOWER (SINGLE, TYP) W 1/2" = 1'-0" 9

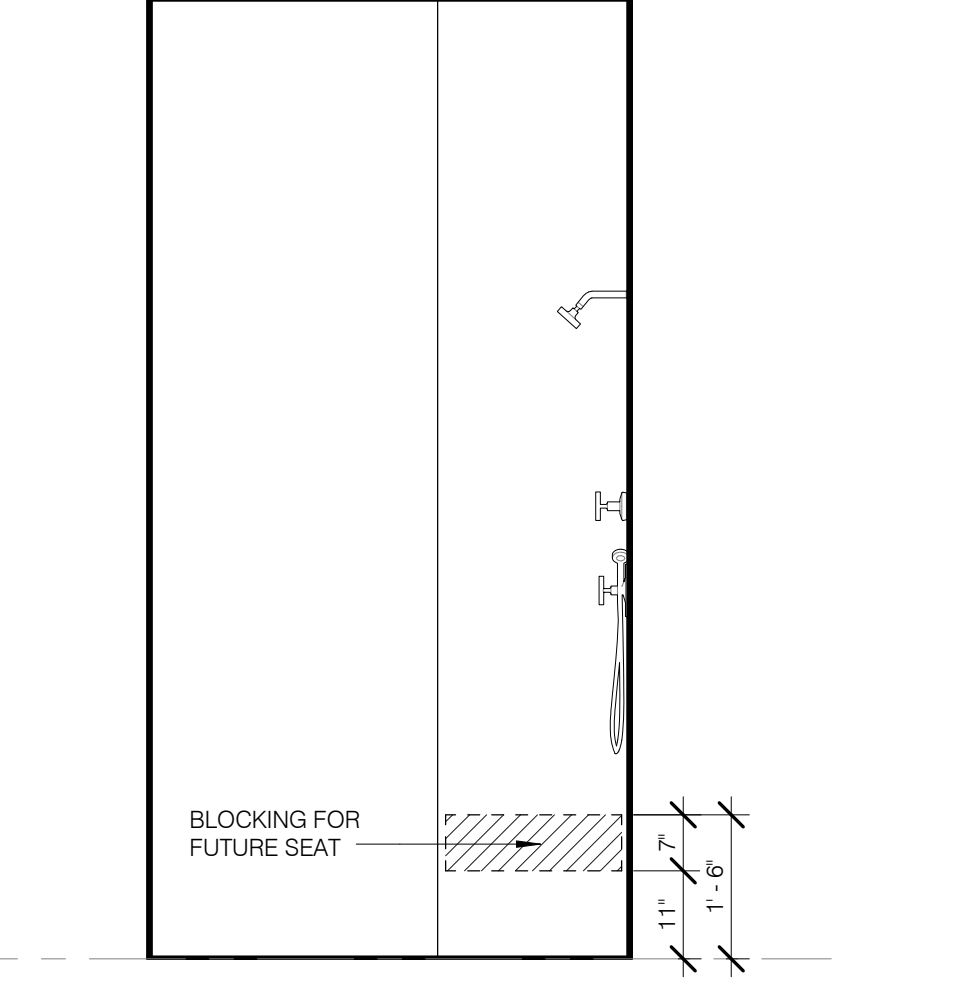
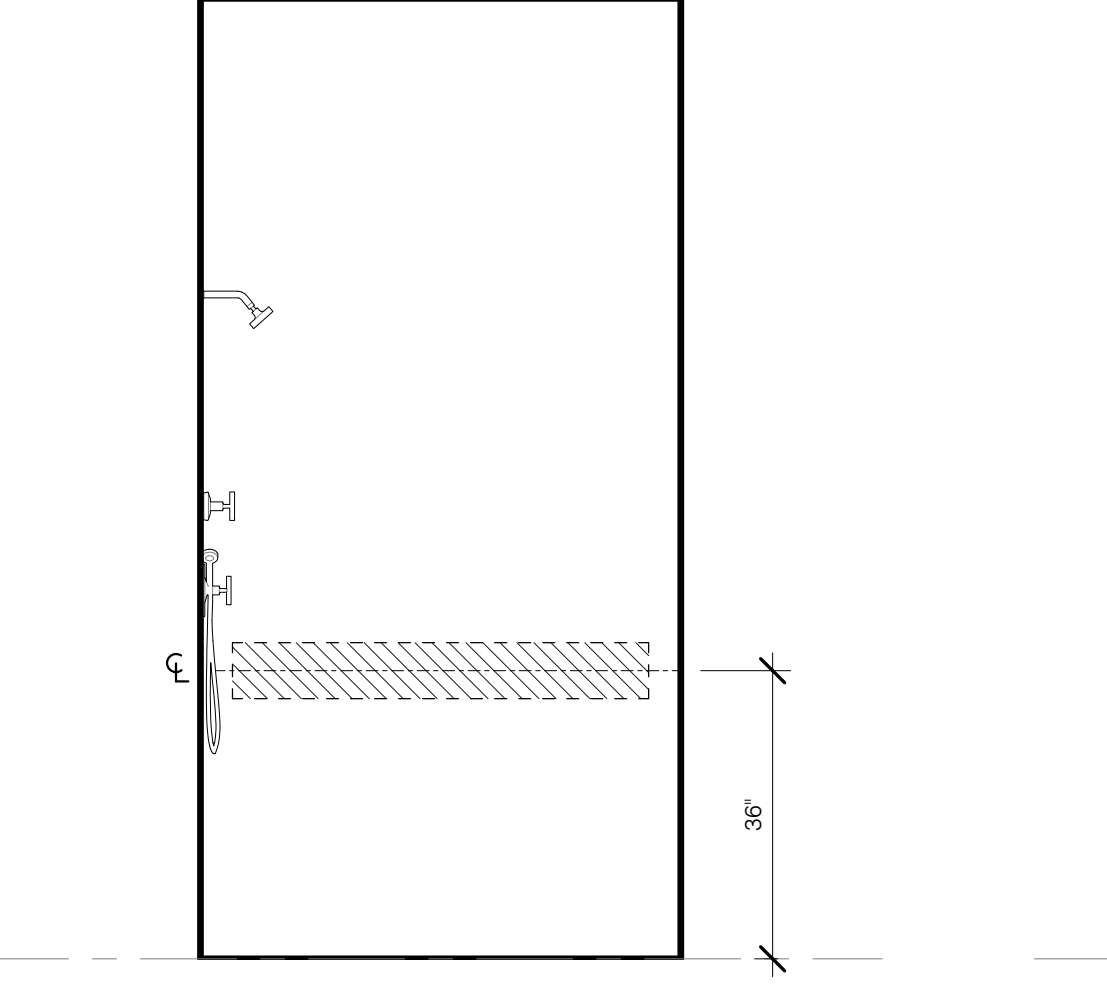
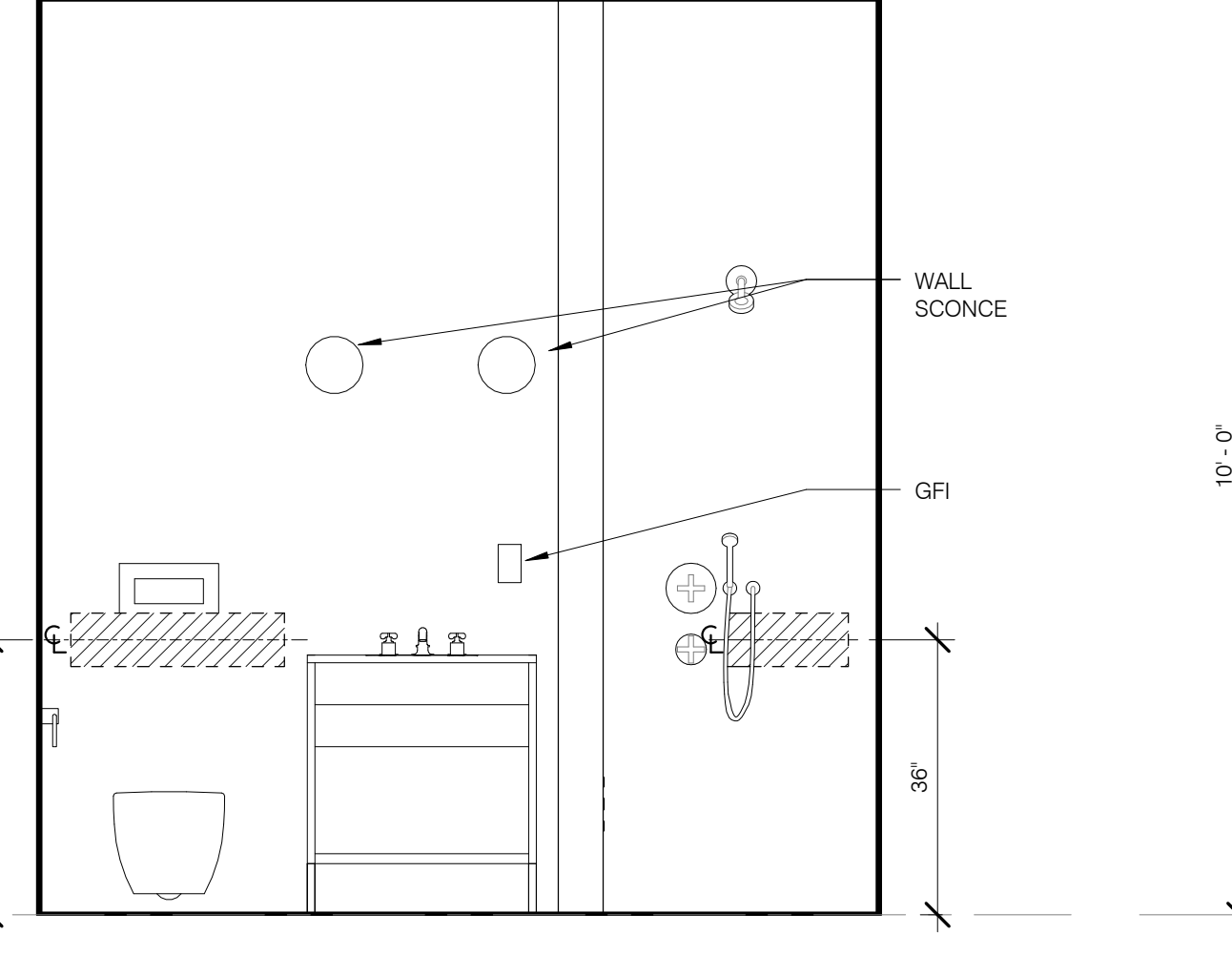
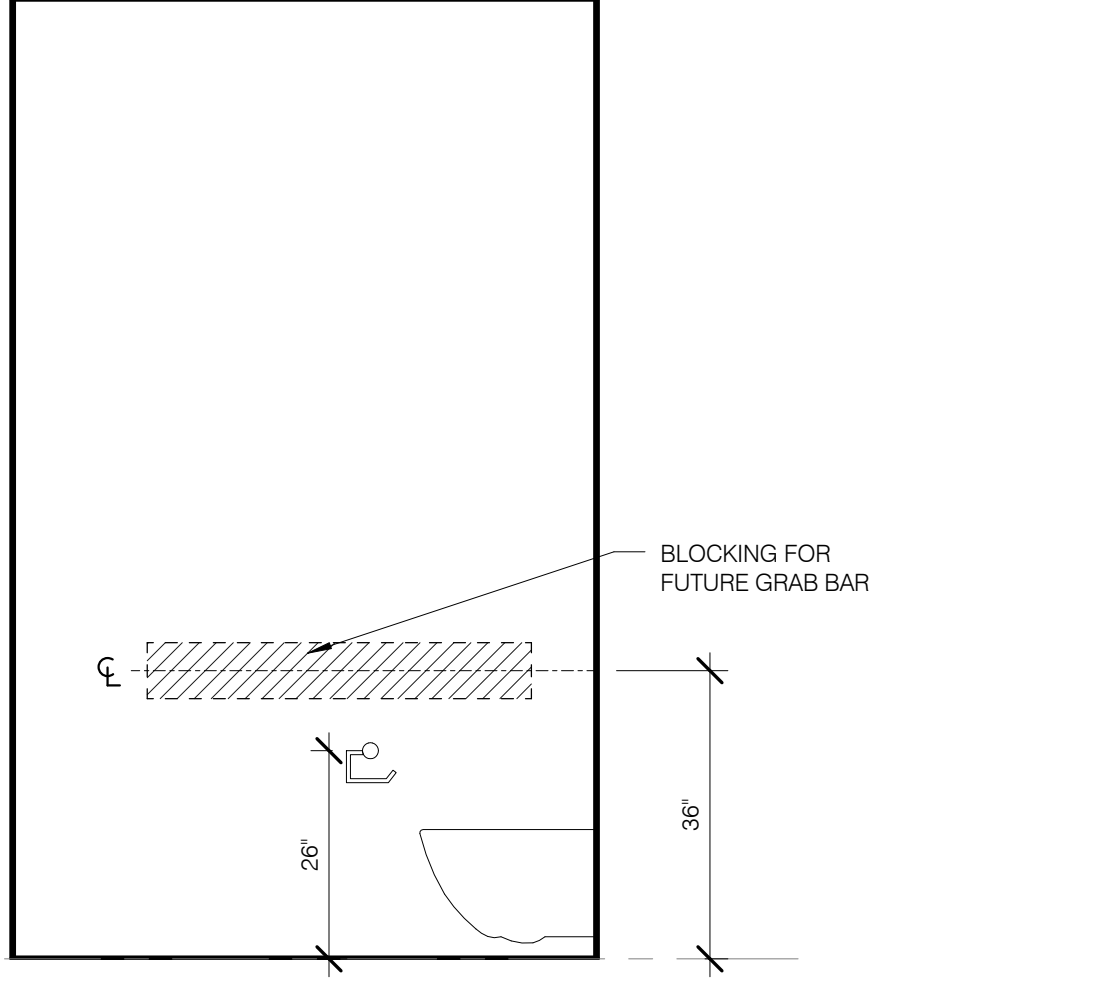
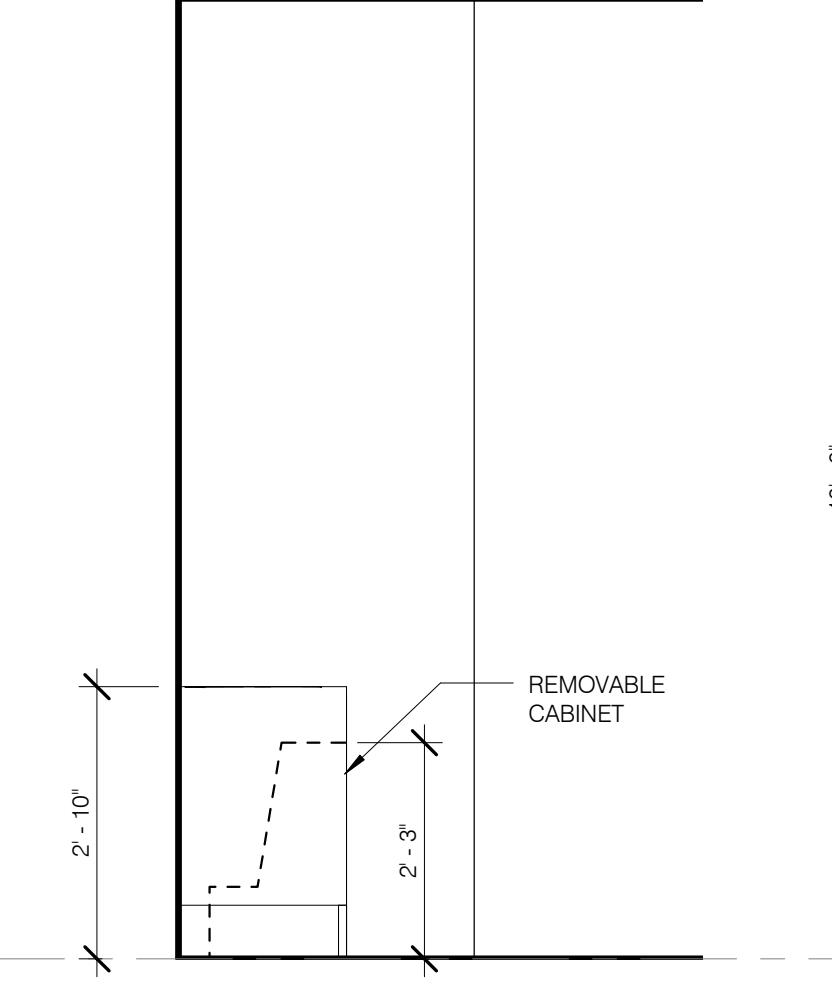
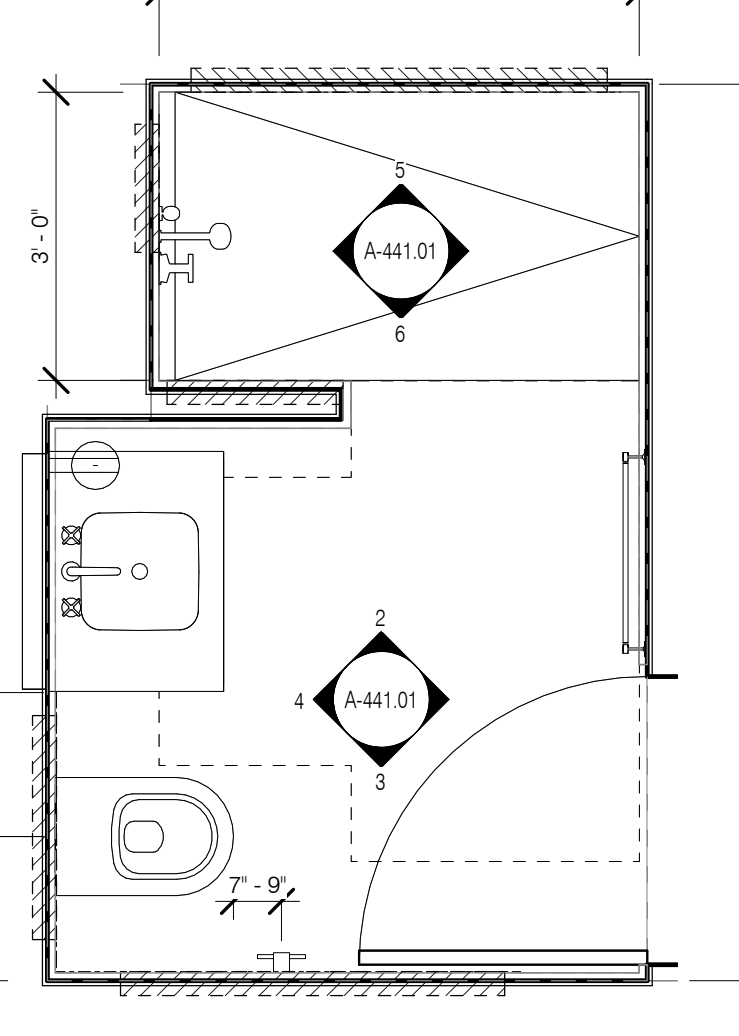
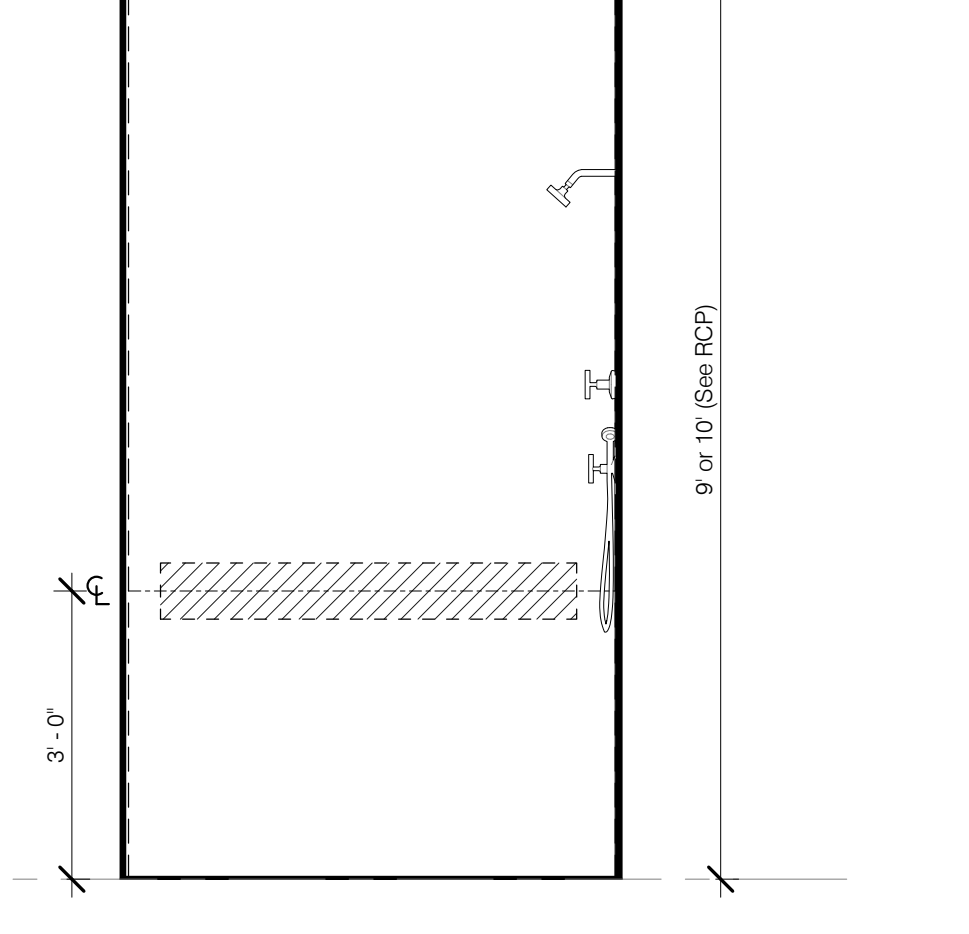
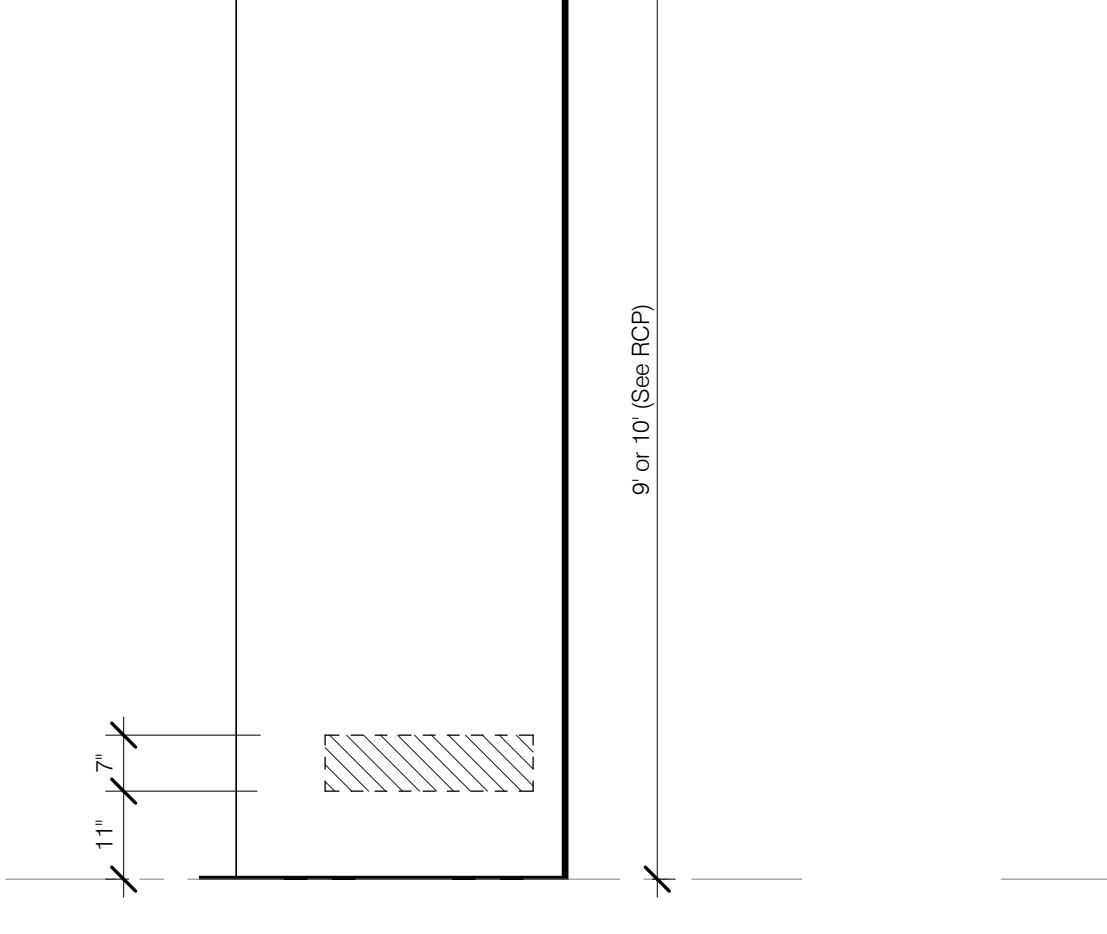
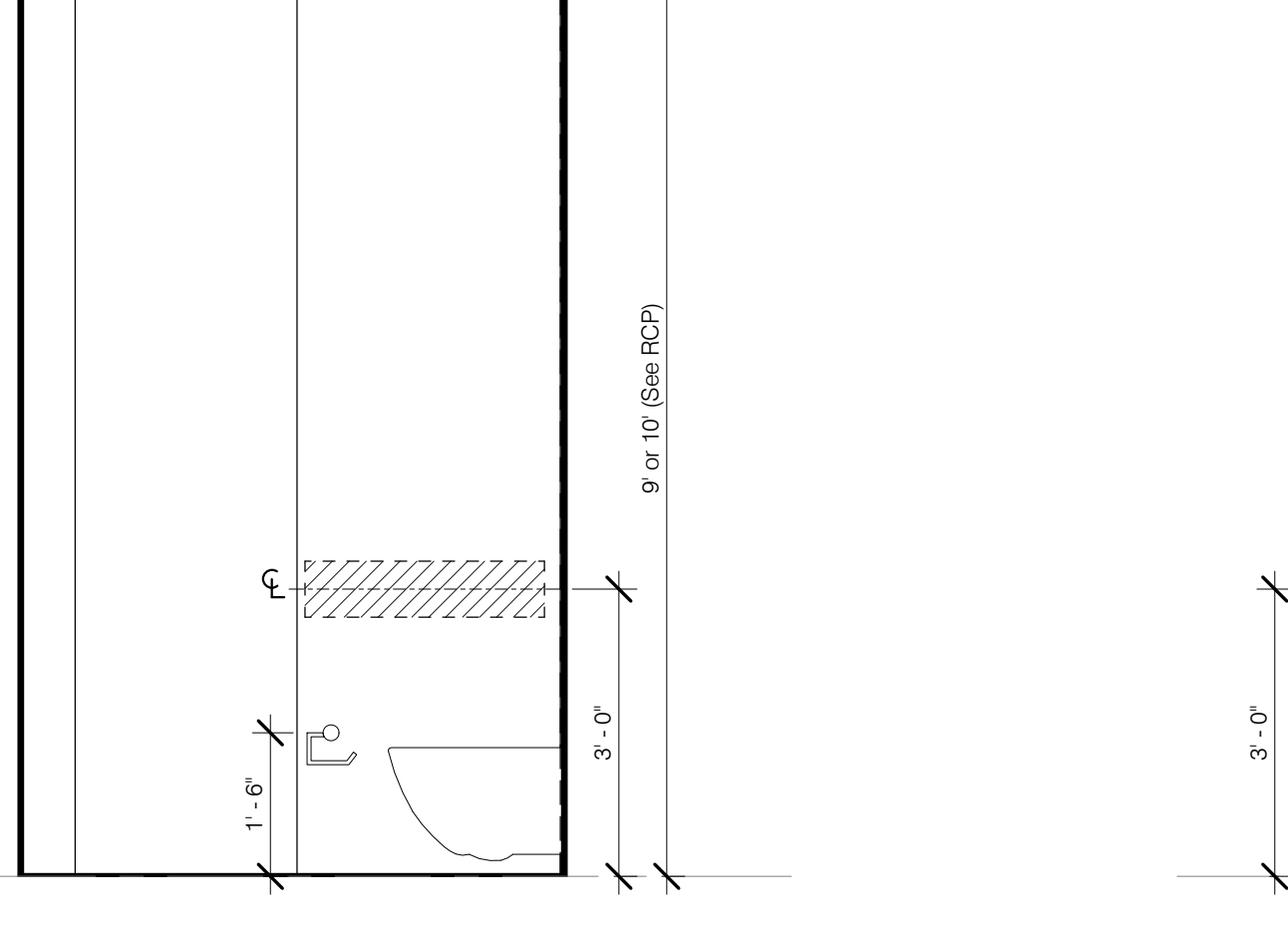
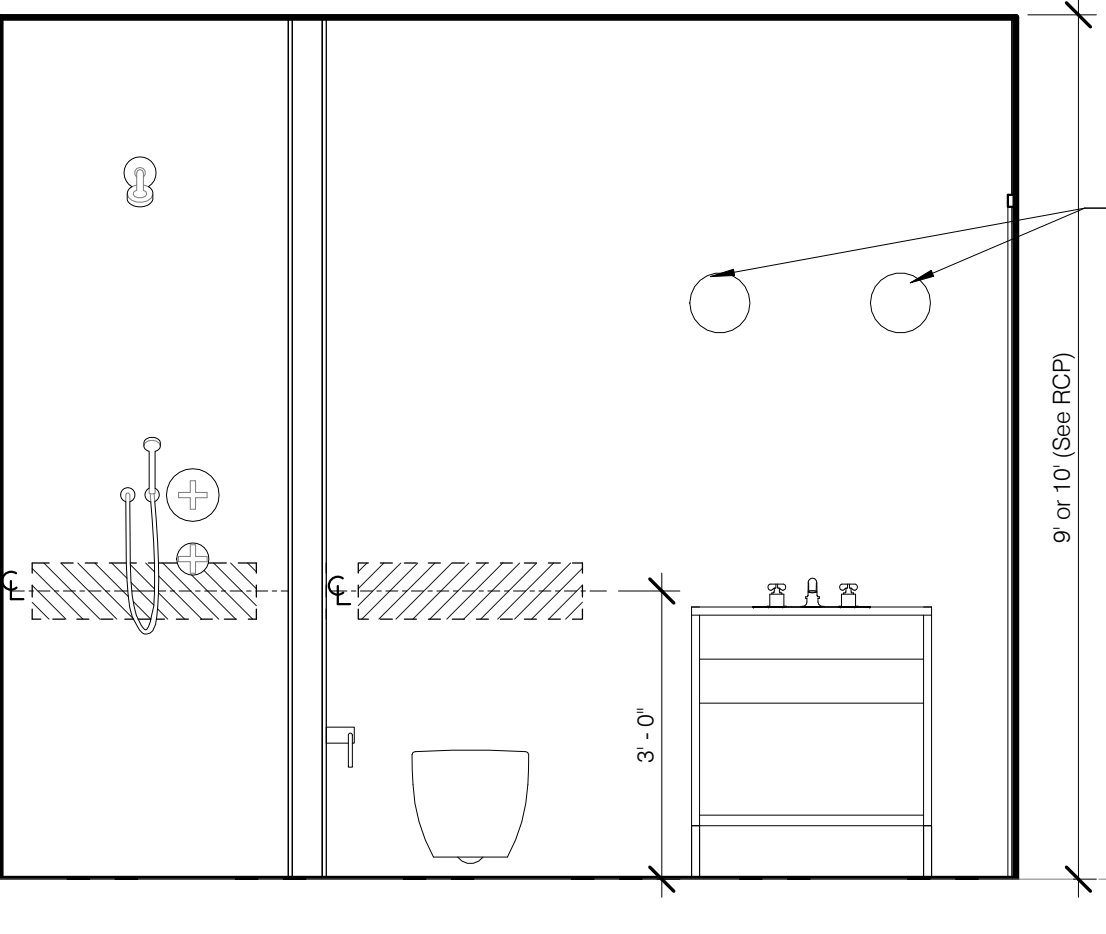
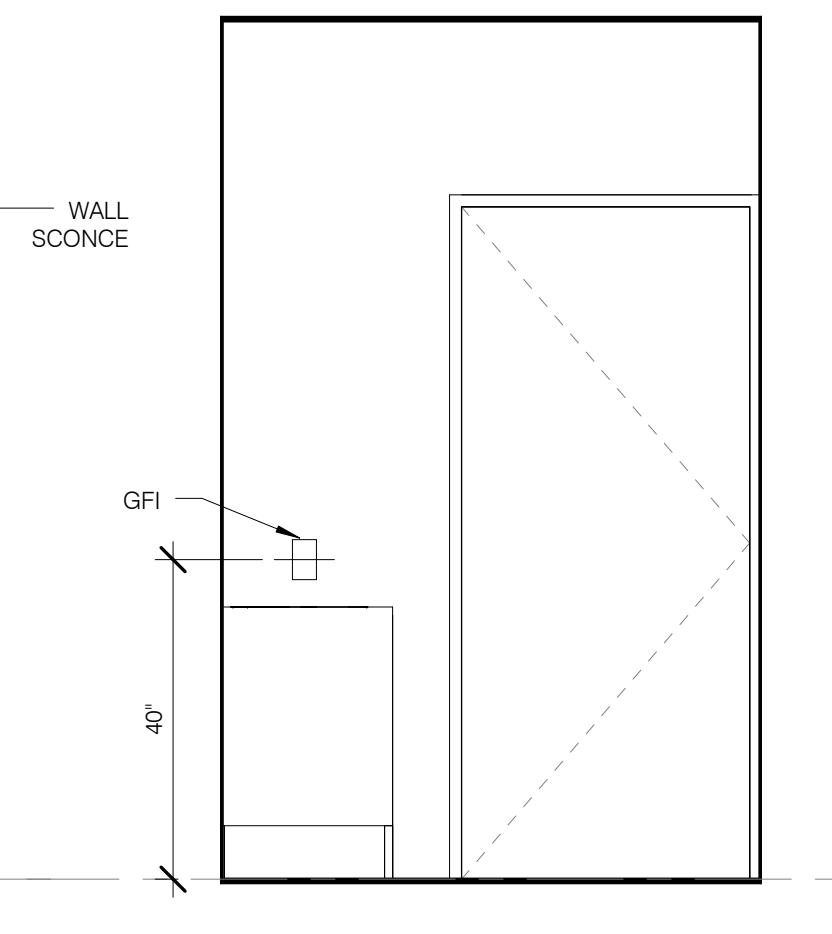
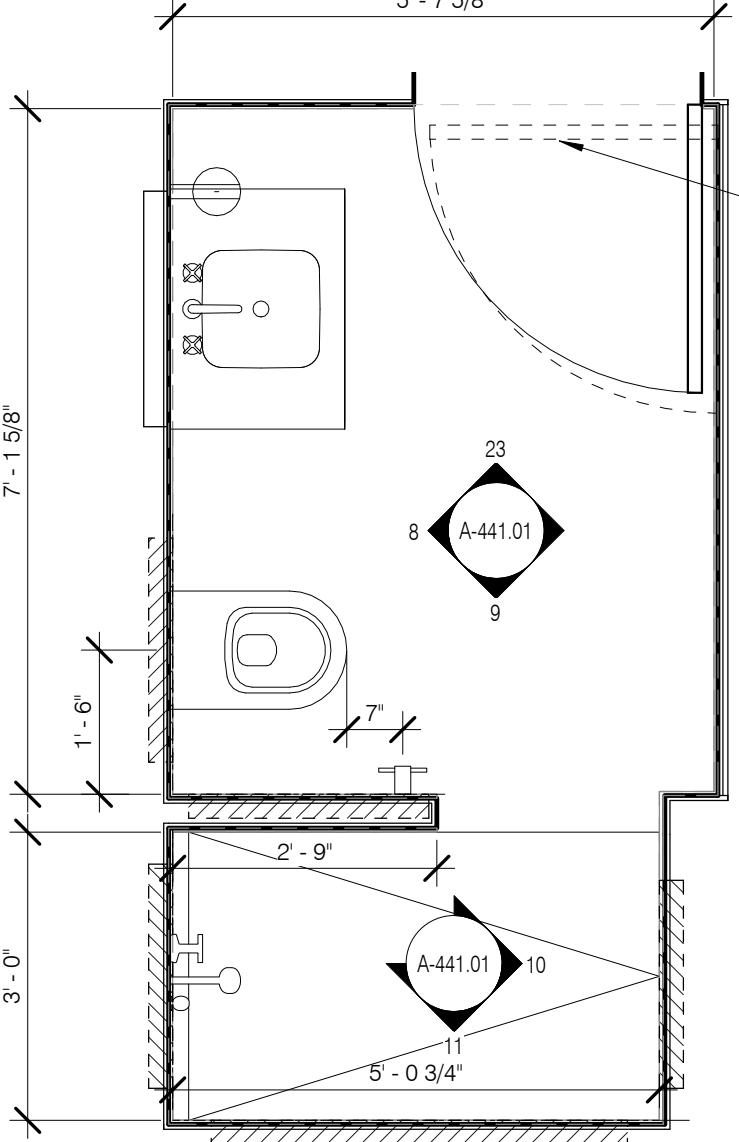
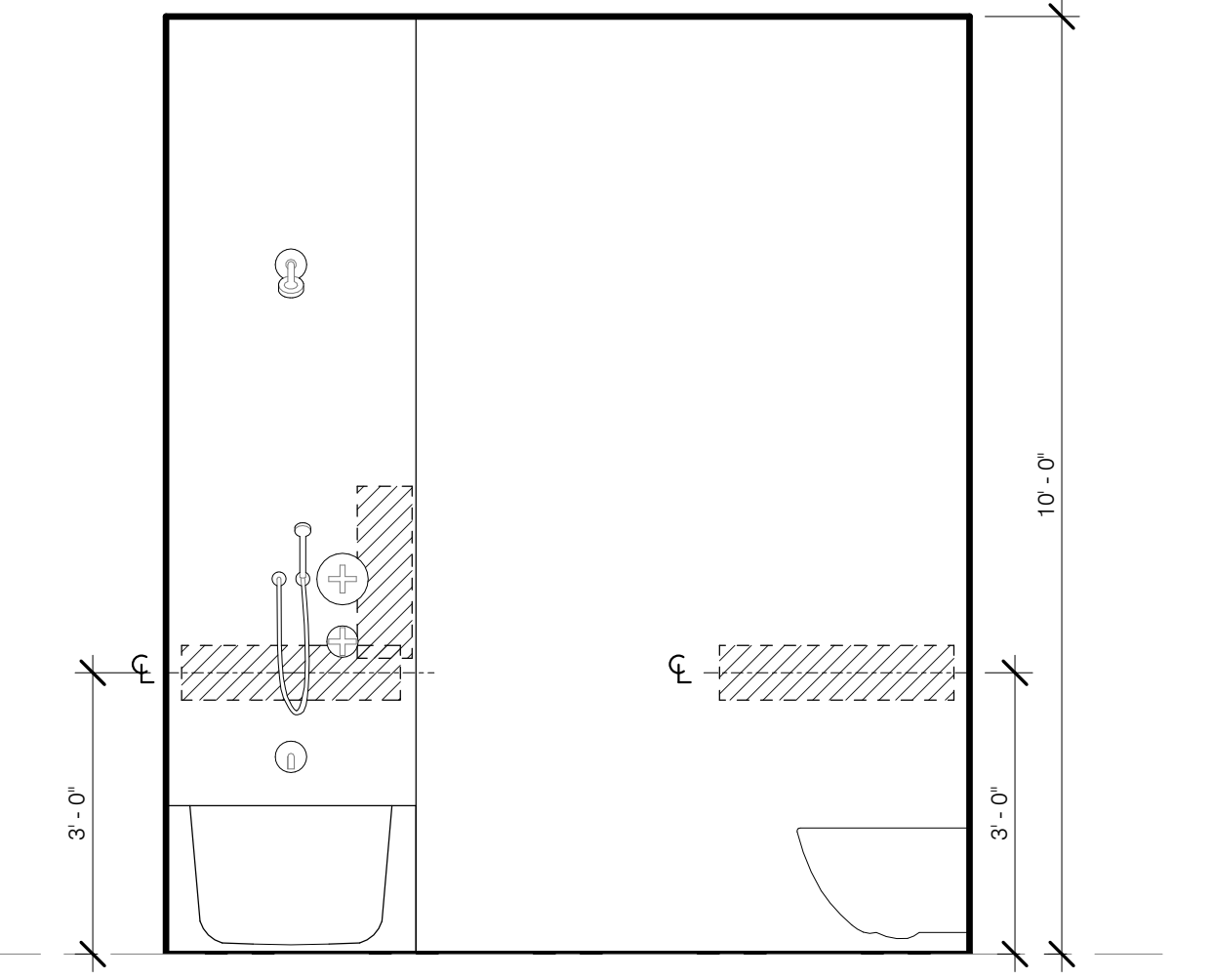
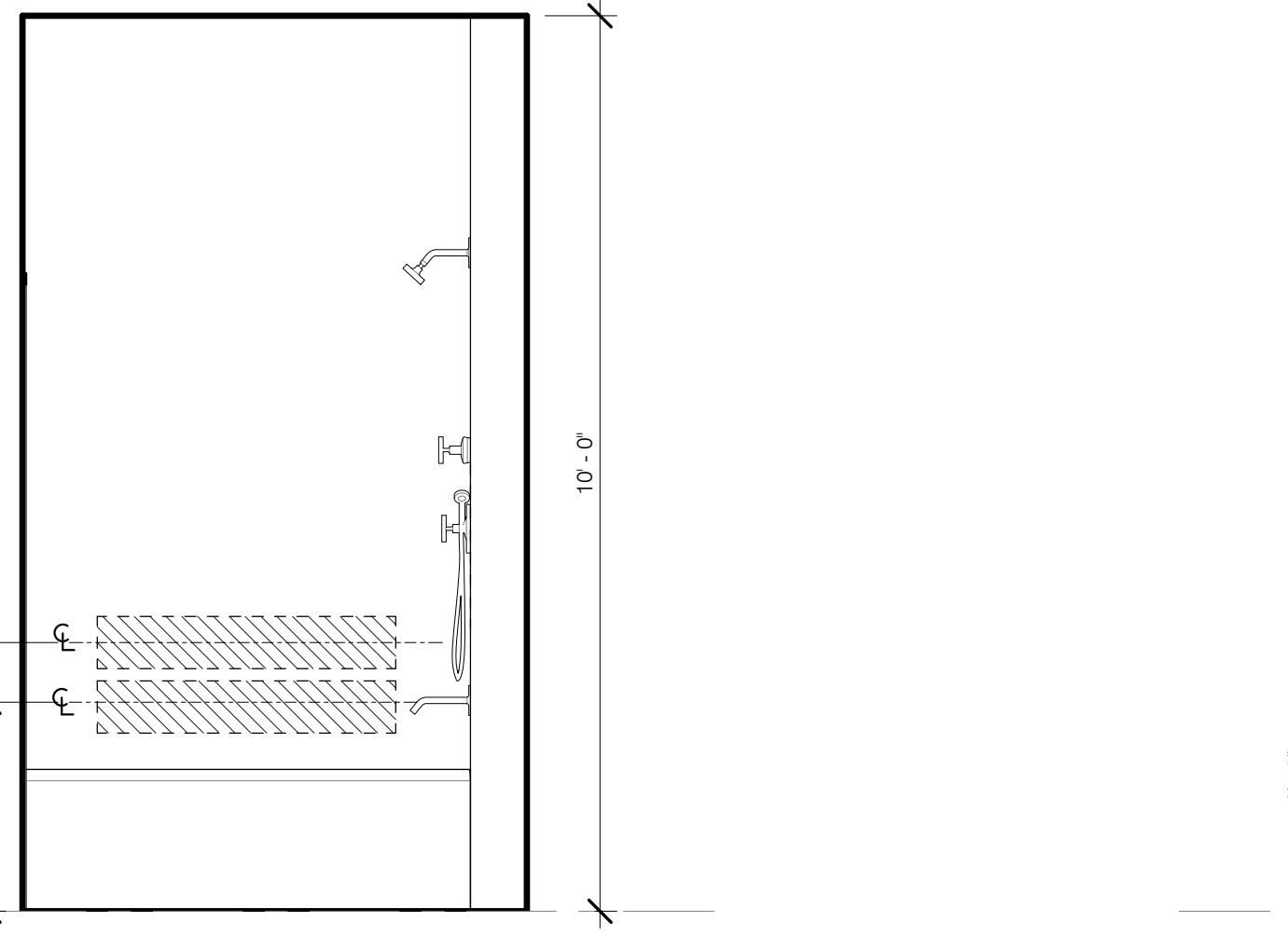
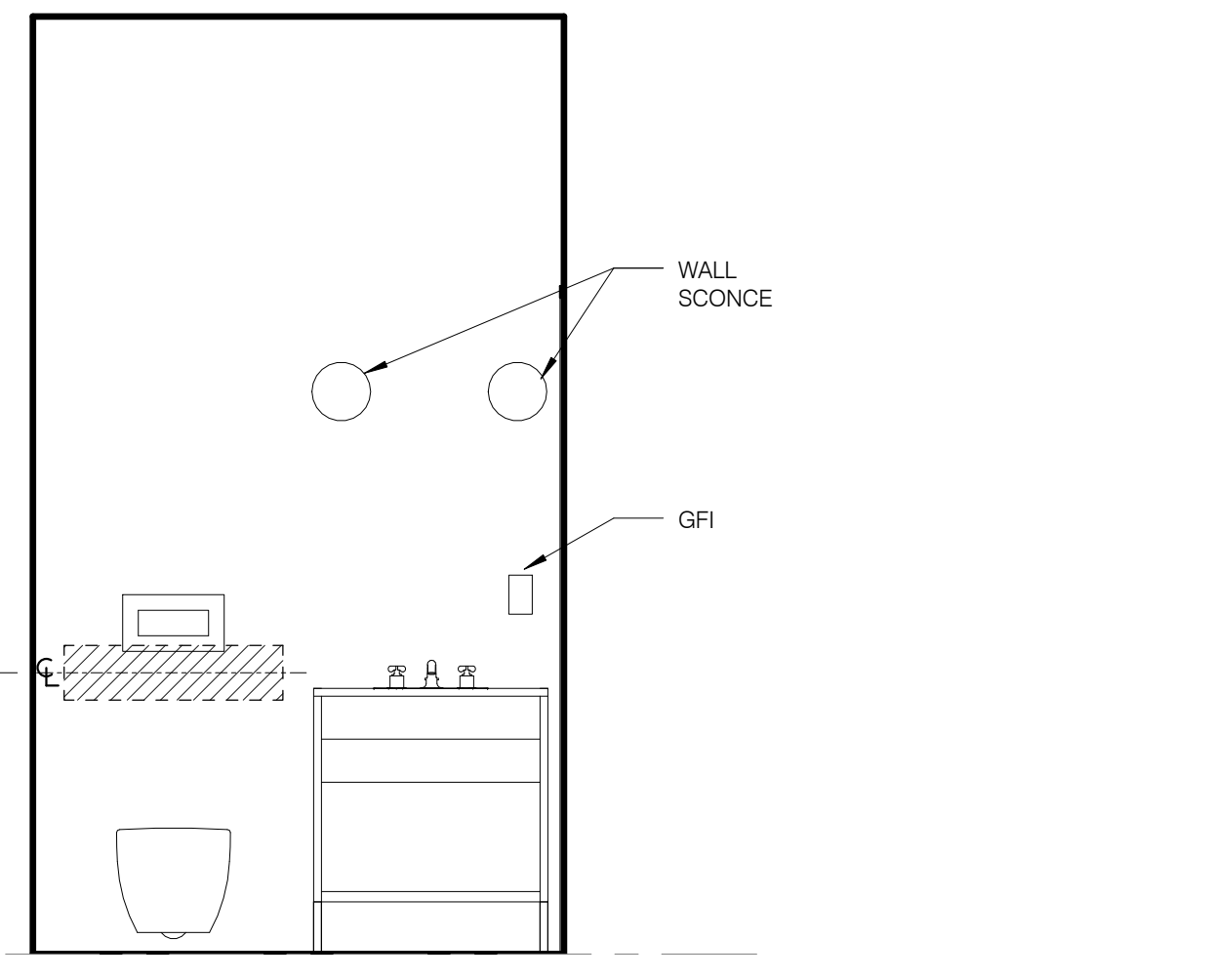
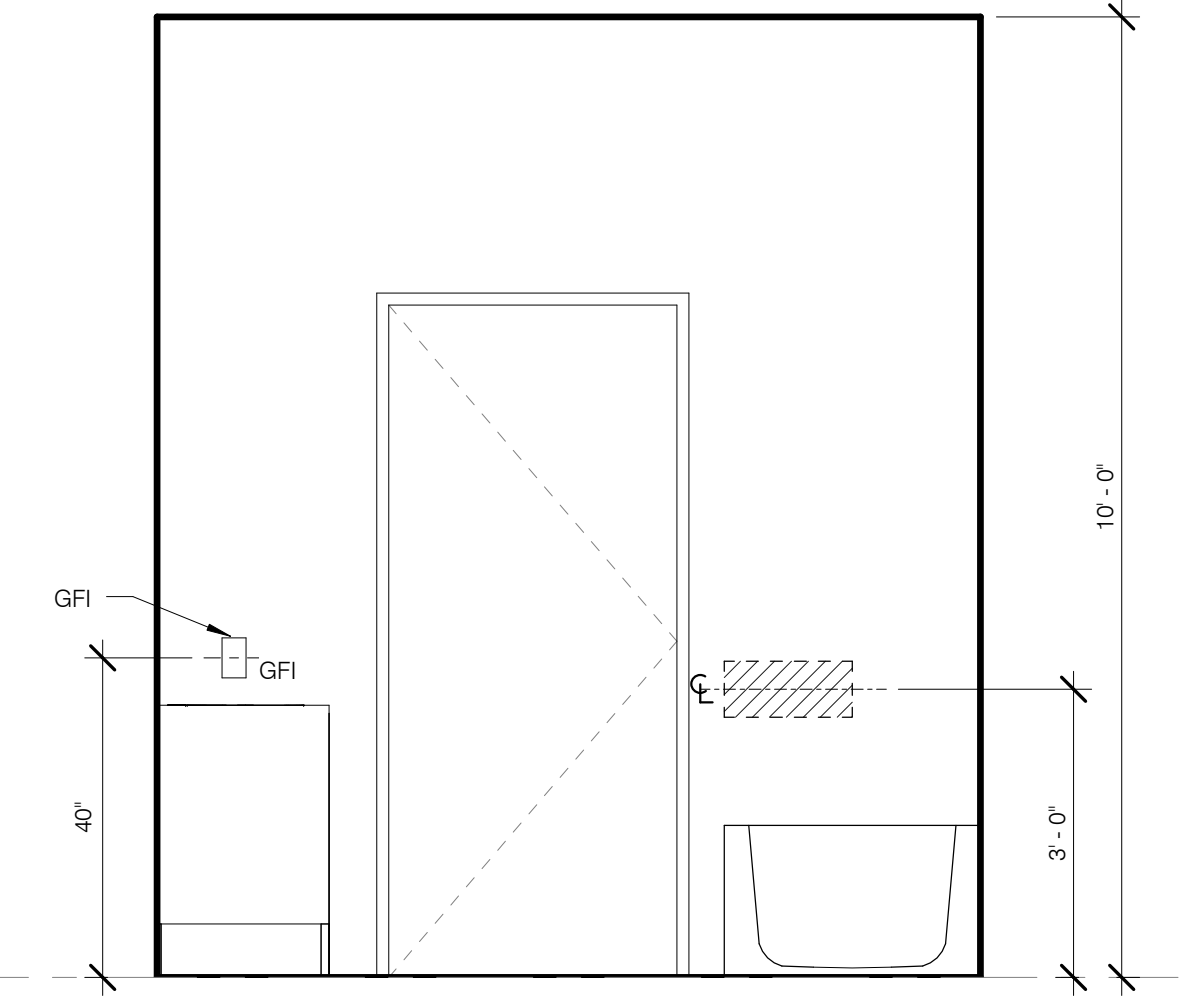
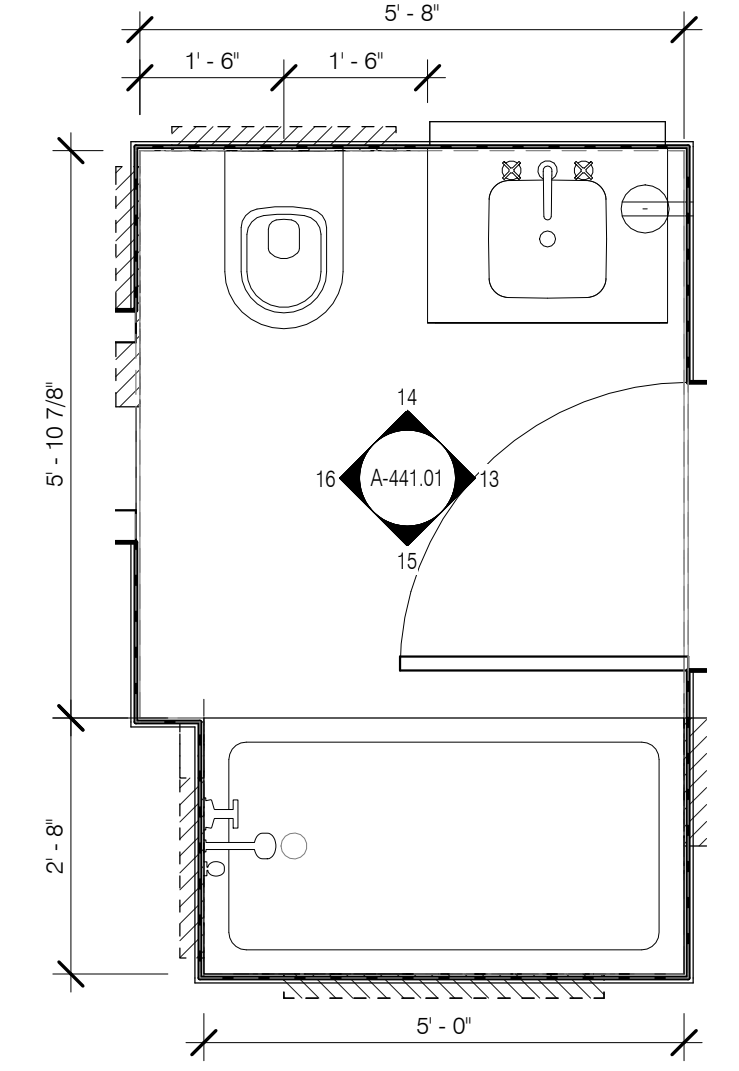
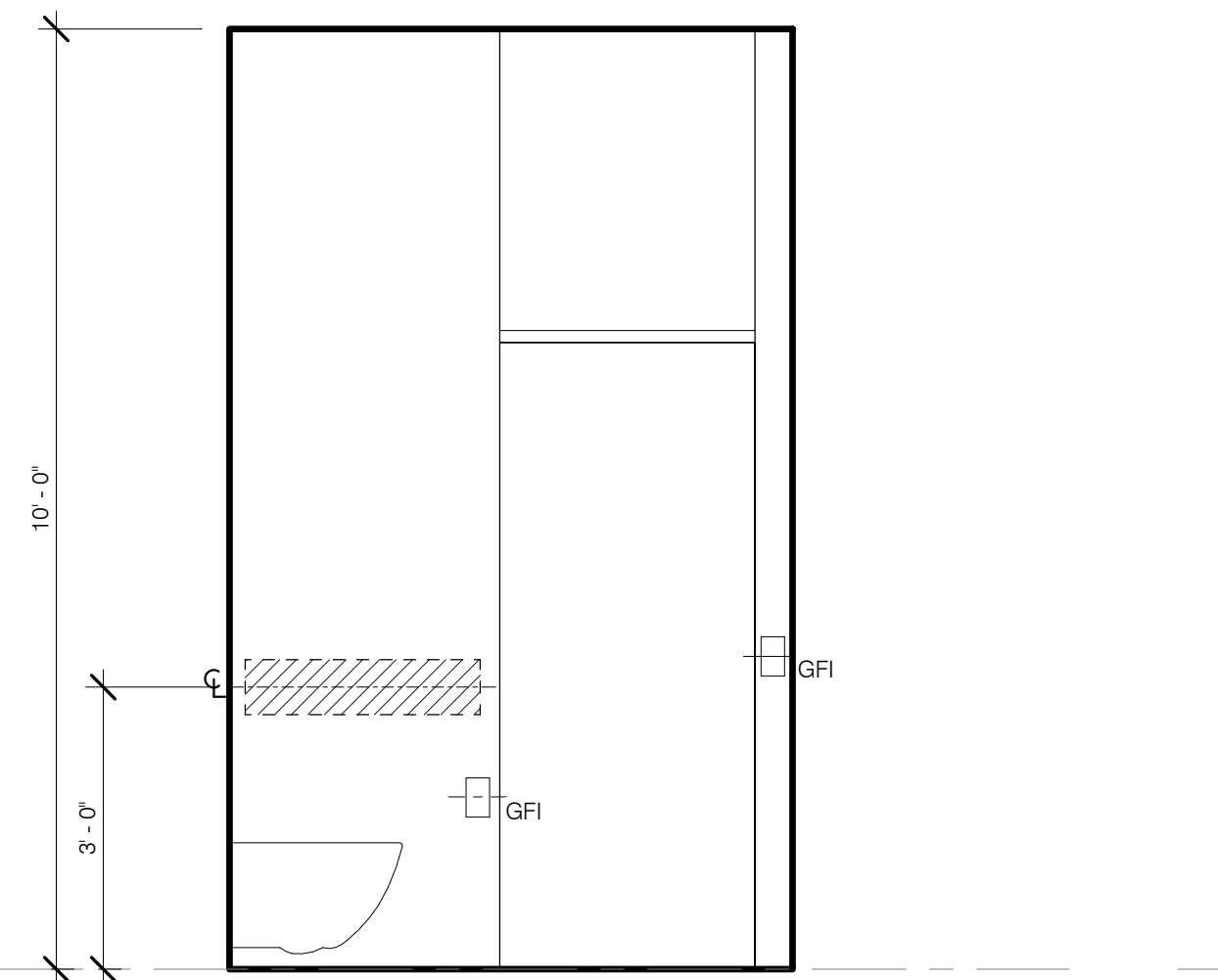
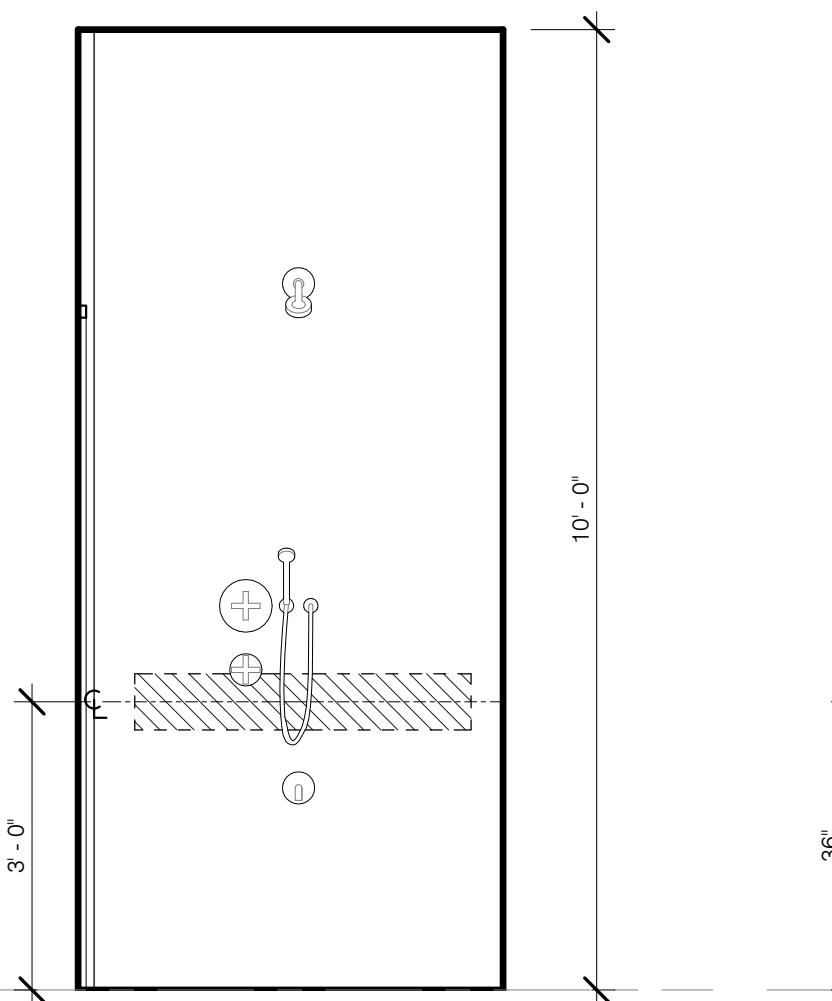
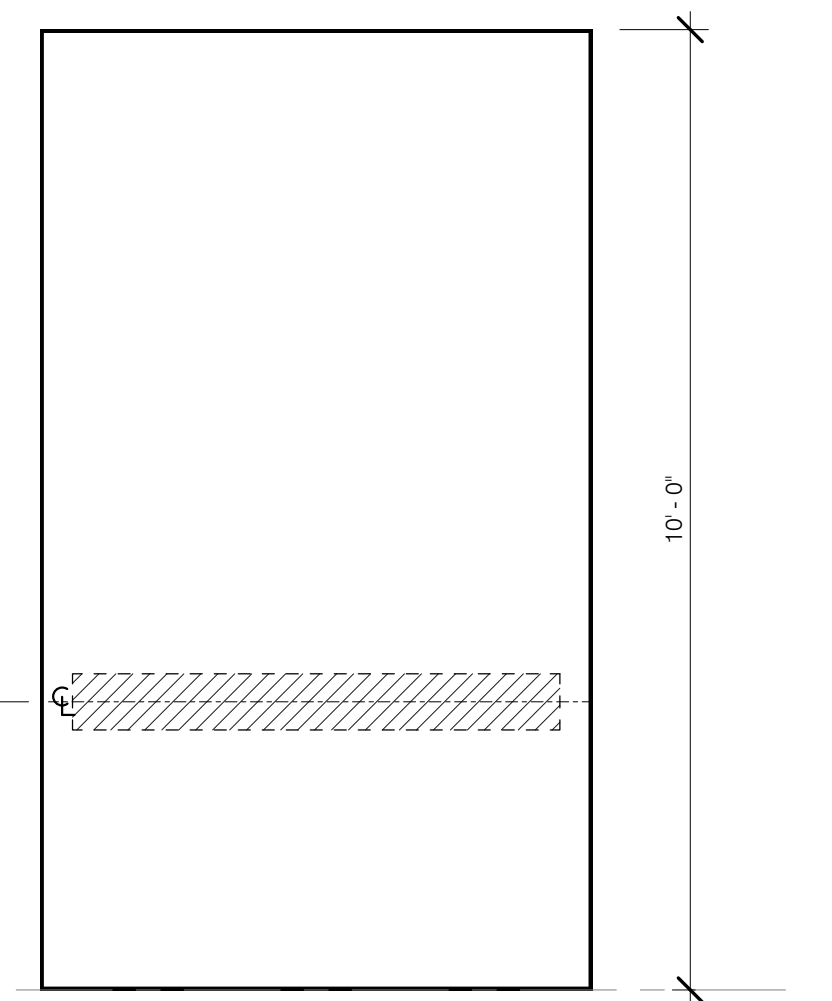
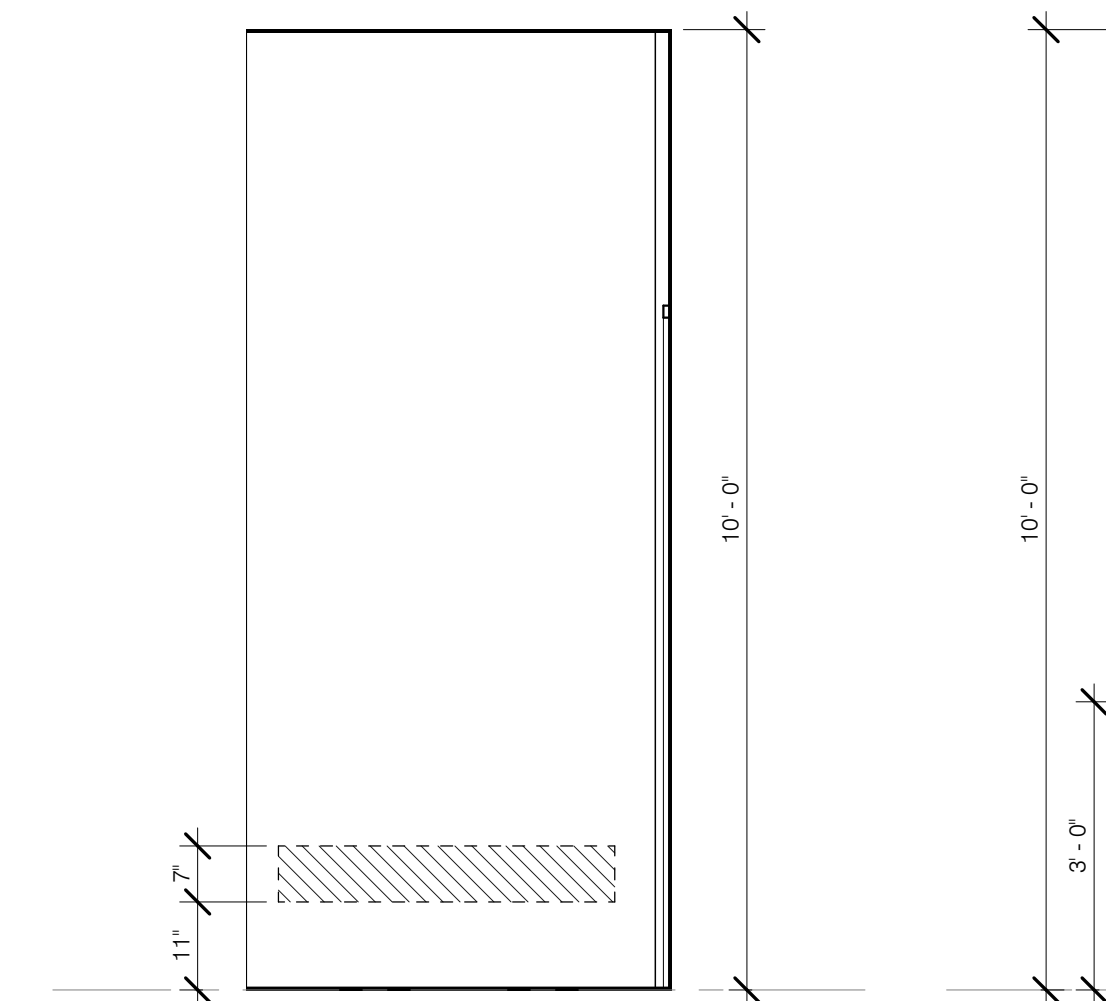
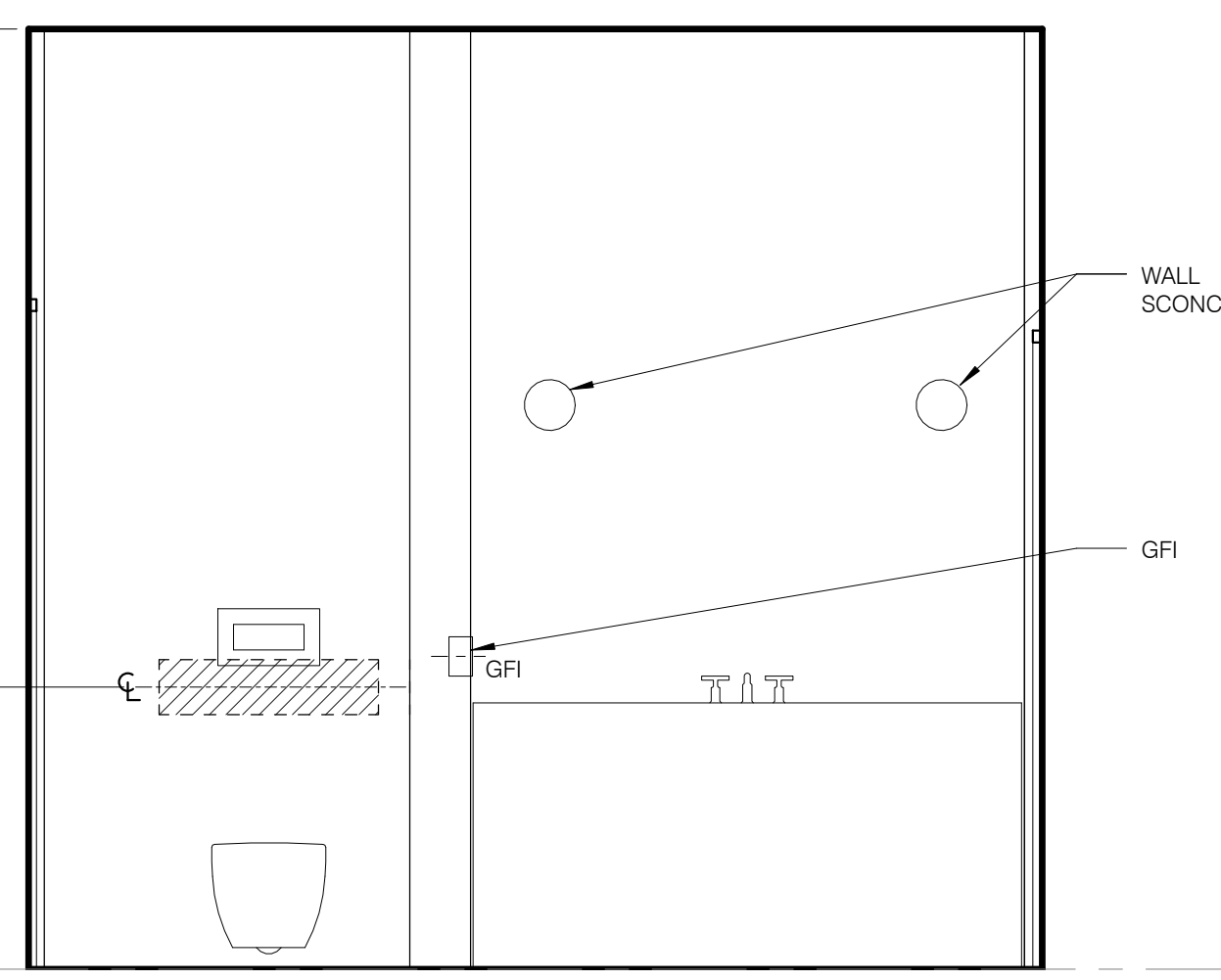
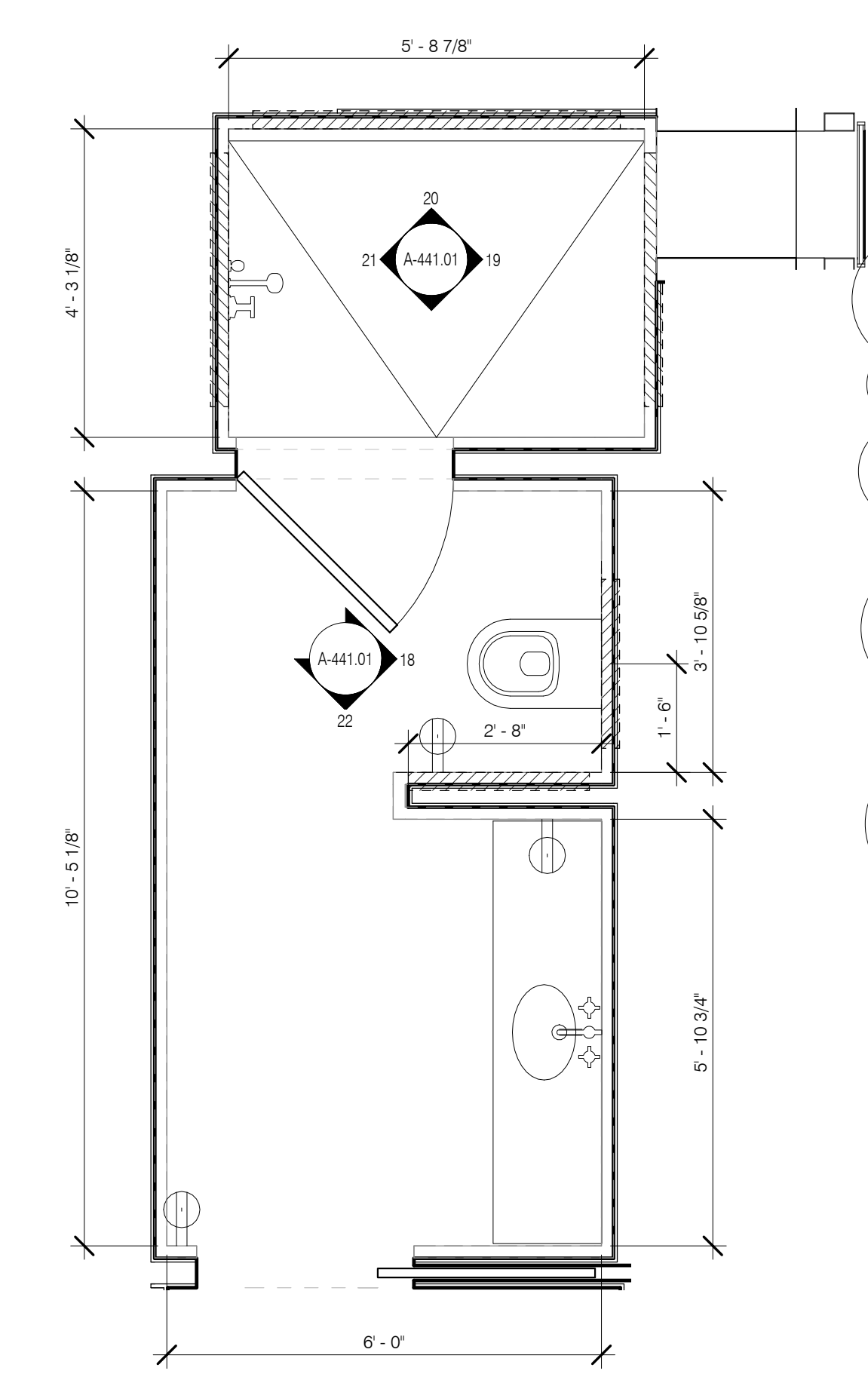


MASTER SHOWER (SINGLE, TYP) N 1/2" = 1'-0" 8



BATHROOM TYPES BY UNIT - TOWER				
UNIT TYPE	TYP LEVEL	RM NUMBER	RM NAME	Notes
<b>B</b>				
T5	LEVEL 71	7101.D	MASTER BATH (MB-5)	B
<b>B-1</b>				
T1A	LEVEL 24	2401.H	BATH 1 (TYPE A)	B-1
T1B	LEVEL 29	2901.G	BATH 1 (TYPE A)	B-1
T1C	LEVEL 36	3601.G	BATH 1 (TYPE A)	B-1
T2A	LEVEL 46	4601.G	BATH 1 (TYPE A)	B-1
T2B	LEVEL 54	5401.D	BATH 1 (TYPE A)	B-1
T3	LEVEL 59	5901.H	BATH 2 (TYPE A)	B-1
T4	LEVEL 67	6701.G	BATH 2 (TYPE A)	B-1
T5	LEVEL 71	7101.J	BATH 1 (TYPE A)	B-1
T6A	LEVEL 75	7401.J	BATH 2 (TYPE A)	B-1
T6B	LEVEL 77	7701.A	BATH 1 (TYPE A)	B-1
<b>B-2</b>				
T1A	LEVEL 24	2401.C	BATH 2 (B-2)	B-2
T1B	LEVEL 29	2901.E	BATH 2 (B-2)	B-2
T2A	LEVEL 46	4601.C	BATH 2 (B-2)	B-2
T4	LEVEL 67	6701.A	HIS BATH (B-2)	B-2
T4	LEVEL 67	6701.K	BATH 3 (B-2)	B-2
T5	LEVEL 71	7101.K	BATH 3 (B-2)	B-2
T5	LEVEL 71	7101.J	BATH 2 (B-2)	B-2
T5	LEVEL 71	7101.J	BATH 2 (B-2)	B-2
<b>B-3</b>				
T1C	LEVEL 36	3601.I	BATH 2 (B-3)	B-3
<b>B-4</b>				
T2B	LEVEL 55	5501.A	HIS BATH (B-4)	B-4
<b>B-5</b>				
T3	LEVEL 59	5901.F	BATH 1 (B-5)	B-5
<b>B-6</b>				
T4	LEVEL 66	6601.C	BATH 2 (B-6)	B-6
<b>B-7</b>				
T6A	LEVEL 75	7401.F	BATH 3 (B-7)	B-7
<b>MB-1</b>				
T1A	LEVEL 24	2401.D	MASTER BATH (MB-1)	MB-1
T1C	LEVEL 36	3601.C	MASTER BATH (MB-1)	MB-1
T2A	LEVEL 46	4601.D	MASTER BATH (MB-1)	MB-1
<b>MB-2</b>				
T1B	LEVEL 29	2901.C	MASTER BATH (MB-2)	MB-2
<b>MB-3</b>				
T2B	LEVEL 54	5401.B	BATH 2 (MB-3)	MB-3
<b>MB-4</b>				
T2B	LEVEL 55	5501.E	HER BATH (MB-4)	MB-4
T3	LEVEL 59	5901.C	MASTER BATH (MB-4)	MB-4
<b>MB-5</b>				
T4	LEVEL 67	6701.D	HER BATH (MB-5)	MB-5
T6A	LEVEL 75	7401.C	MASTER BATH (MB-5)	MB-5
T6B	LEVEL 77	7701.D	MASTER BATH (MB-5)	MB-5
<b>PR-1</b>				
T3	LEVEL 59	5901.J	POWDER (PR-3)	PR-1
T4	LEVEL 66	6601.F	POWDER (PR-1)	PR-1
T5	LEVEL 72	7201.F	POWDER (PR-1)	PR-1
<b>PR-2</b>				
T6A	LEVEL 74	7401.D	POWDER (PR-2)	PR-2
T6B	LEVEL 76	7601.C	POWDER (PR-2)	PR-2
<b>PR-3</b>				
T2B	LEVEL 54	5401.F	POWDER (PR-3)	PR-3
<b>PR-4</b>				
T1A	LEVEL 24	2401.J	POWDER (PR-4)	PR-4
T1B	LEVEL 29	2901.J	POWDER (PR-4)	PR-4
T1C	LEVEL 36	3601.J	POWDER (PR-4)	PR-4
T2A	LEVEL 46	4601.I	POWDER (PR-4)	PR-4
<b>U1-A</b>				
RC	CELLAR	-0106.C	UNISEX BATH 2	U1-A

FOR ALL BATHROOM MILLWORK SEE INTERIOR DESIGN PACKAGE



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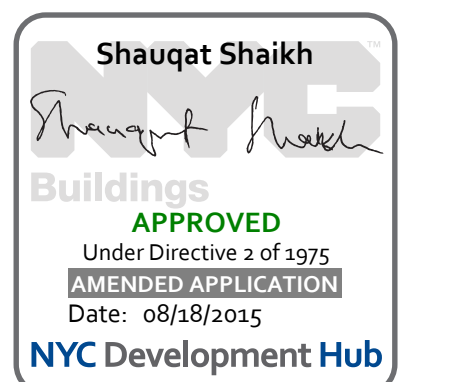
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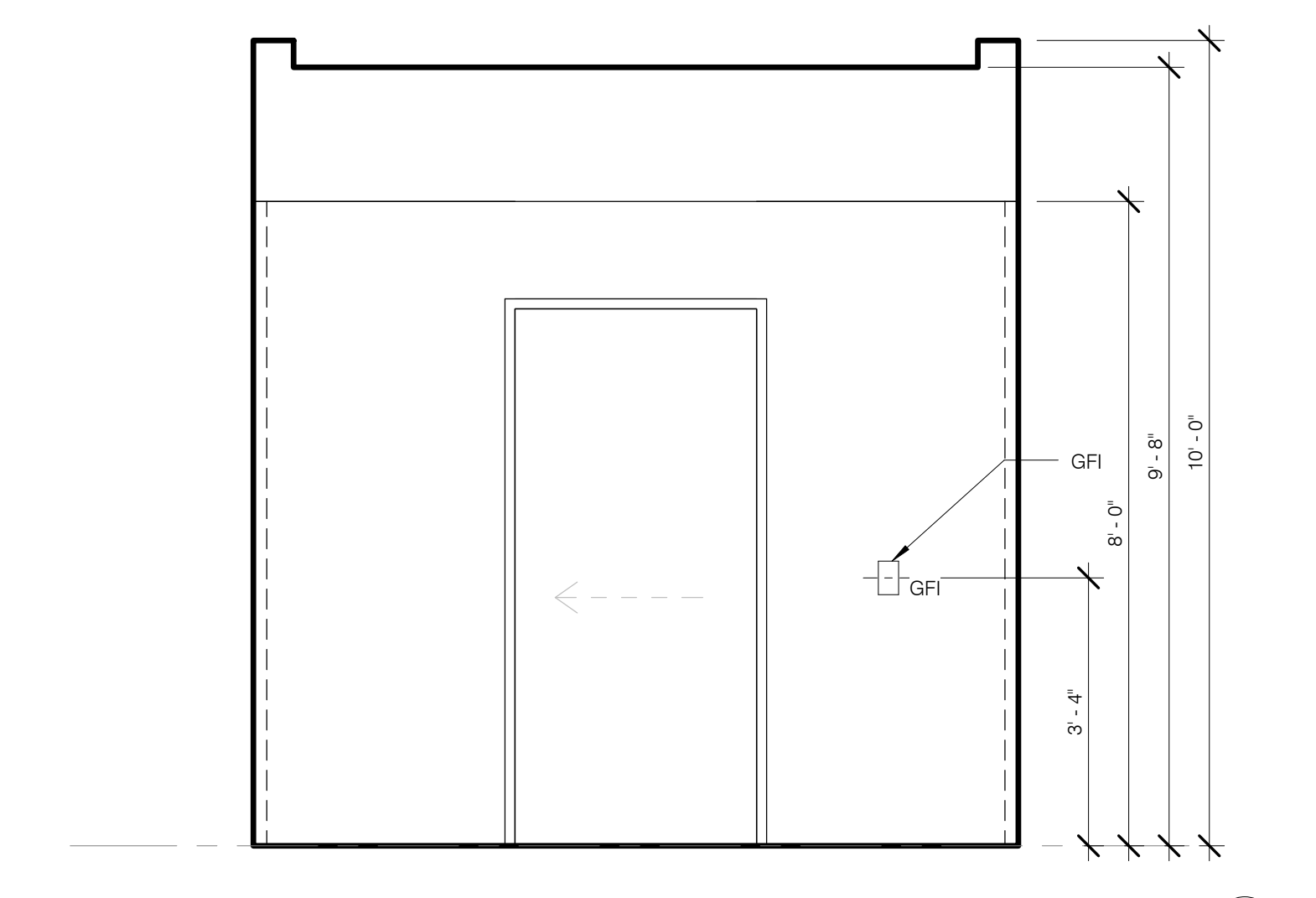


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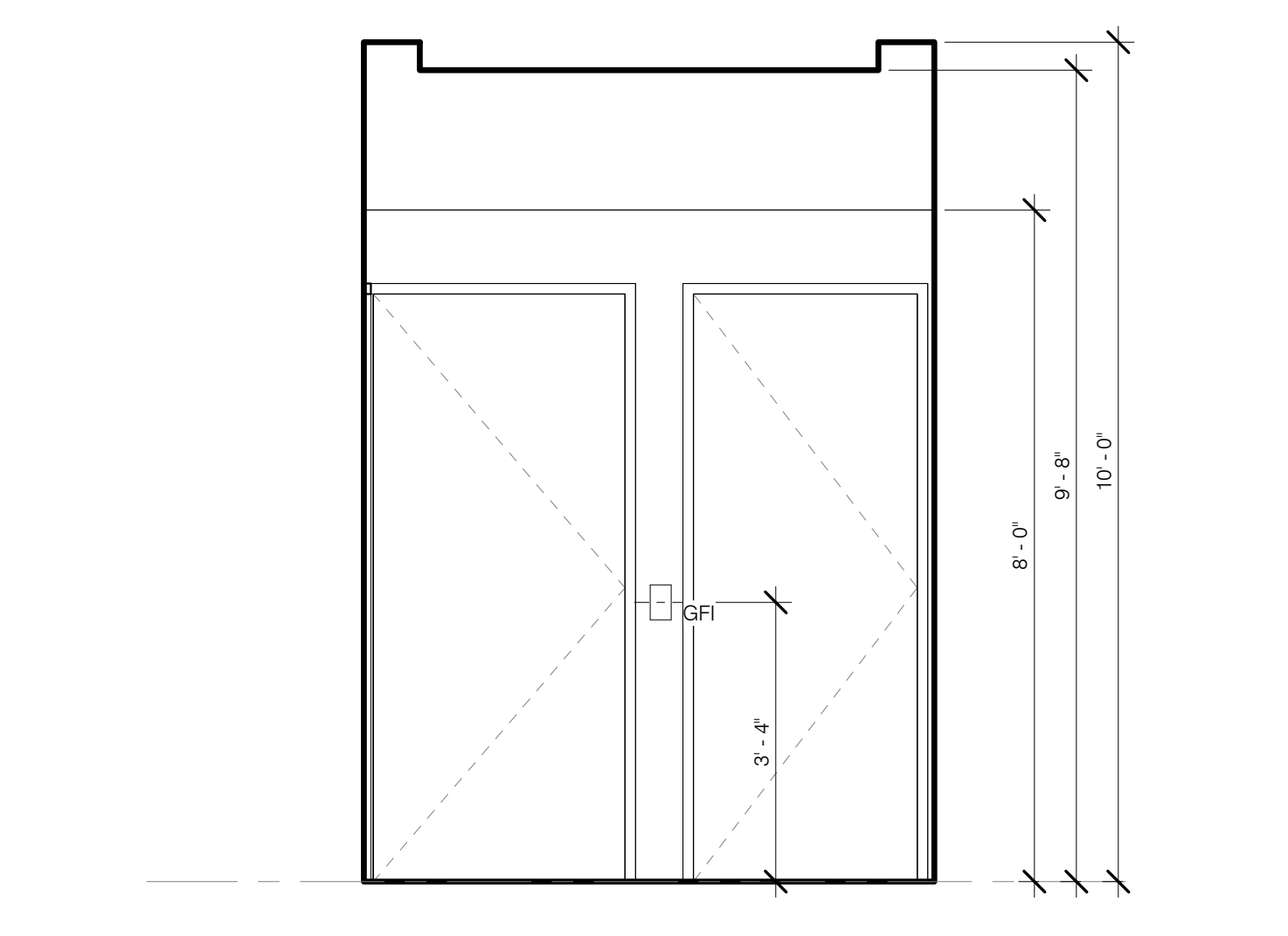
GRAPHIC TITLE  
**BATHROOMS - TOWER ENLARGED PLANS AND ELEVATION**

SEAL & SIGNATURE	DATE	3/27/15
PROJECT NO.	130607	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DOB NO.	121332968	
DRAWING NUMBER		

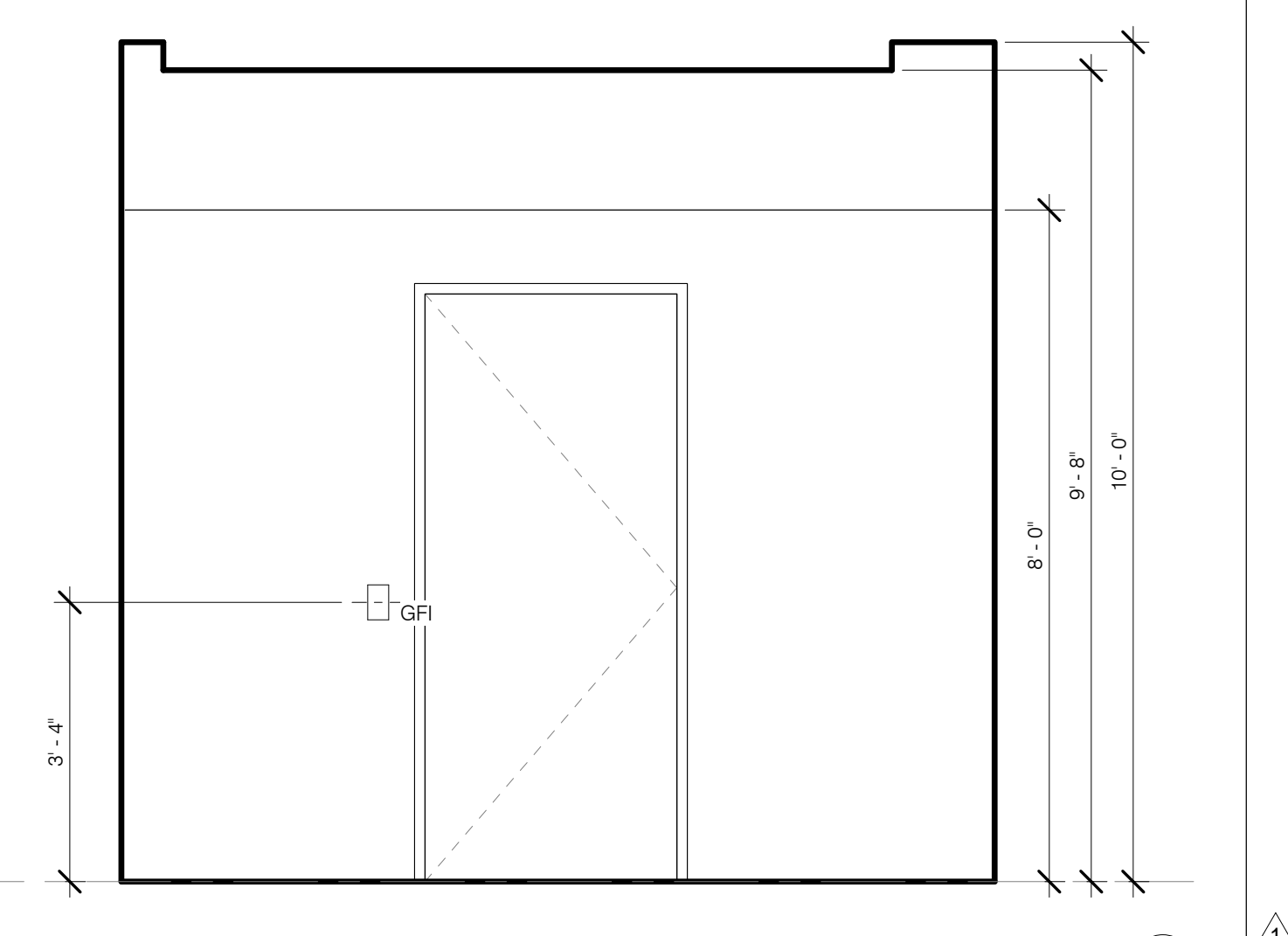
**A-442.01**



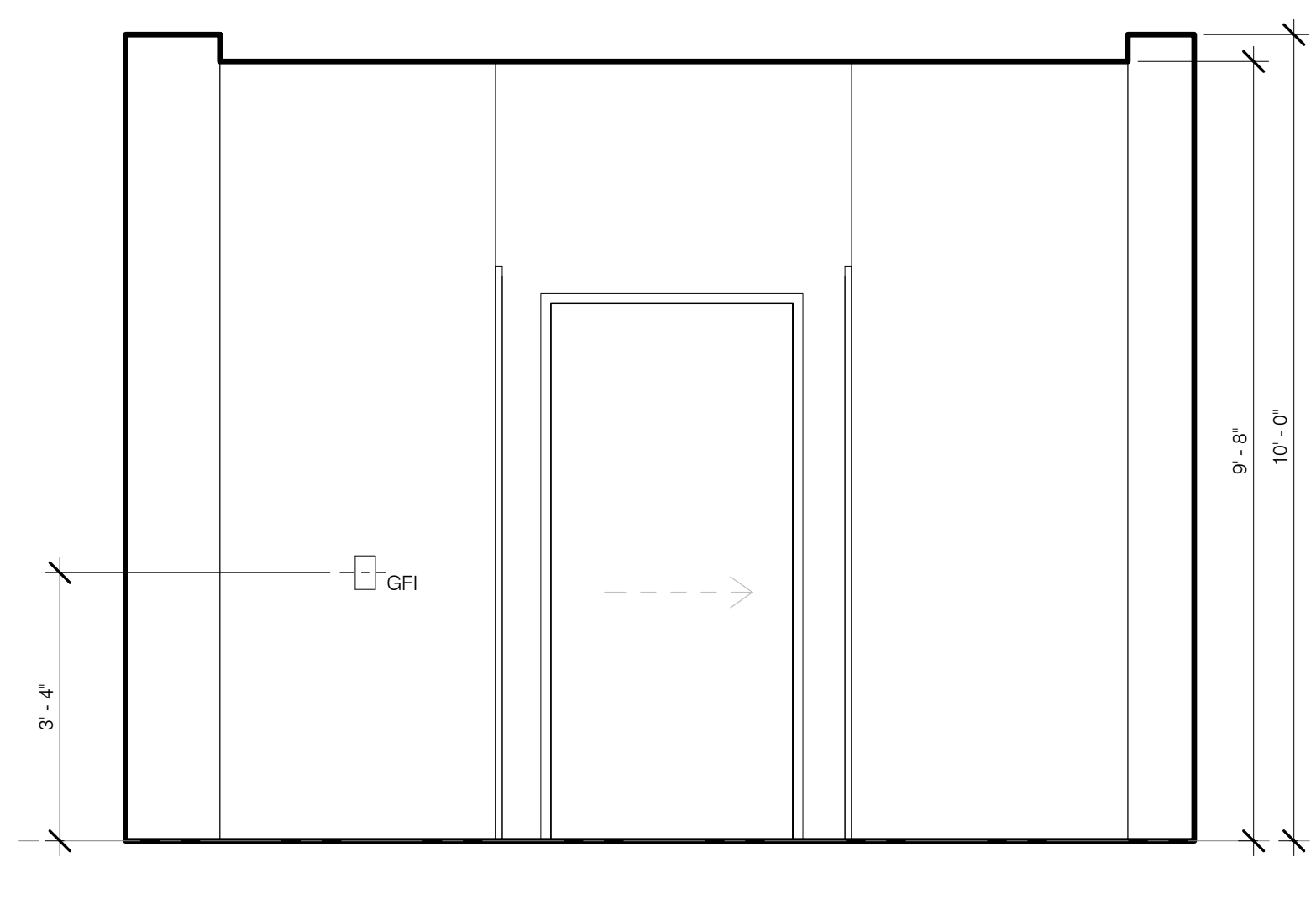
MB-1 - GFI 1/2" = 1'-0" 20



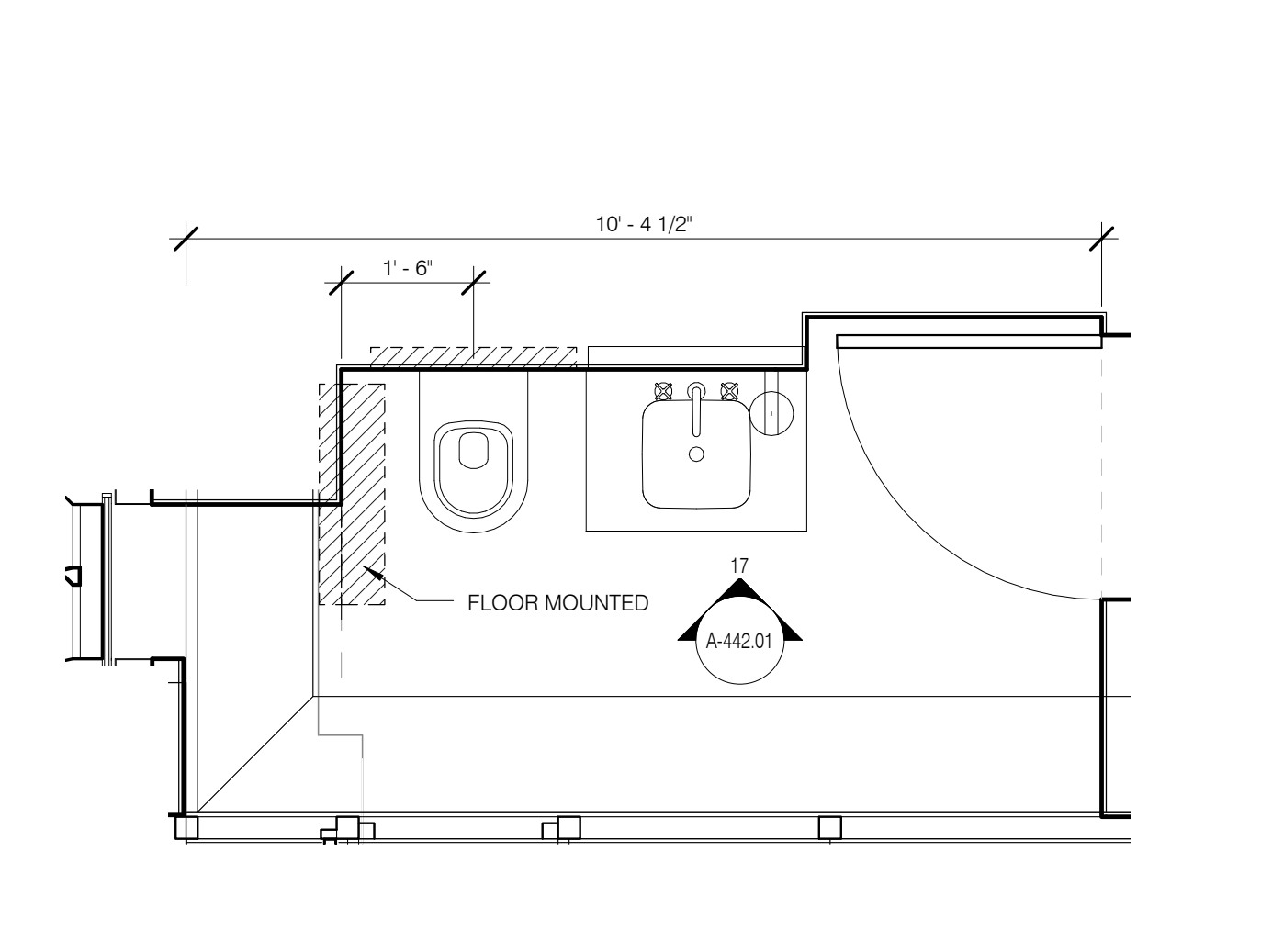
MB-2 GFI 1/2" = 1'-0" 21



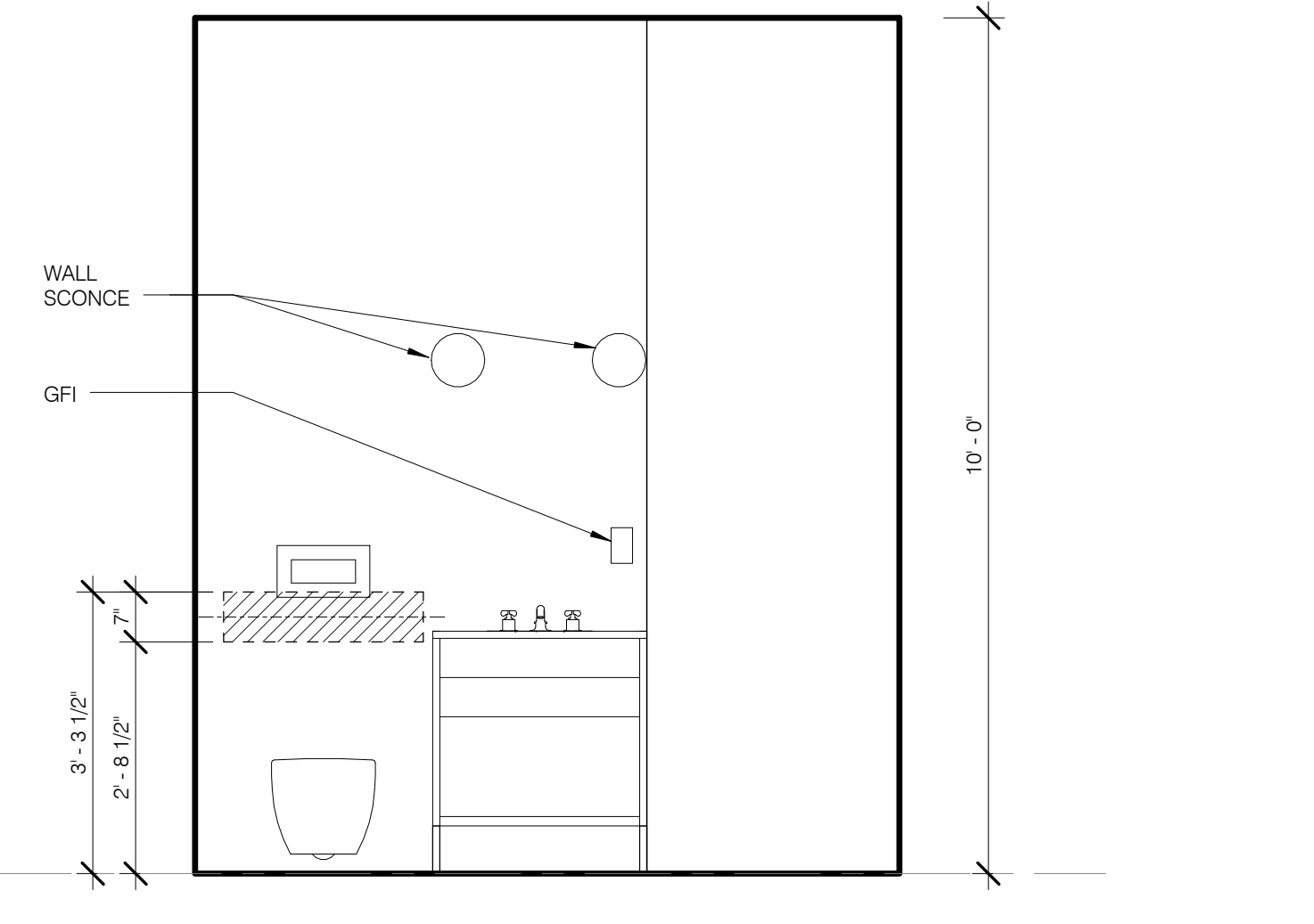
MB-3 GFI 1/2" = 1'-0" 22



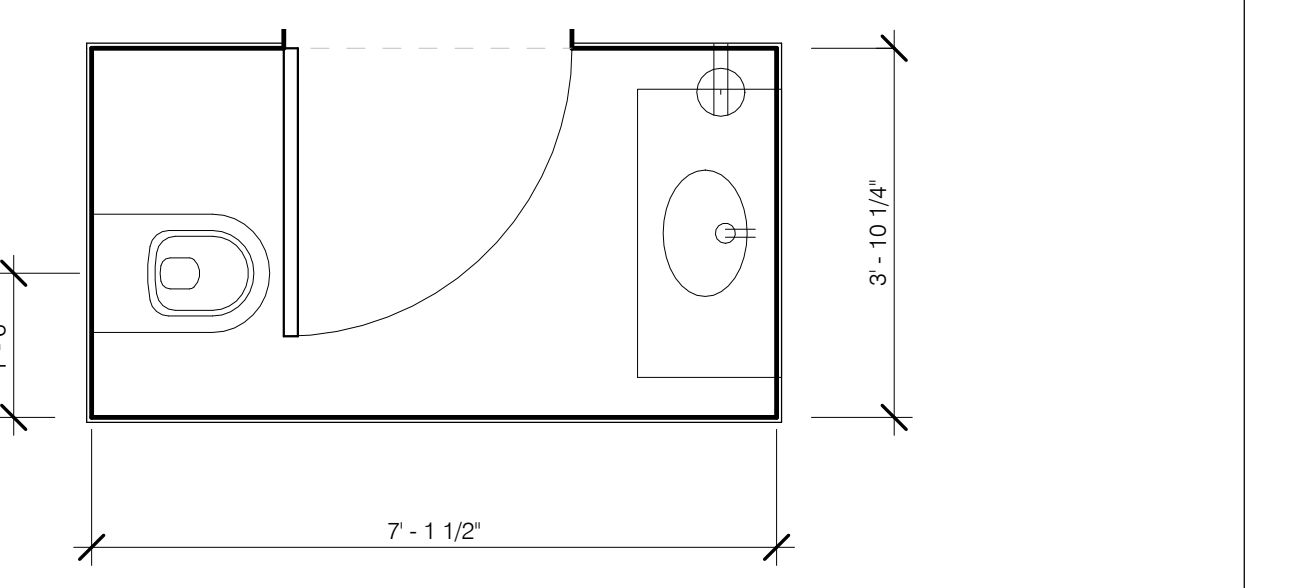
MB-4 GFI 1/2" = 1'-0" 23



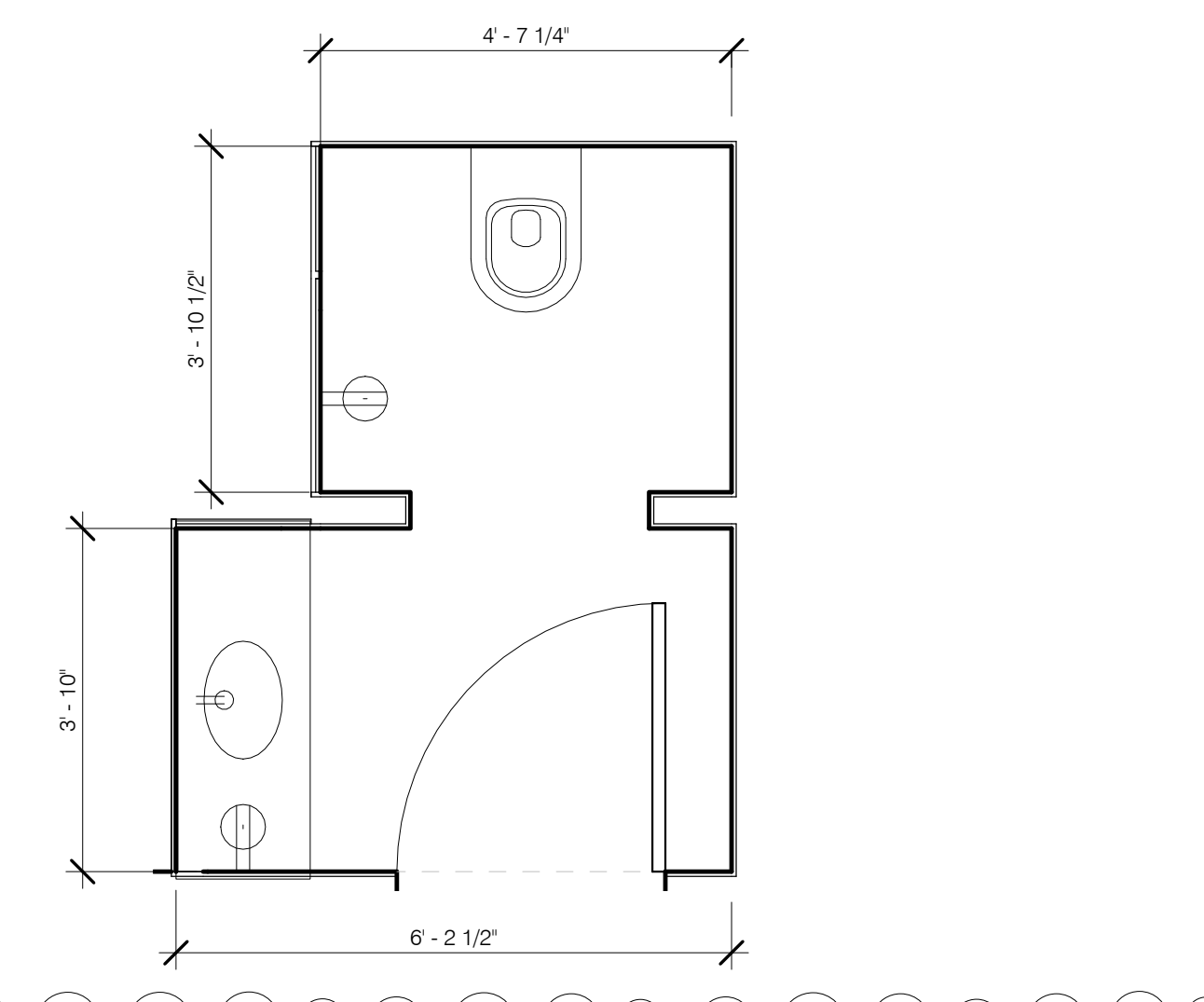
POWDER TYPE-2 PLAN 1/2" = 1'-0" 16



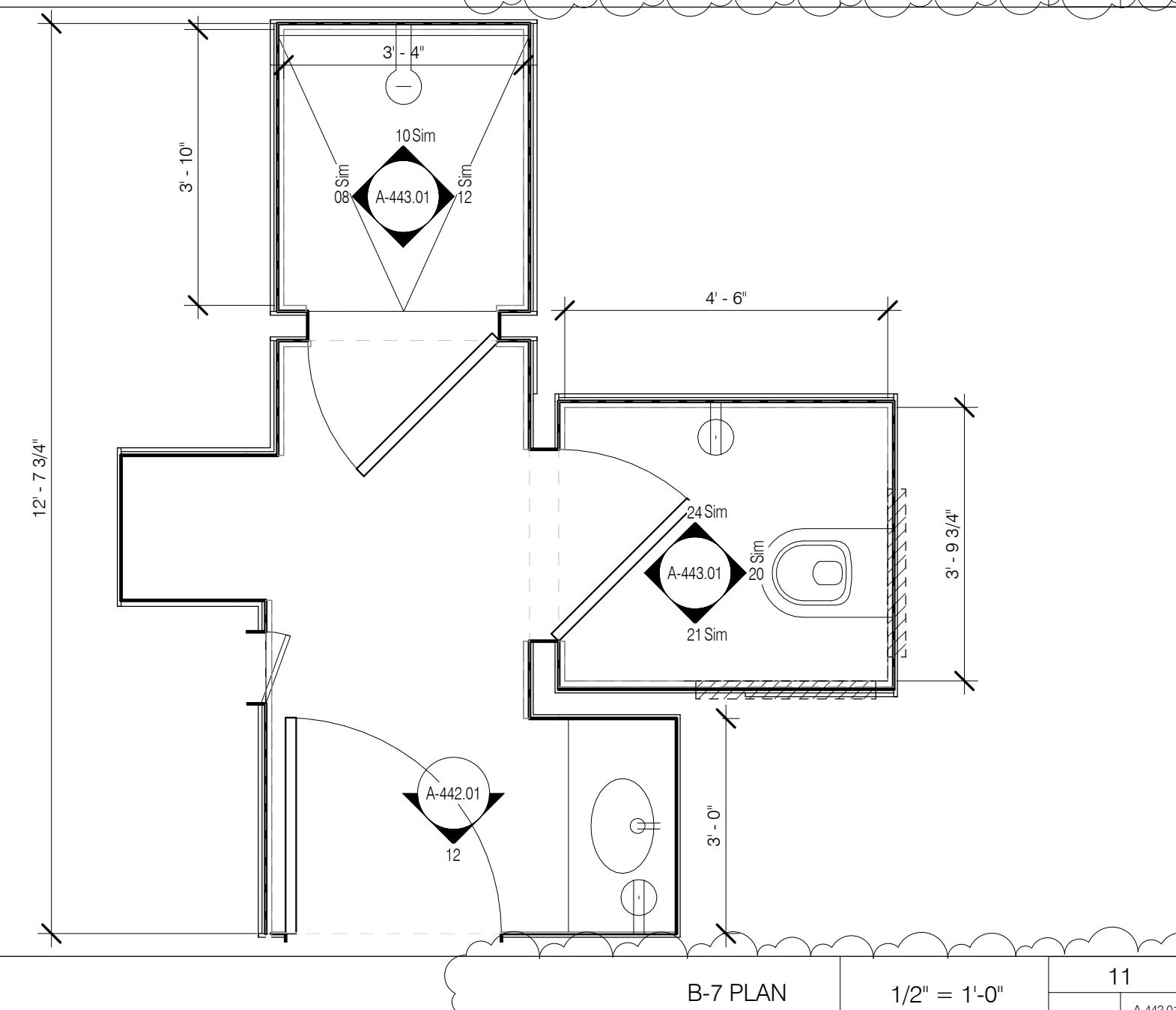
POWDER TYPE-2 WC REAR WALL ELEV 1/2" = 1'-0" 17



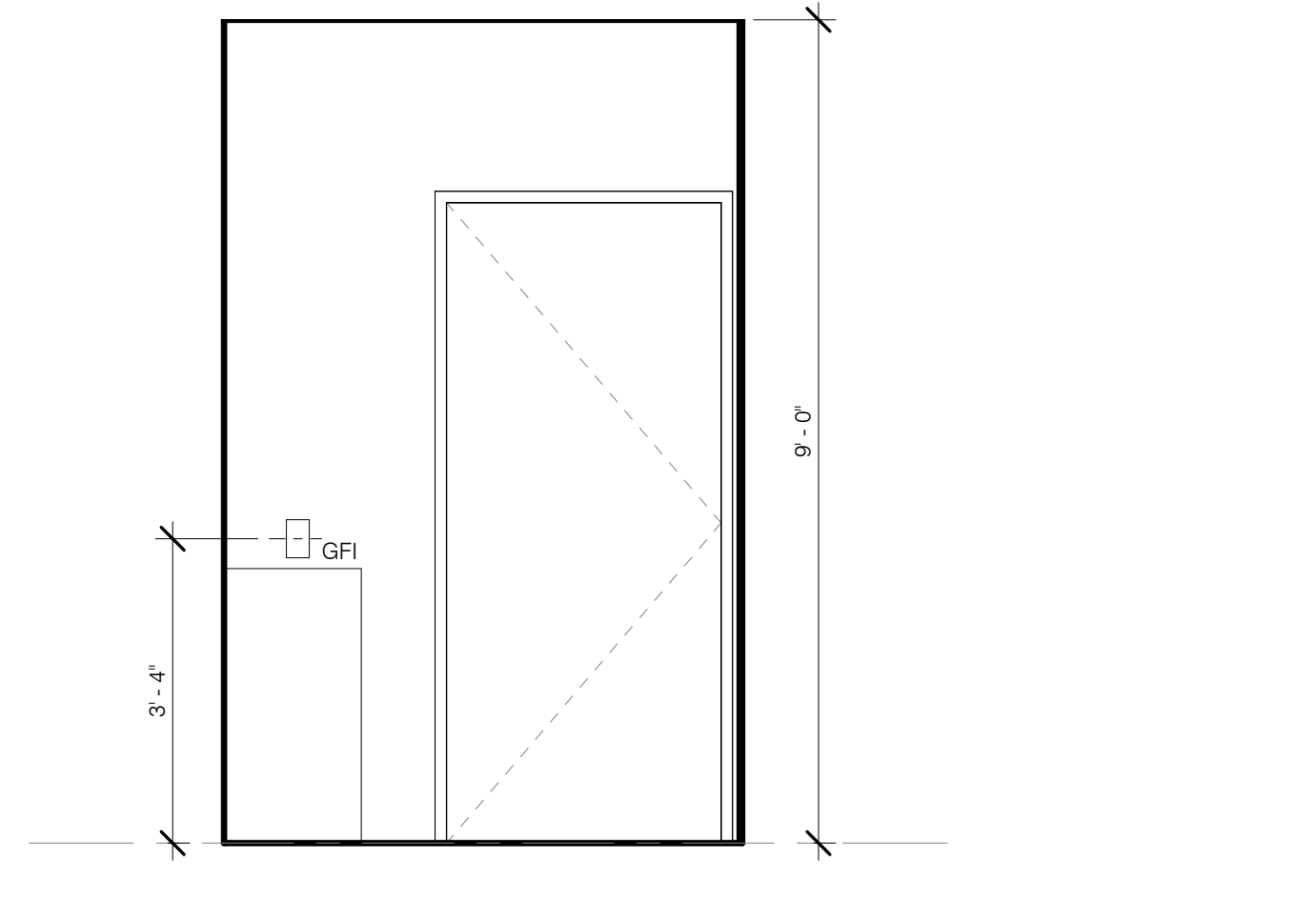
PR-3 POWDER 3 PLAN 1/2" = 1'-0" 18



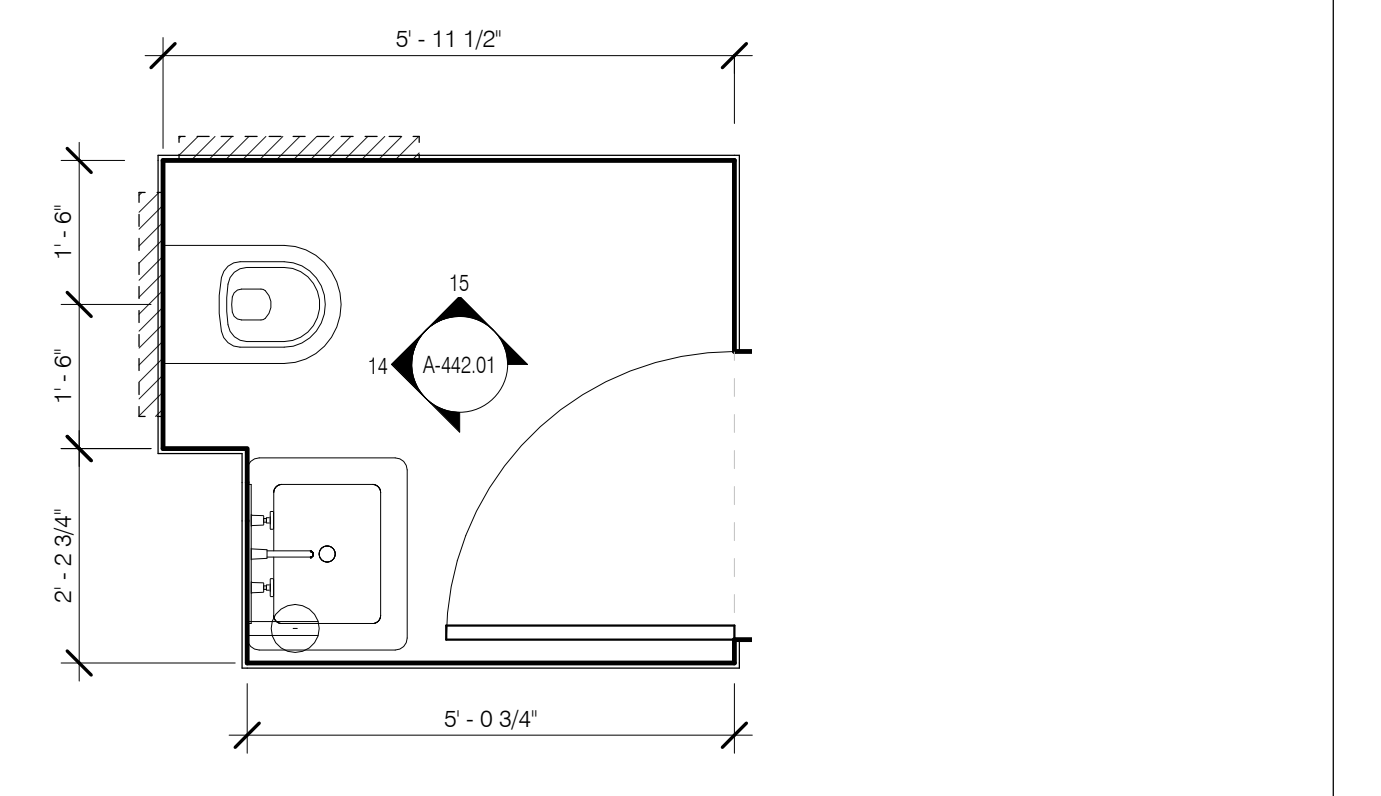
PR-4 POWDER 4 PLAN 1/2" = 1'-0" 19



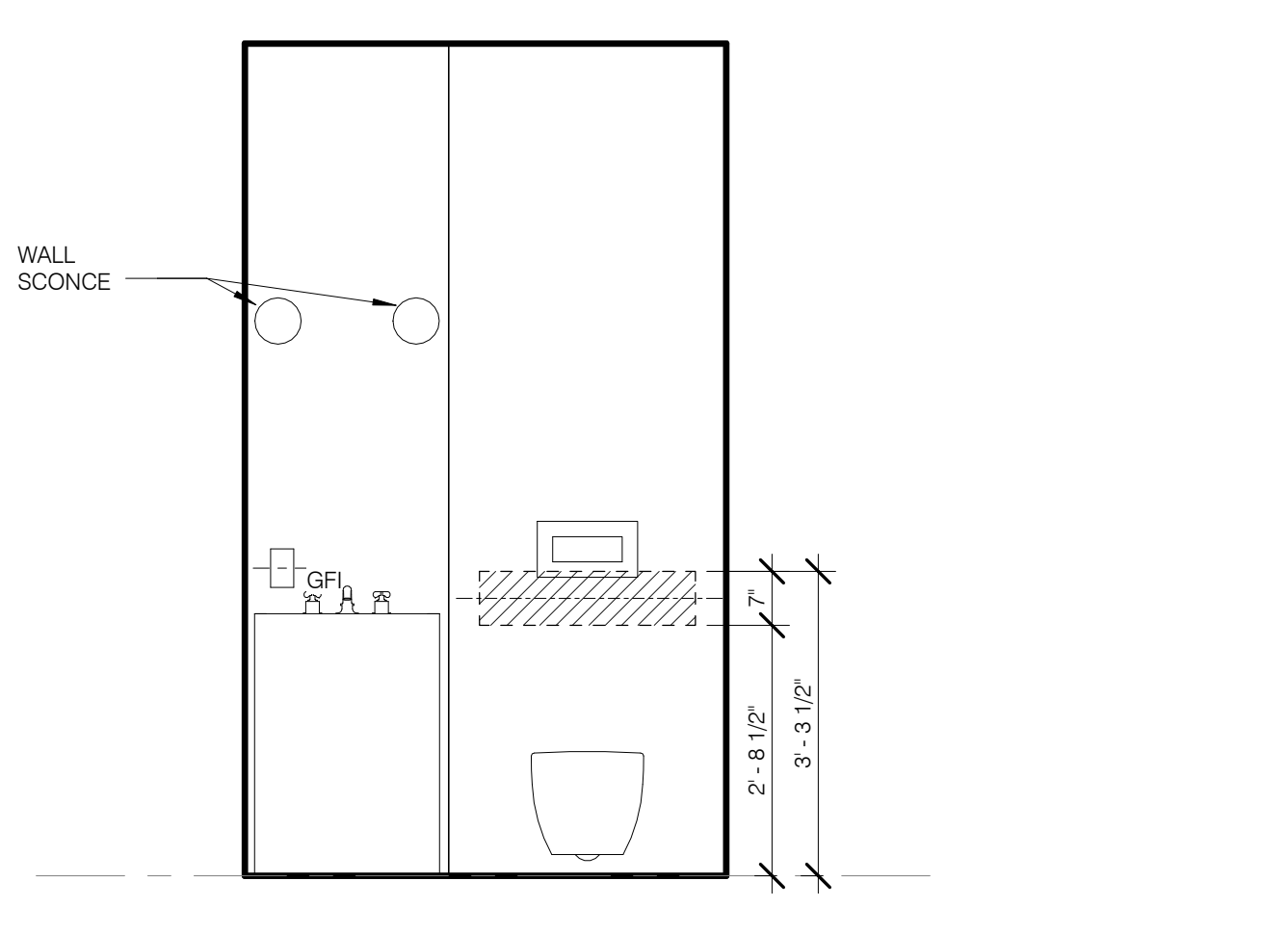
B-7 PLAN 1/2" = 1'-0" 11



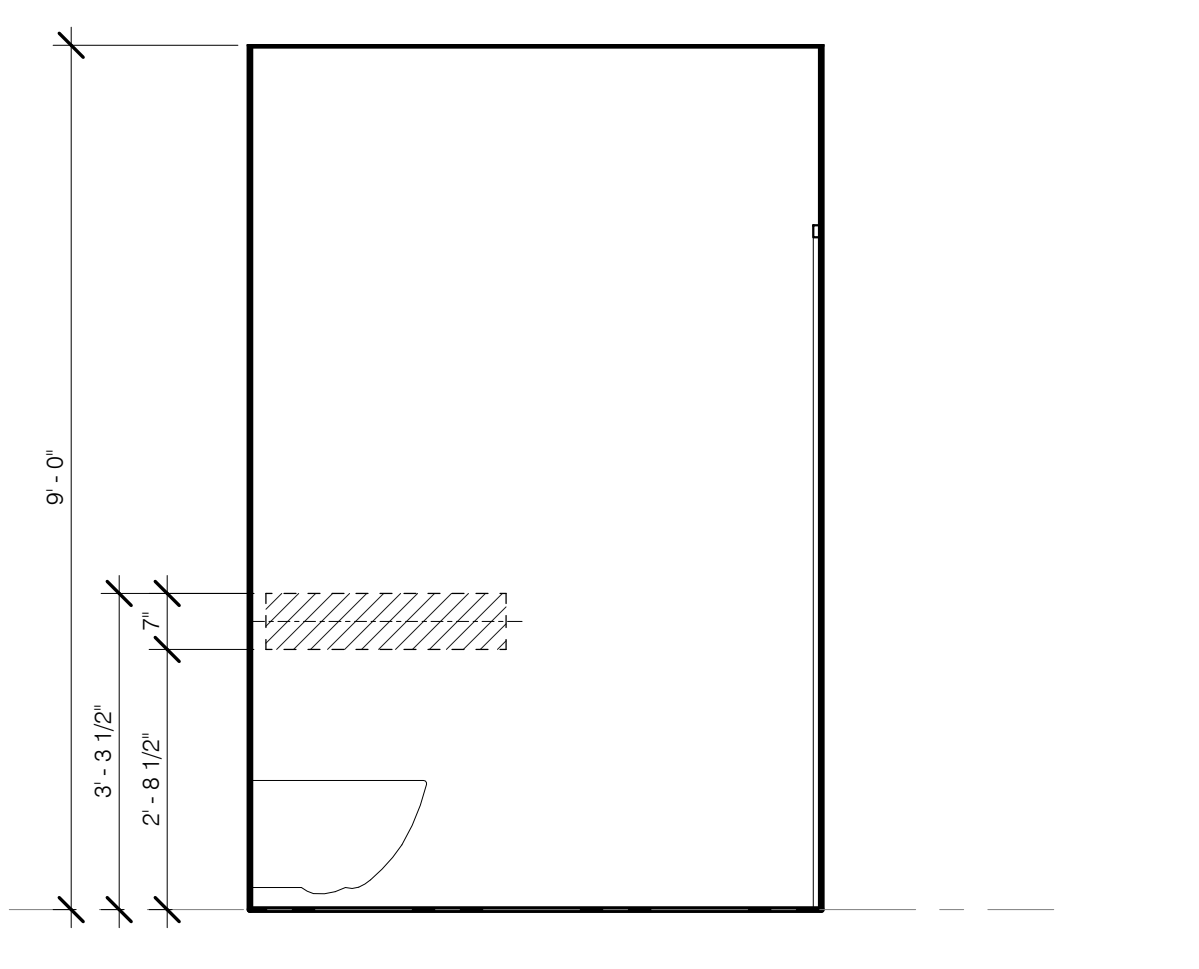
B-7 - DOOR 1/2" = 1'-0" 12



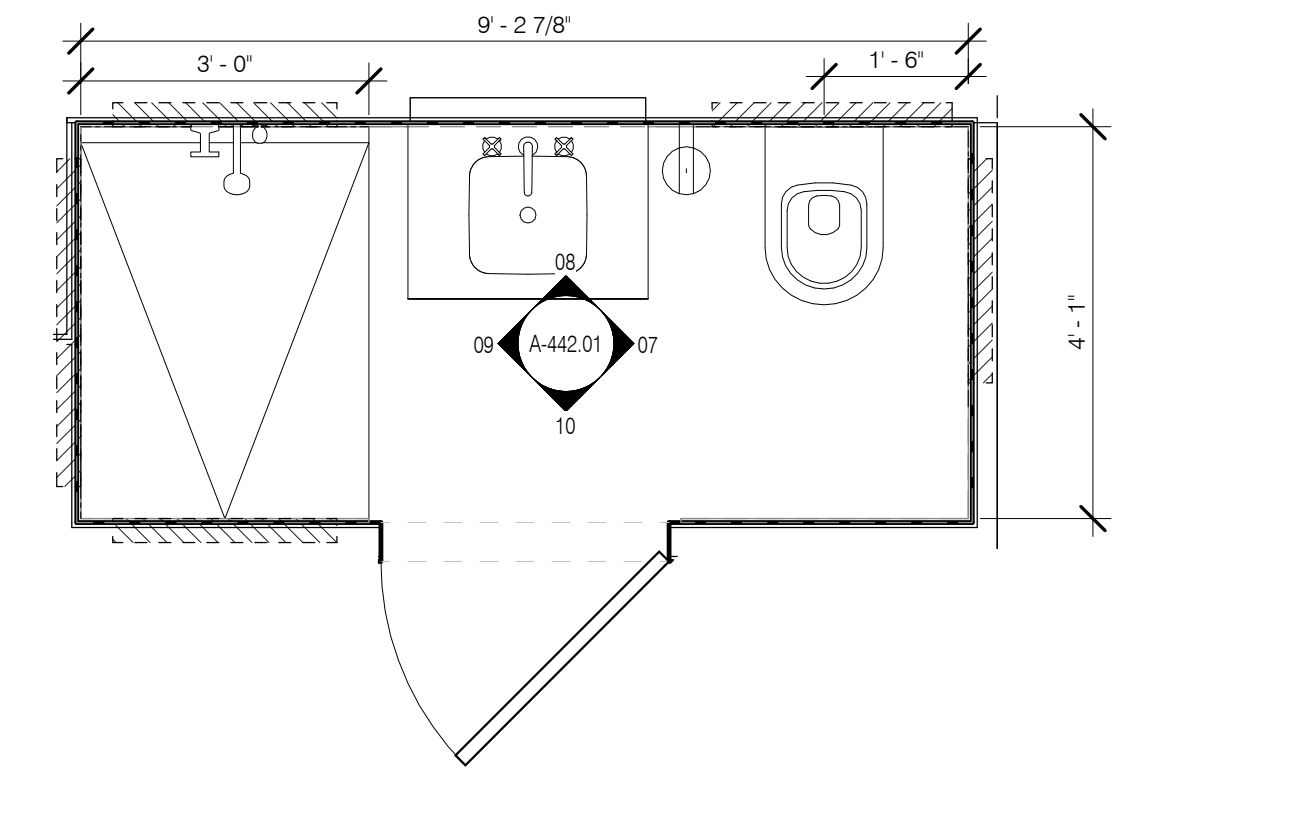
POWDER TYPE-1 PLAN 1/2" = 1'-0" 13



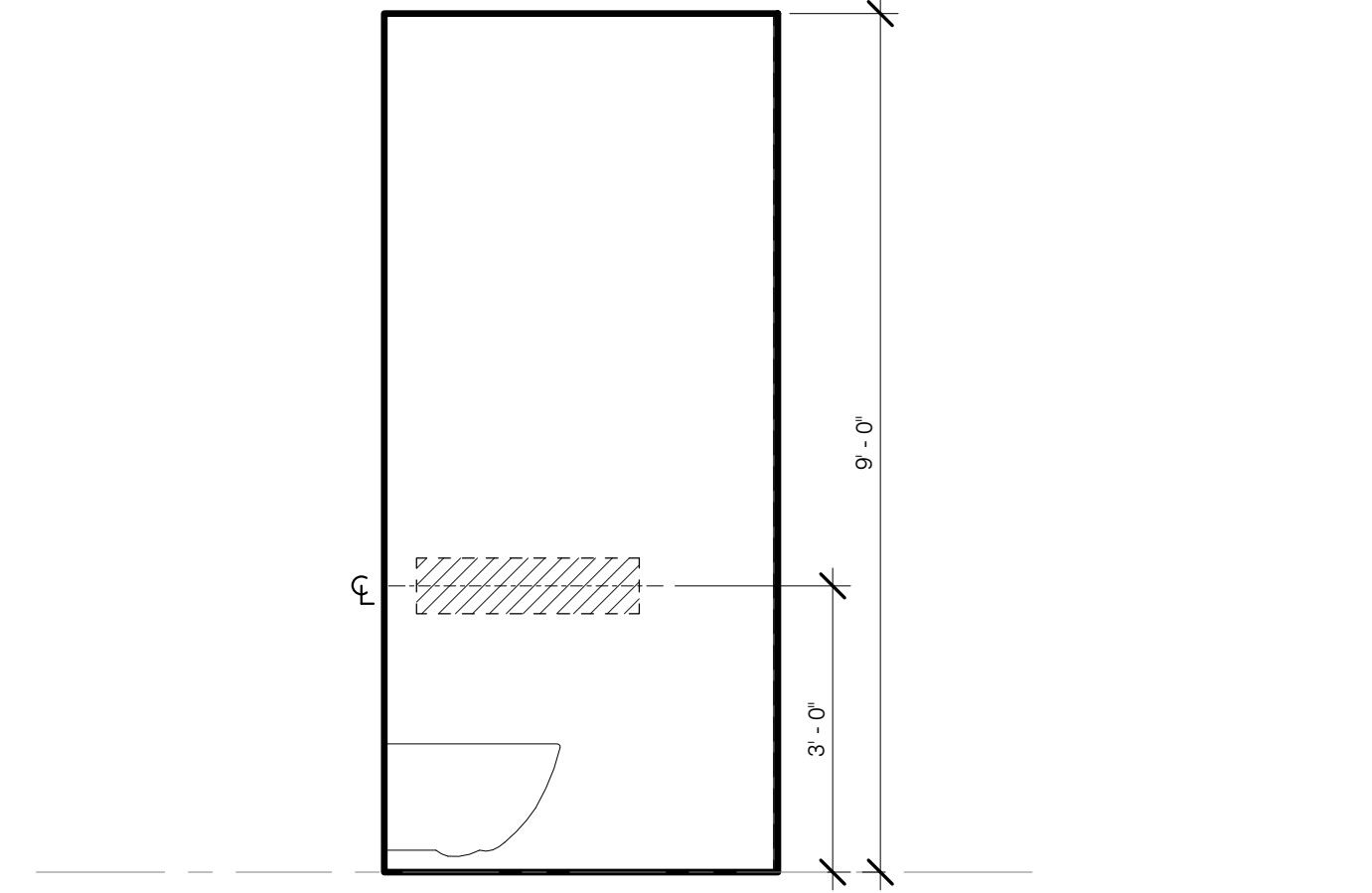
POWDER TYPE-1 WC REAR WALL ELEV 1/2" = 1'-0" 14



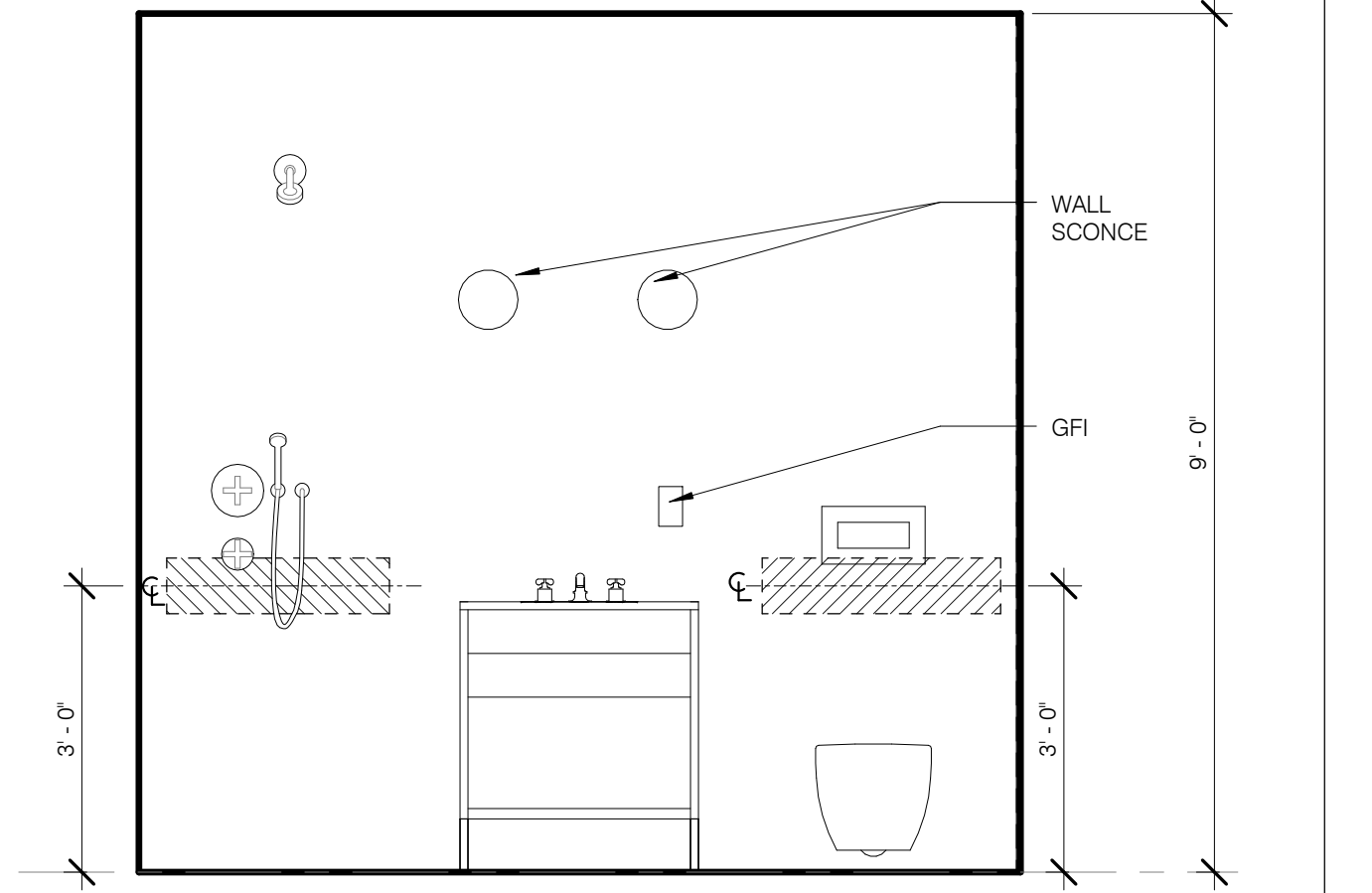
POWDER TYPE-1 WC SIDE WALL ELEV 1/2" = 1'-0" 15



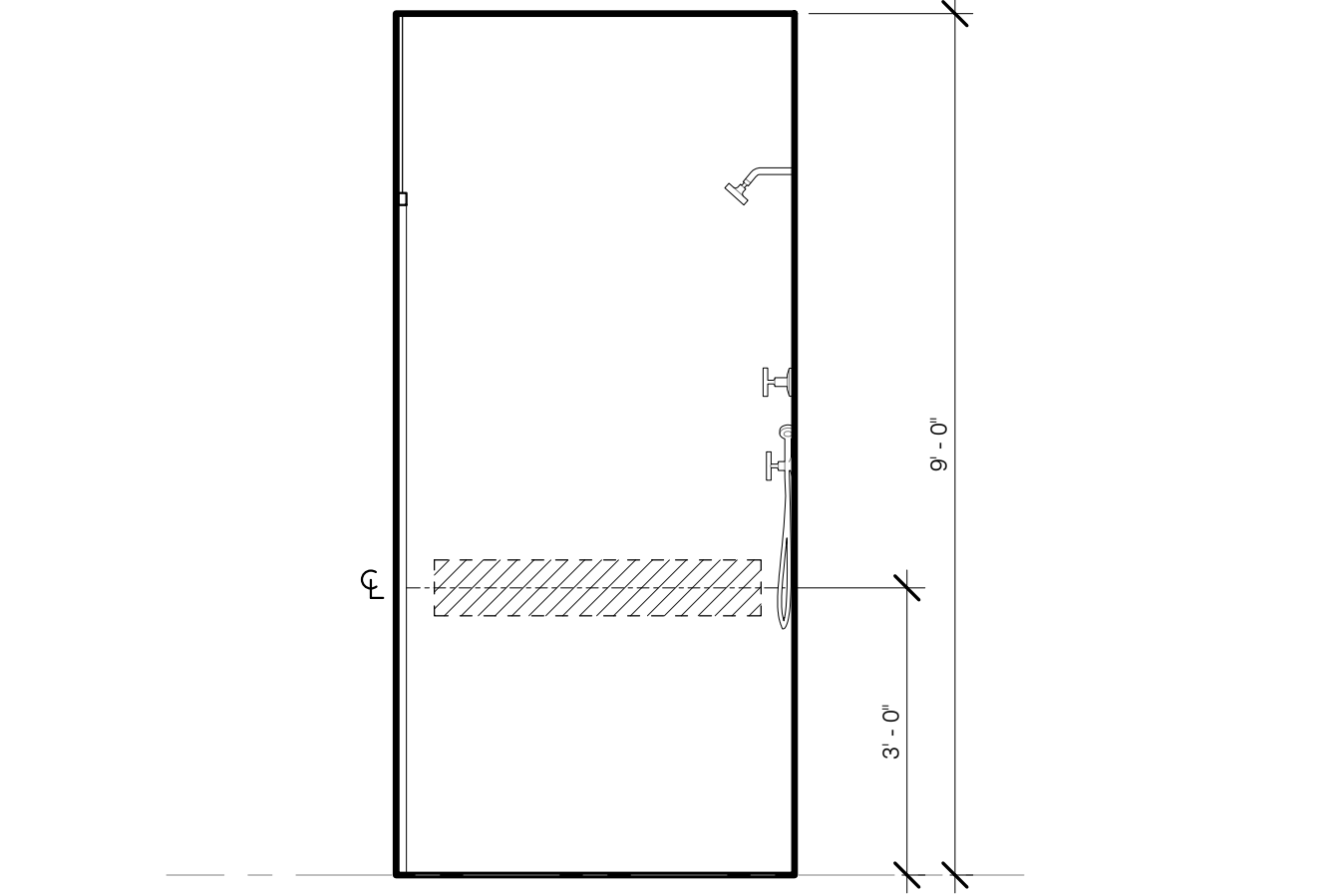
BATH TYPE-6 PLAN 1/2" = 1'-0" 06



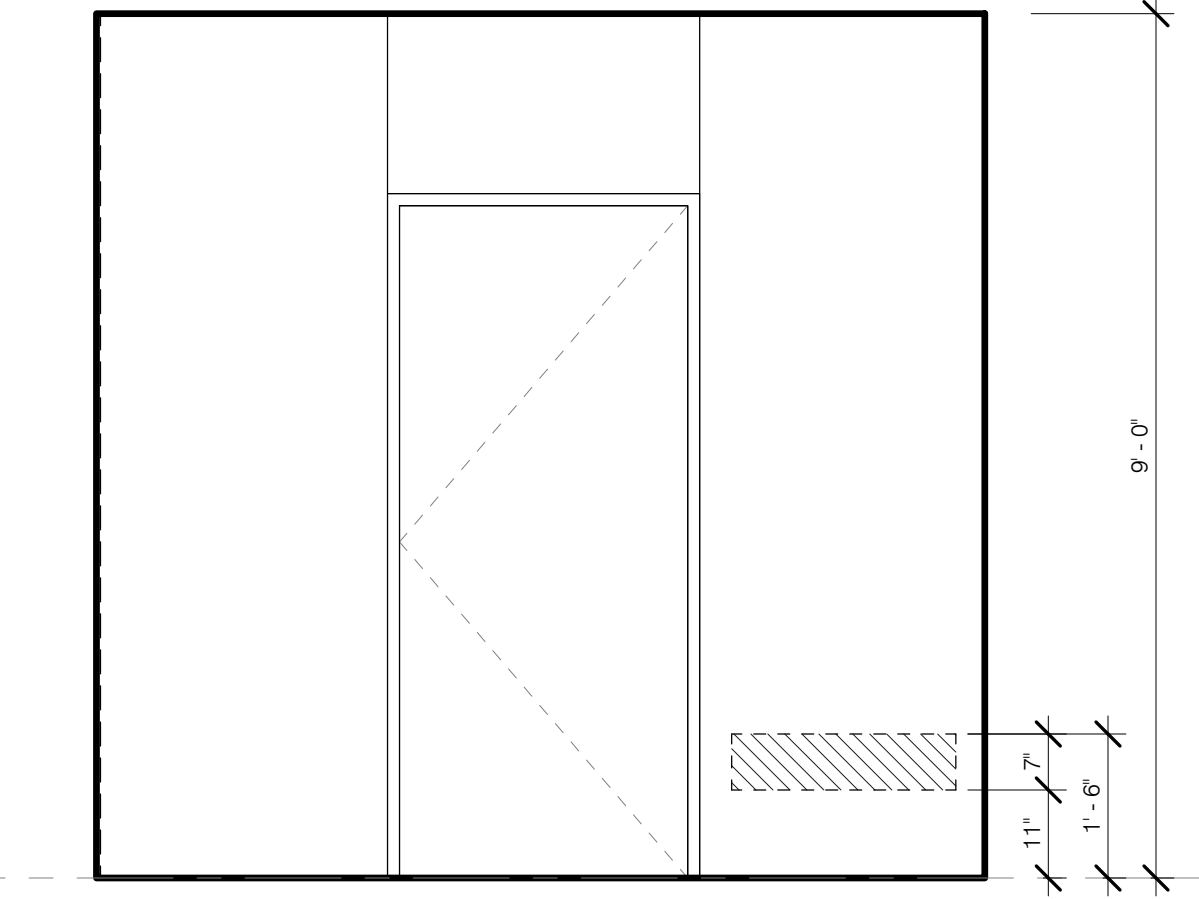
BATH TYPE-6 WC SIDE WALL ELEV 1/2" = 1'-0" 07



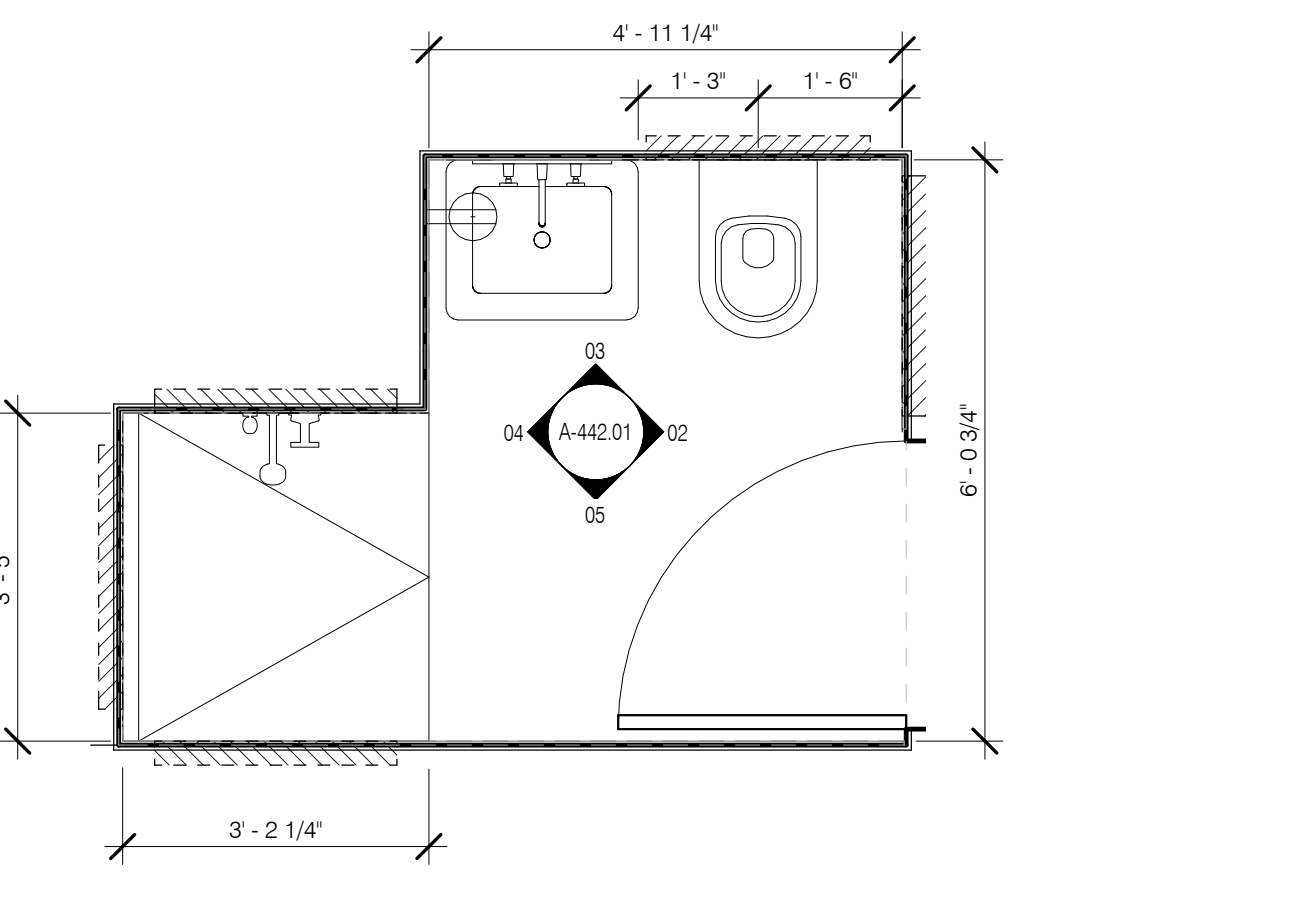
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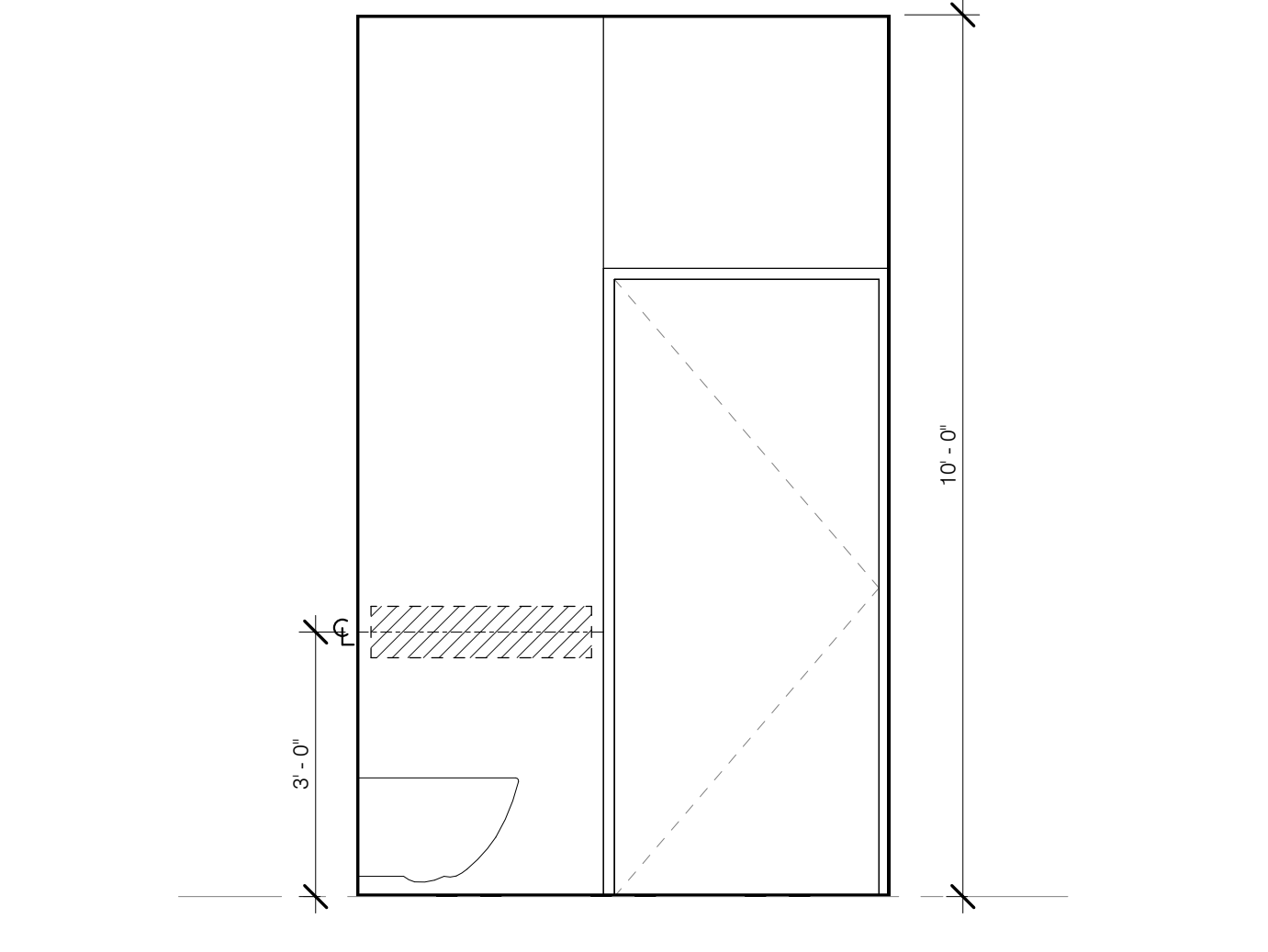
BATH TYPE-6 SHOWER BACK WALL ELEV 1/2" = 1'-0" 09



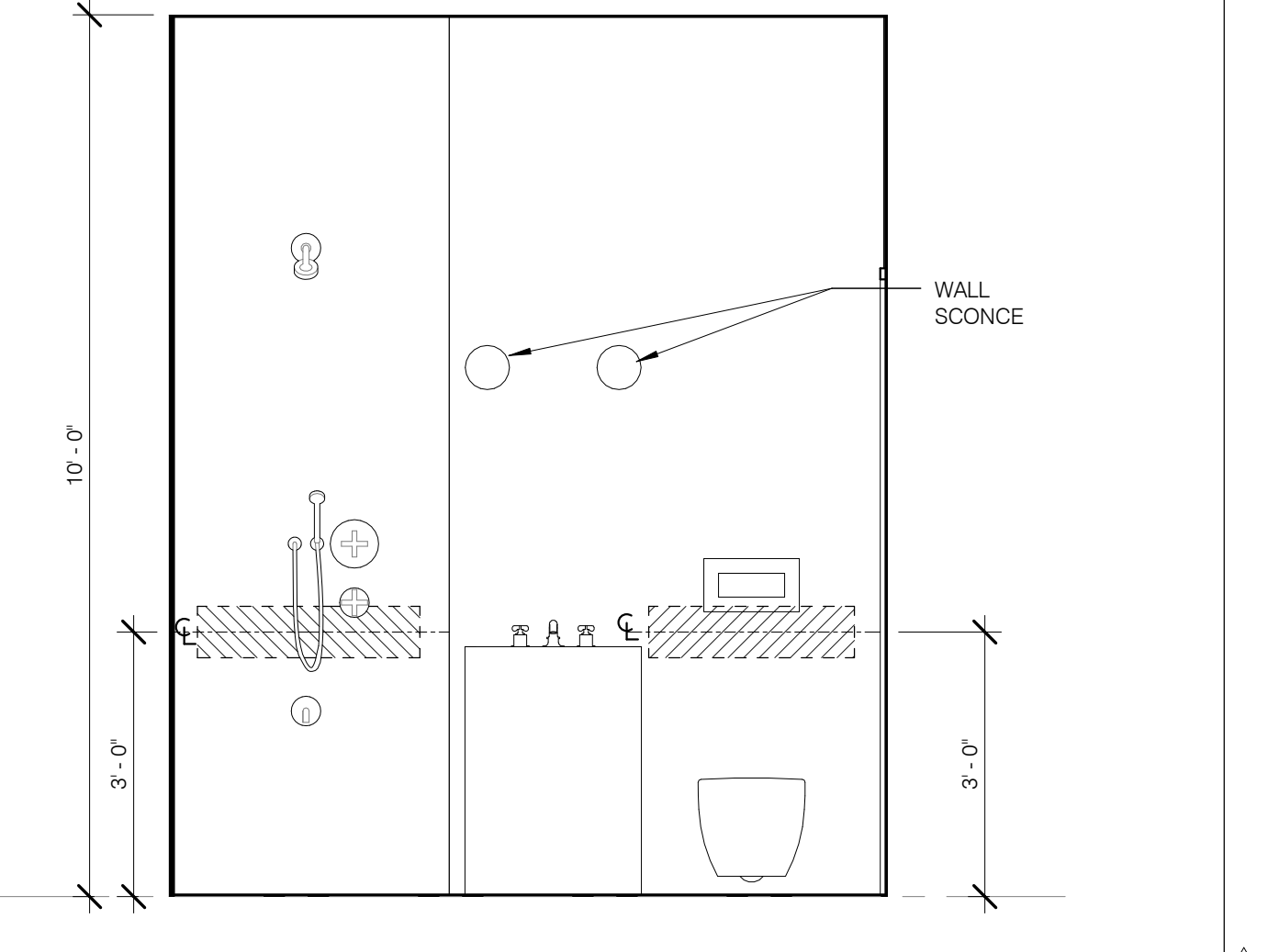
BATH TYPE-6 SHOWER SEAT WALL ELEV 1/2" = 1'-0" 10



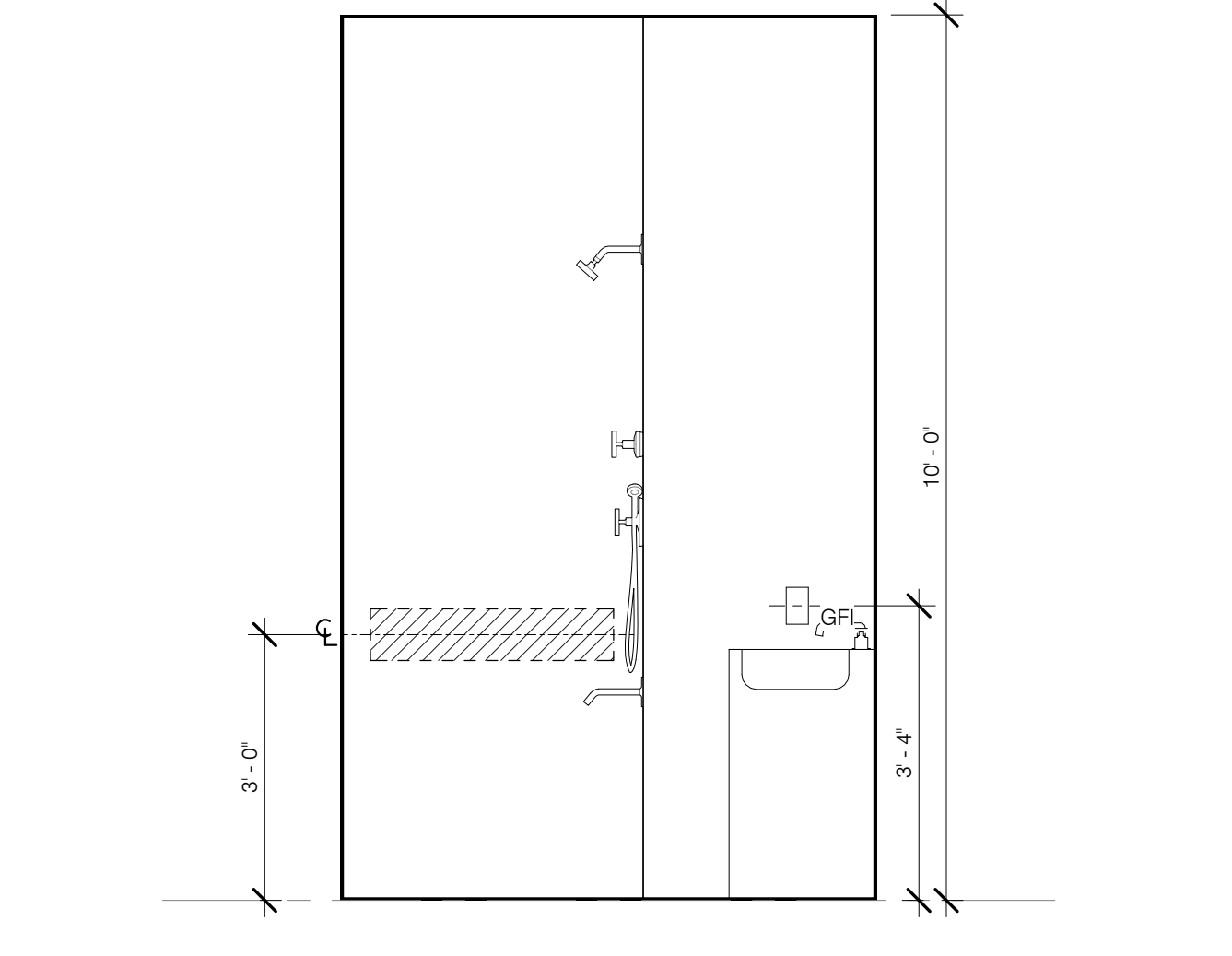
BATH TYPE-5 PLAN 1/2" = 1'-0" 01



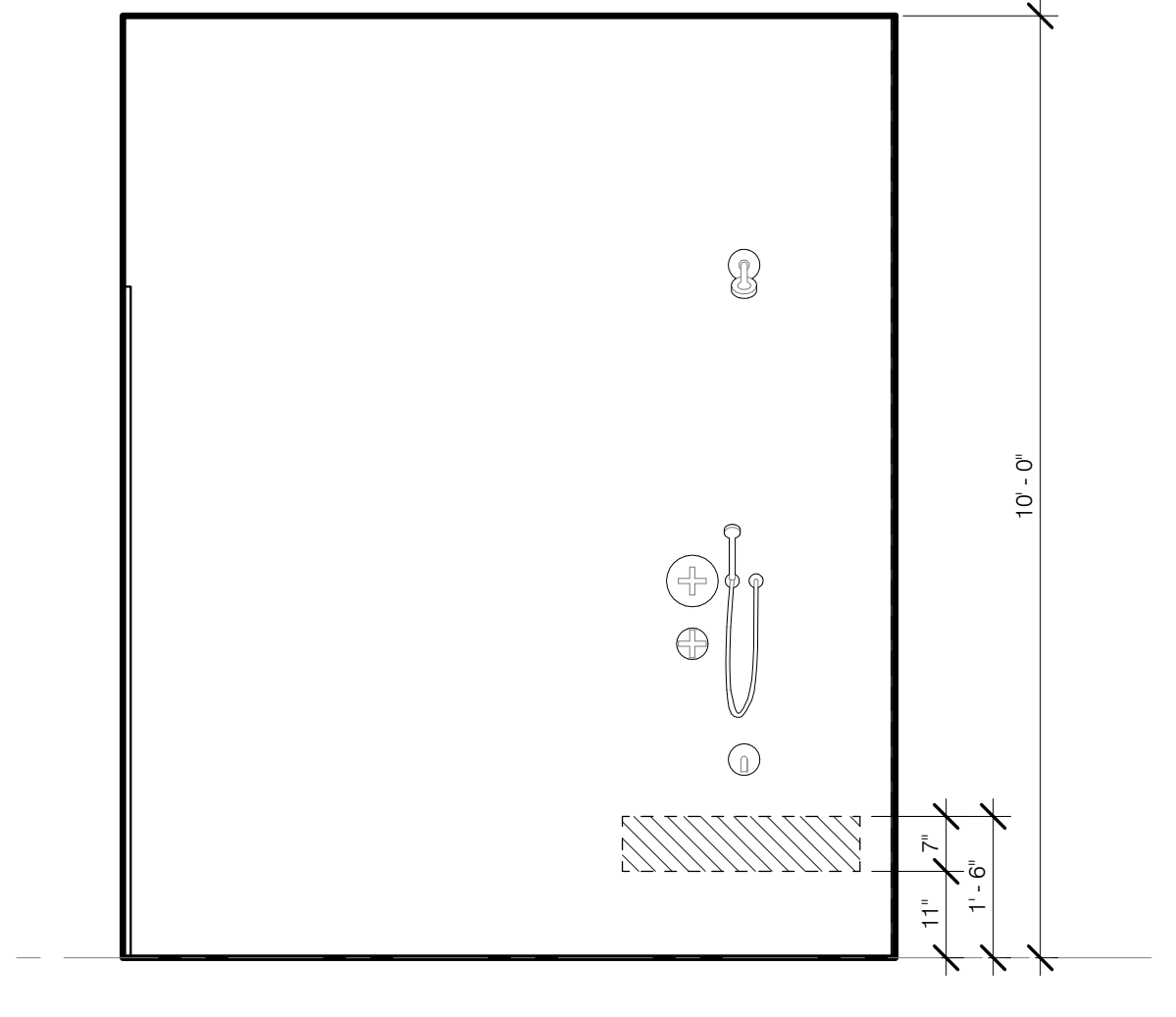
BATH TYPE-5 WC SIDE WALL ELEV 1/2" = 1'-0" 02



BATH TYPE-5 REAR WALL ELEV 1/2" = 1'-0" 03



BATH TYPE-5 SHOWER SIDE WALL ELEV 1/2" = 1'-0" 04



BATH TYPE-5 SHOWER SEAT WALL ELEV 1/2" = 1'-0" 05

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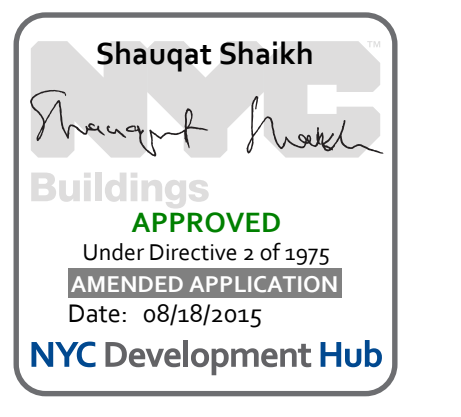
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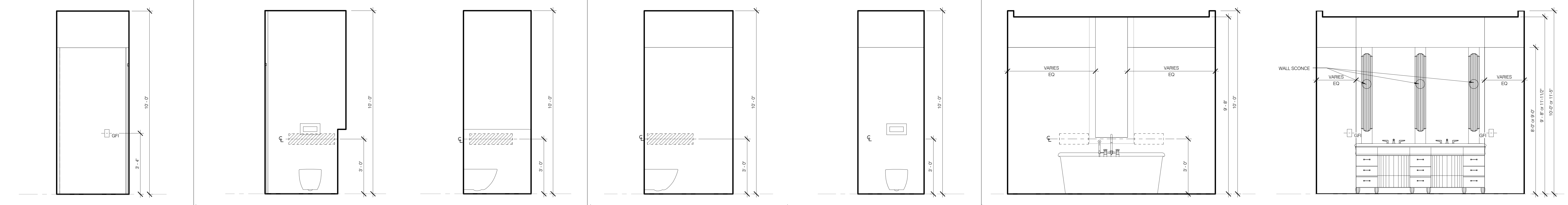


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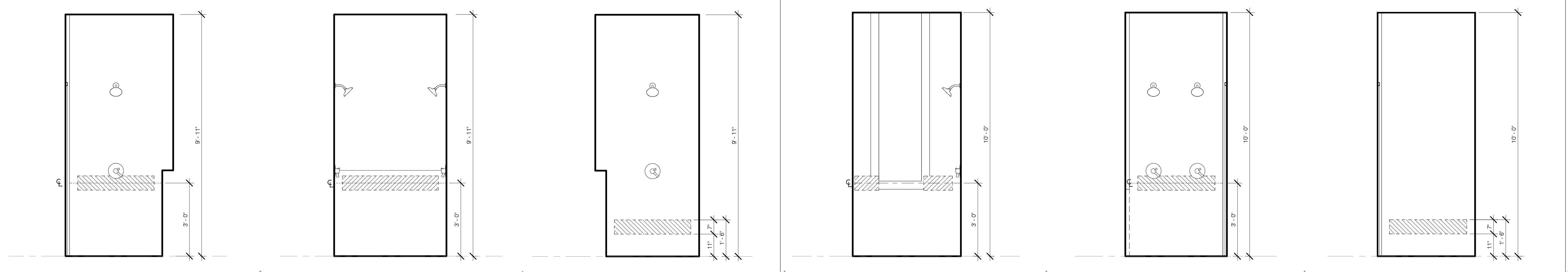
DRAWN/TITLE  
**BATHROOMS - TOWER ENLARGED PLANS AND ELEVATION**

SEAL & SIGNATURE	DATE	13.27.15
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CHECKED BY	SHAP	
DOB NO.	121332968	
DRAWING NUMBER		

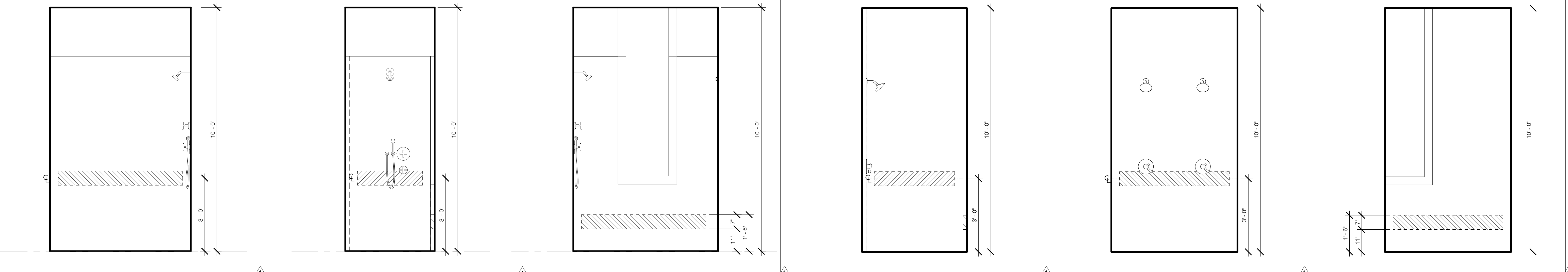
**A-443.01**



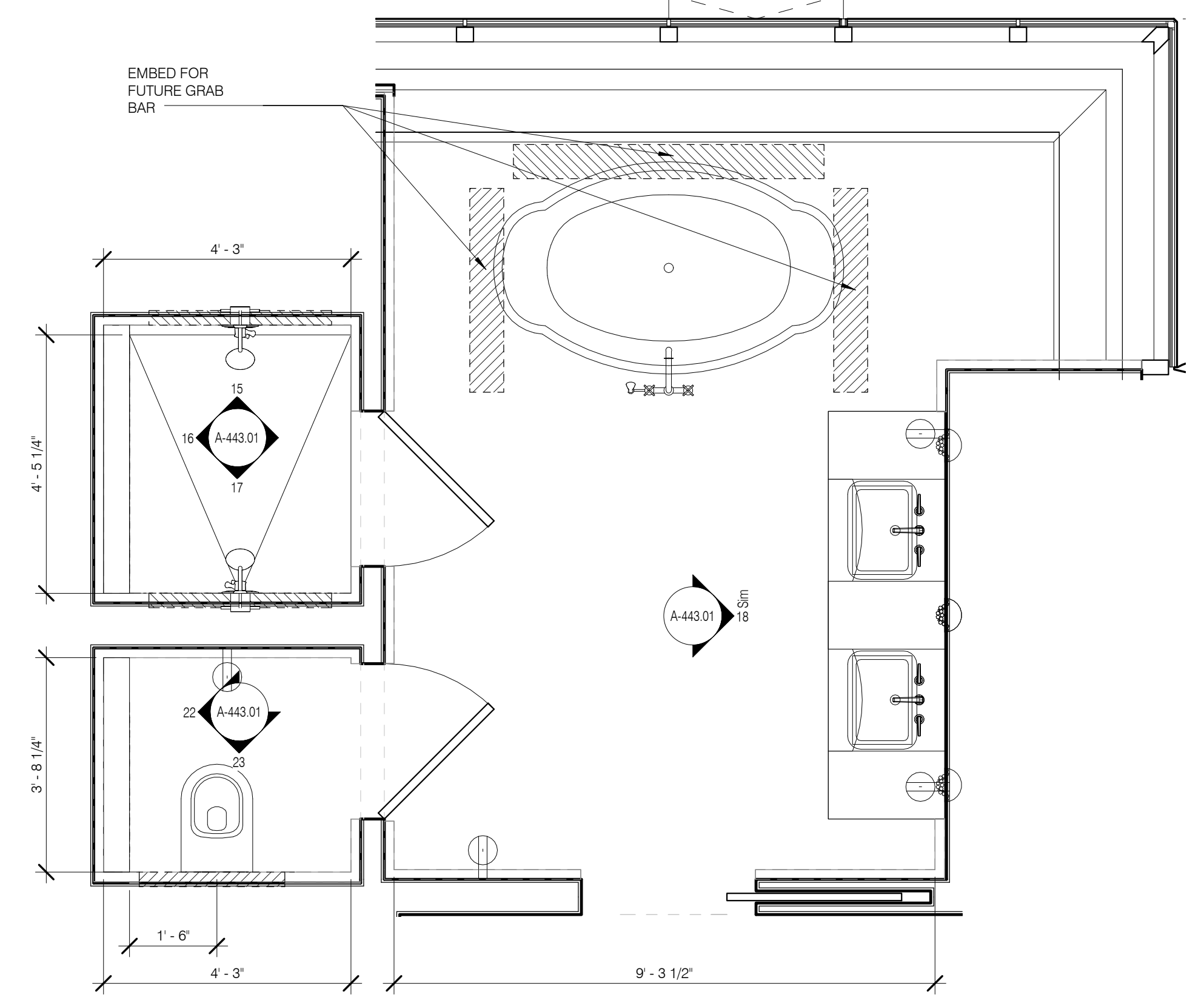
MB TYP GFI 1/2" = 1'-0" 24  
 MB-5 WC REAR WALL W/ LEDGE 1/2" = 1'-0" 23  
 MB-5 WC SIDE WALL W/ LEDGE 1/2" = 1'-0" 22  
 TYP. MASTER WC SIDE ELEV 1/2" = 1'-0" 21  
 TYP. MASTER WC FRONT ELEV 1/2" = 1'-0" 20  
 TYPICAL MASTER TUB ELEVATION 1/2" = 1'-0" 19  
 TYPICAL MASTER SINK ELEVATION 1/2" = 1'-0" 18



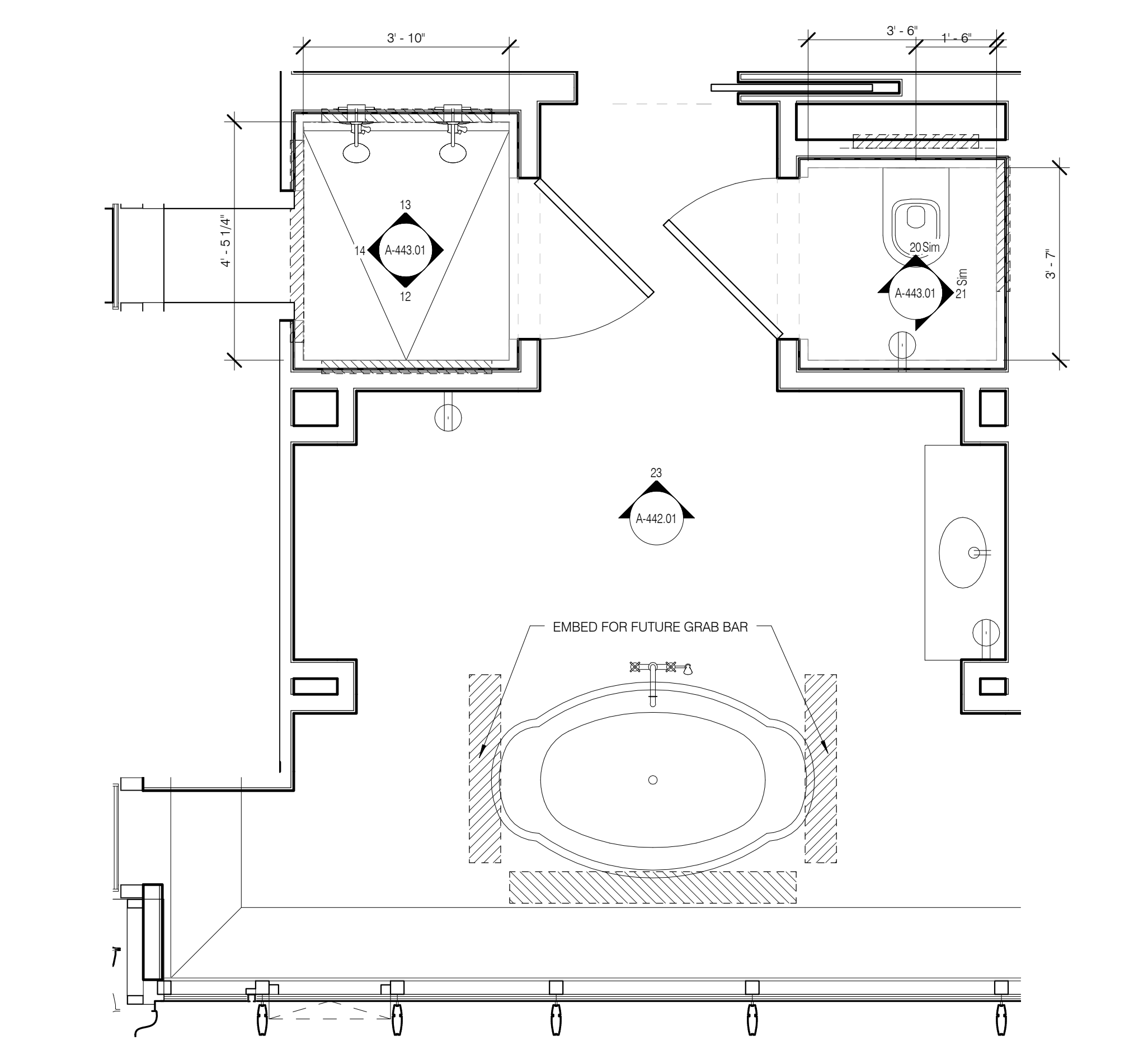
MB-5 SHOWER W/ LEDGE 1/2" = 1'-0" 17  
 MB-5 SHOWER SIDE WALL 1/2" = 1'-0" 16  
 MB-5 CONTROL WALL W/ LEDGE 1/2" = 1'-0" 15  
 MB-4 SIDE WALL W/ WINDOW 1/2" = 1'-0" 14  
 MB-4 SHOWER CONTROL 1/2" = 1'-0" 13  
 MB-4 SHOWER SEAT WALL 1/2" = 1'-0" 12



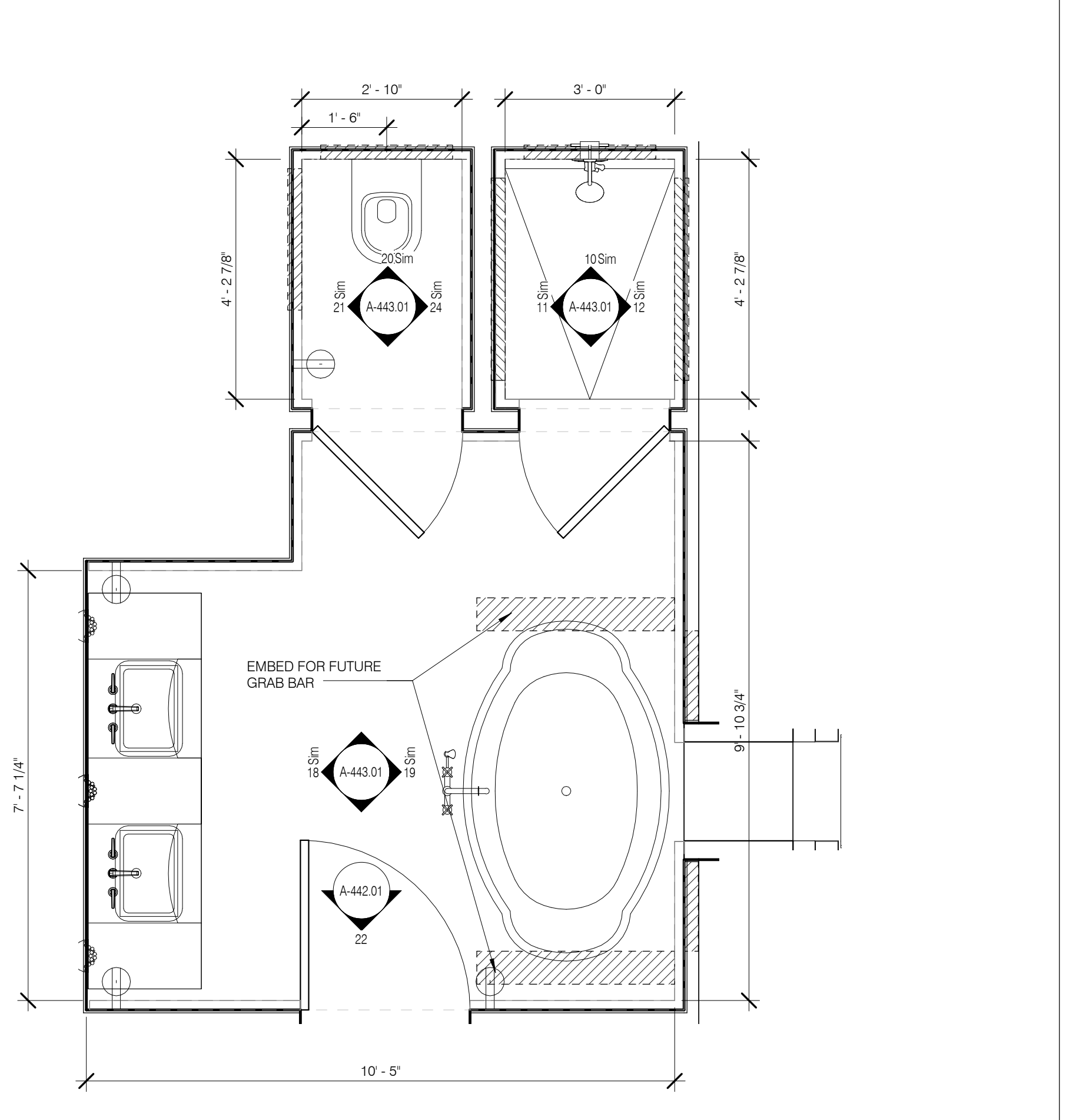
MB-2 SHOWER SIDE ELEV 1/2" = 1'-0" 11  
 MB-2 SHOWER CONTROL ELEV 1/2" = 1'-0" 10  
 MB-2 SHOWER E 1/2" = 1'-0" 09  
 MB-1 SHOWER SIDE ELEV 1/2" = 1'-0" 08  
 MB-1 SHOWER CONTROL ELEV 1/2" = 1'-0" 07  
 MB-1 SHOWER SEAT WALL 1/2" = 1'-0" 06



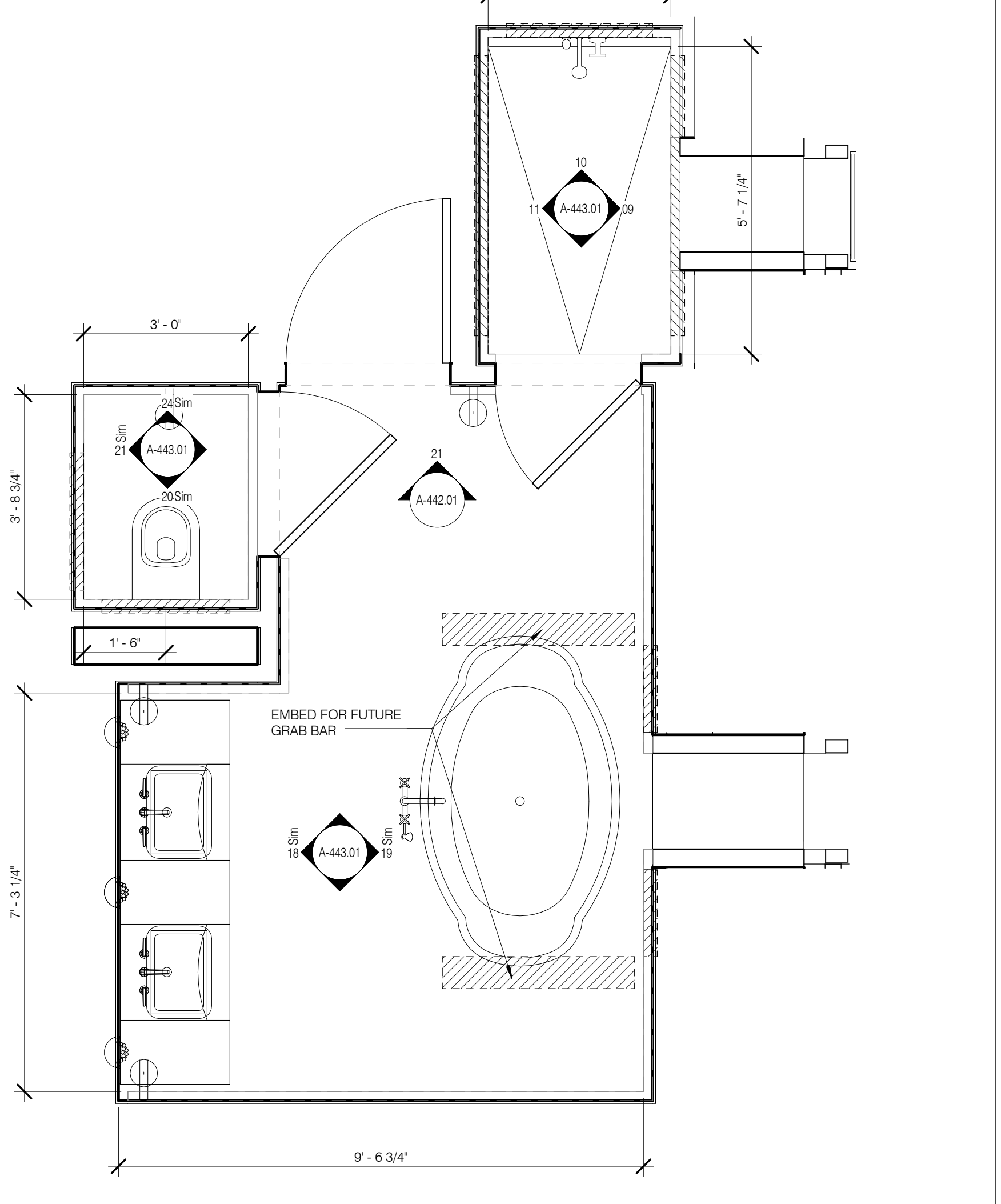
MB-5 MASTER BATH PLAN 1/2" = 1'-0" 05



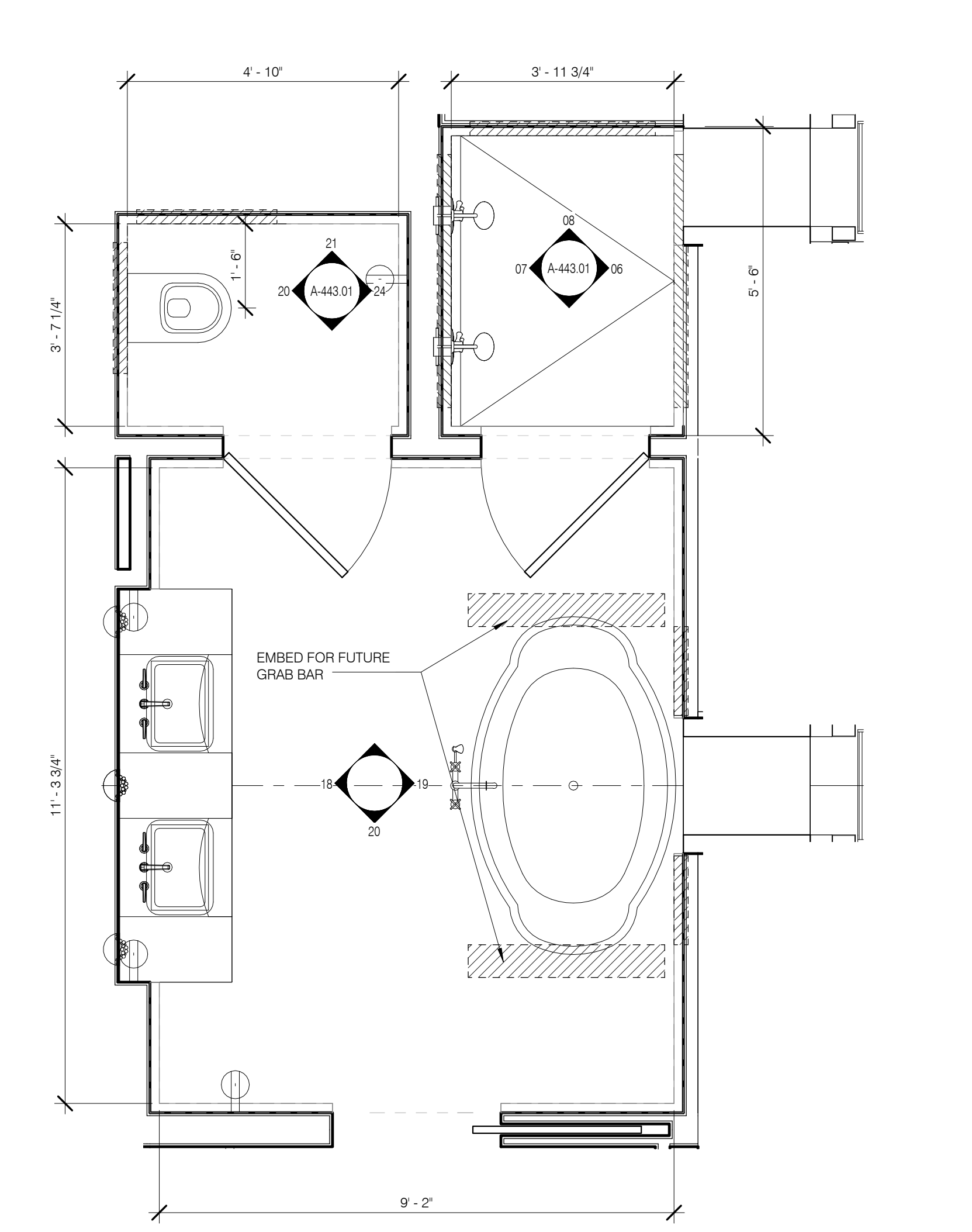
MB-4 MASTER BATH PLAN (T2B.2) 1/2" = 1'-0" 04



MB-3 BATH PLAN (T2B.1) 1/2" = 1'-0" 03



MB-2 MASTER BATH PLAN 1/2" = 1'-0" 02



TYPICAL MASTER BATH 1/2" = 1'-0" 01

**KITCHEN TYPES BY UNIT - TOWER**

UNIT TYPE	FLOOR	RM NUMBER	RM NAME
K-1			
T1A	LEVEL 24	2401.J	KITCHEN (K-1)
K-2			
T1B	LEVEL 29	2901.H	KITCHEN (K-2)
K-3			
T1C	LEVEL 36	3601.A	KITCHEN (K-3)
T3	LEVEL 69	6901.A	KITCHEN (K-3)
K-4			
T2A	LEVEL 46	4601.H	KITCHEN (K-4)
K-5			
T2B	LEVEL 64	6401.G	KITCHEN (K-5)
K-6			
T4	LEVEL 66	6601.G	KITCHEN (K-6)
K-7			
T5	LEVEL 72	7201.B	KITCHEN (K-7)
K-8			
T6A	LEVEL 74	7401.C	KITCHEN (K-8)
T6B	LEVEL 76	7601.B	KITCHEN (K-8)

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TEL: 212.253.1000

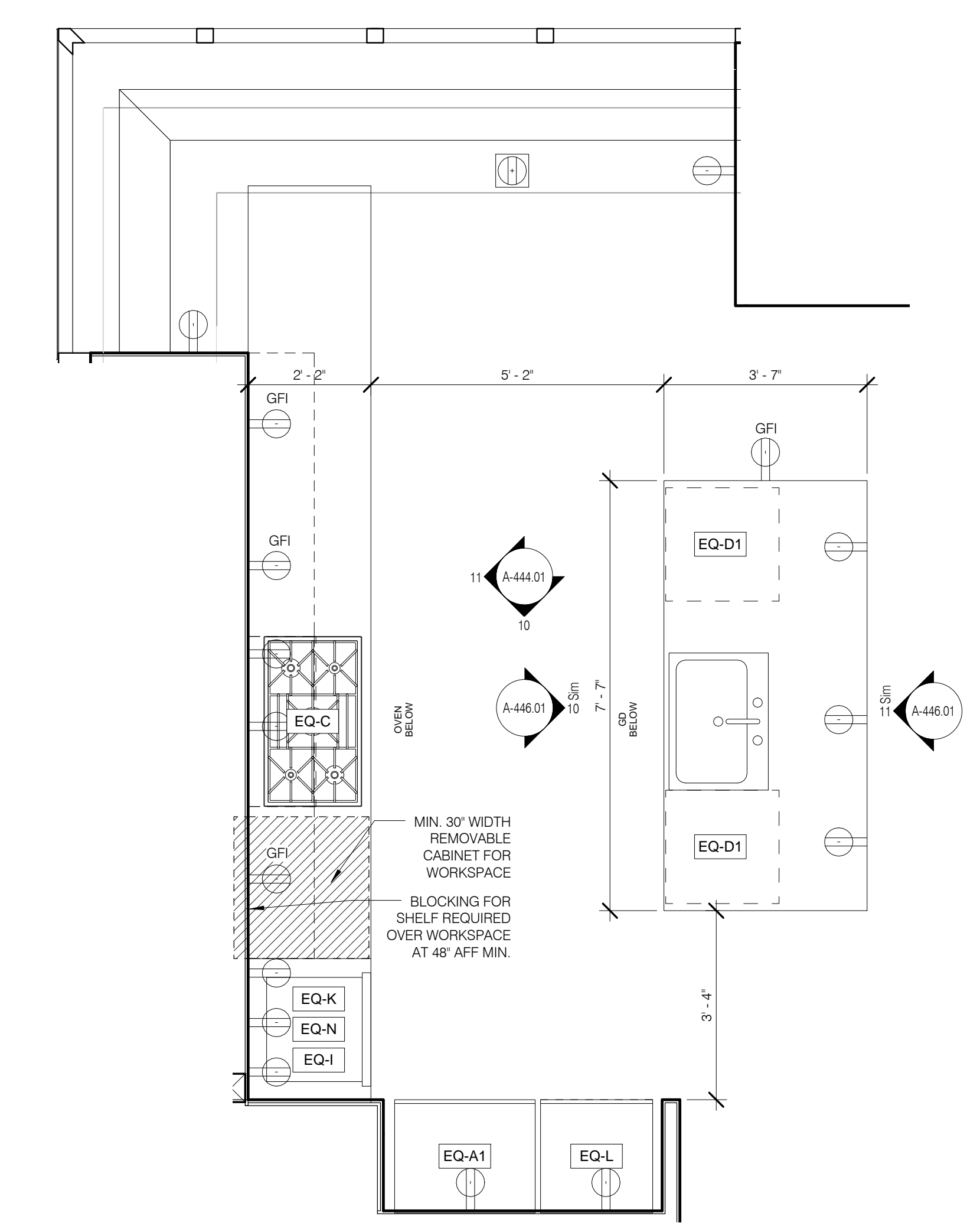
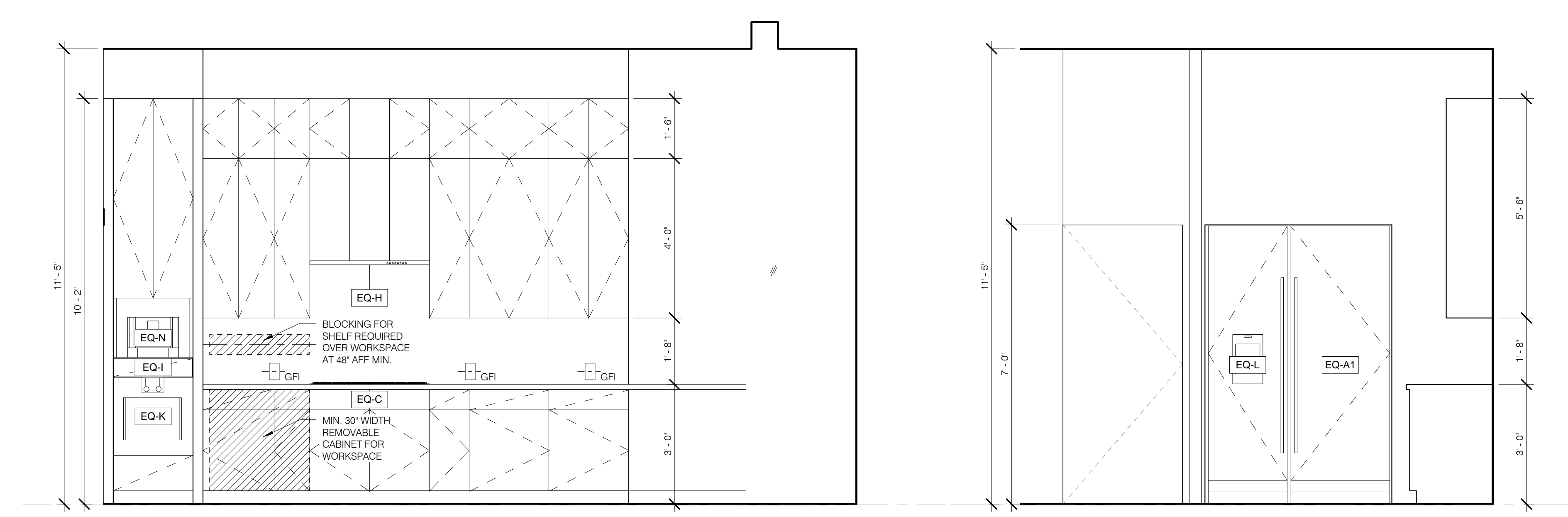
**FAÇADE**  
BURD HAPPOOLD  
100 BROADWAY  
NEW YORK, NY 10038  
TEL: 212.253.2000

**VERTICAL TRANSPORTATION**  
VAN DEREN & ASSOCIATES  
1 REGENT STREET, SUITE 604  
LONDON SW1R 4EJ  
TEL: 011 44 20 762 4000

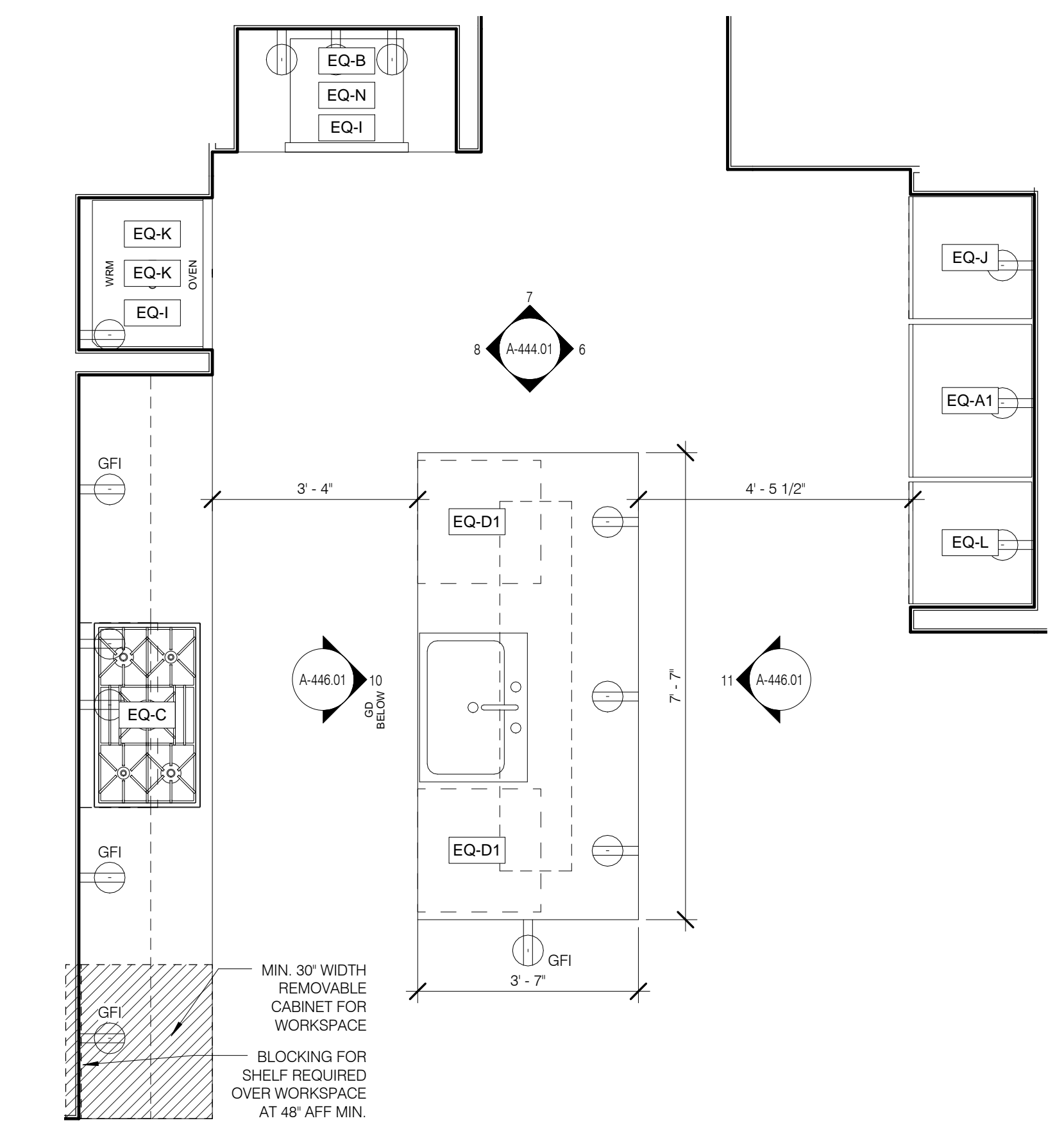
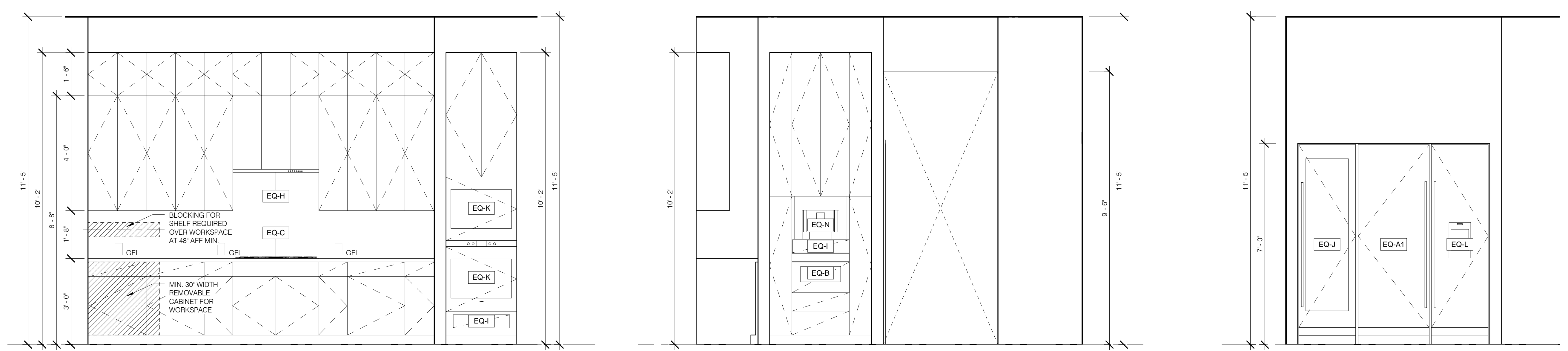
**RESTORATION**  
JAN FINE FORMWORK ASSOCIATES  
100 WEST 39TH STREET, FLOOR 6A  
NEW YORK, NY 10018  
TEL: 212.758.8462

**GEOTECH**  
MKCE  
300 WEST 45TH STREET, 6TH FLOOR  
NEW YORK, NY 10036-0000  
TEL: 212.258.8400

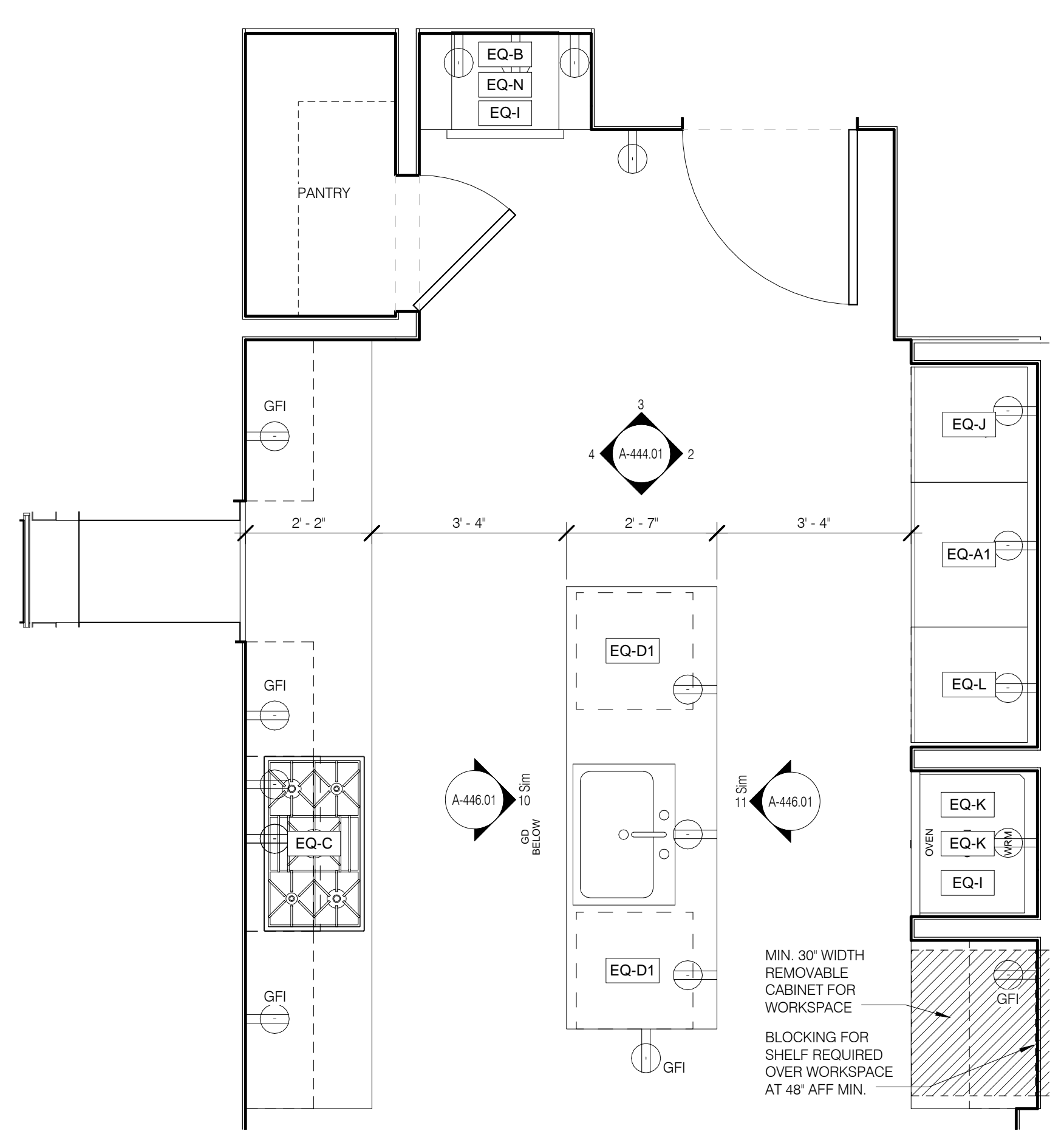
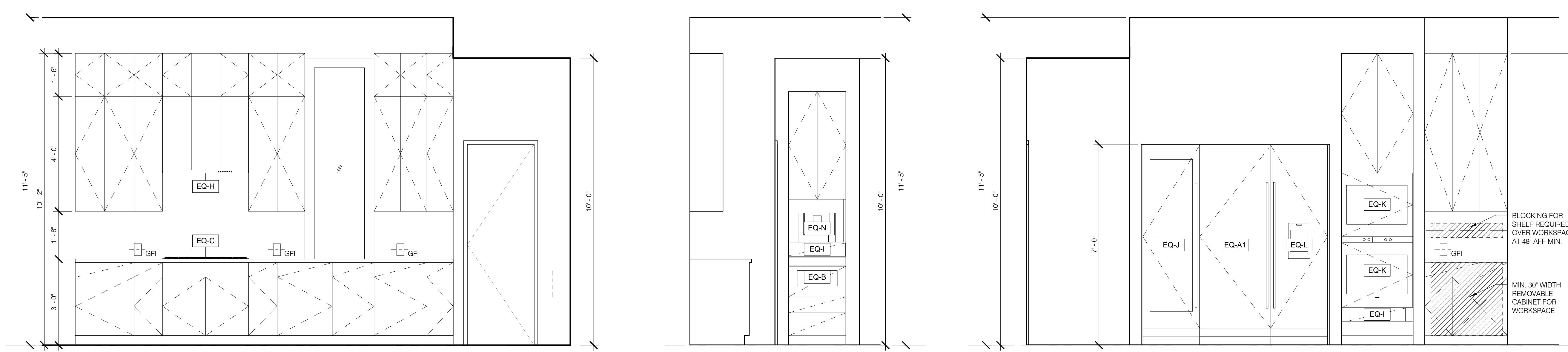
**LIGHTING**  
LOBBERFATORE INTERNATIONAL  
100 WEST 39TH STREET, 7TH FLOOR EAST  
NEW YORK, NY 10018  
TEL: 212.253.4463



K-3 W ELEV 1/2" = 1'-0" 11 A-444.01  
K-3 S ELEV 1/2" = 1'-0" 10 A-444.01  
K-3 PLAN 1/2" = 1'-0" 9 A-444.01



K-2 W ELEV 1/2" = 1'-0" 8 A-444.01  
K-2 N ELEV 1/2" = 1'-0" 7 A-444.01  
K-2 E ELEV 1/2" = 1'-0" 6 A-444.01  
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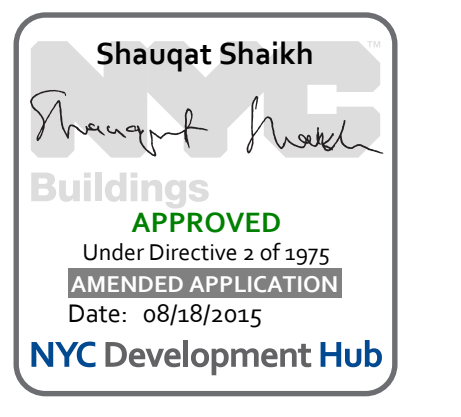


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K-1 N ELEV 1/2" = 1'-0" 3 A-444.01  
K-1 E ELEV 1/2" = 1'-0" 2 A-444.01  
K-1 PLAN 1/2" = 1'-0" 1 A-444.01

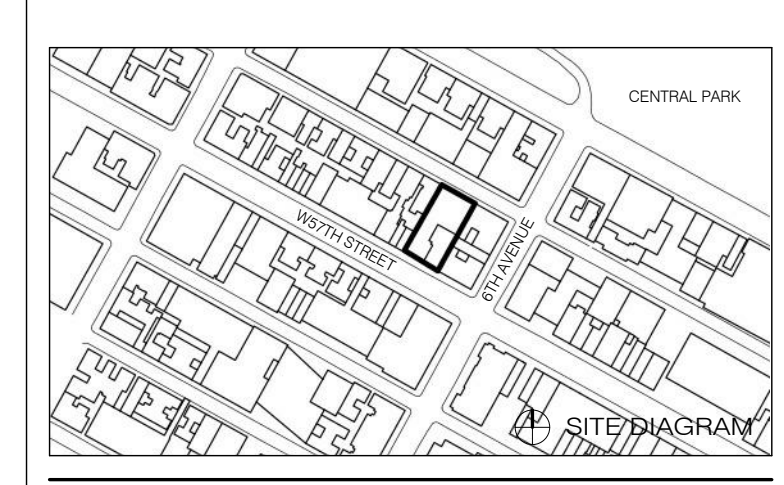


**PRIORITY MARKETS GROUP**  
1540 4TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
TEL: 212.610.2800  
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**111 WEST 57TH STREET**  
NEW YORK, NY 10019

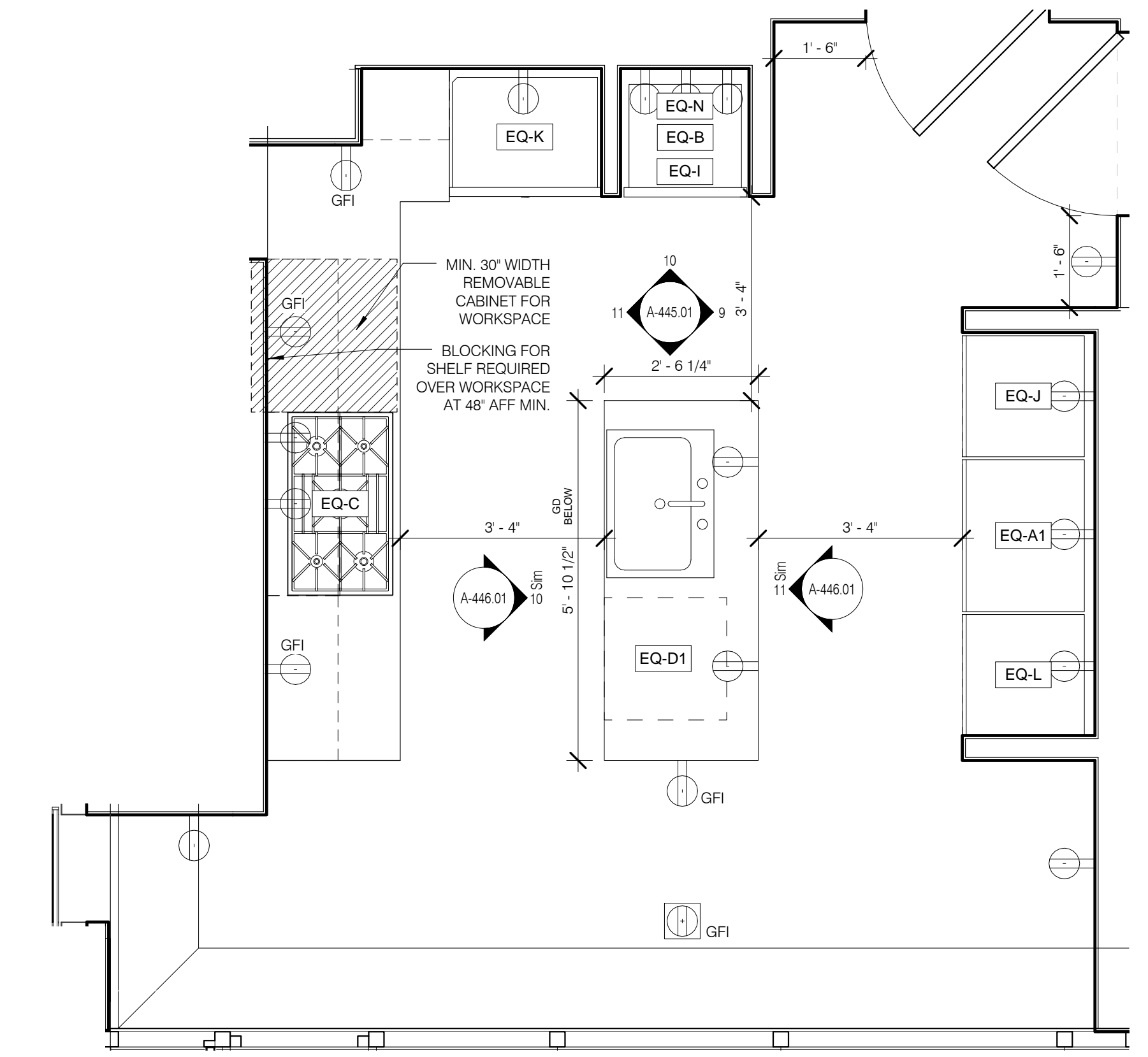
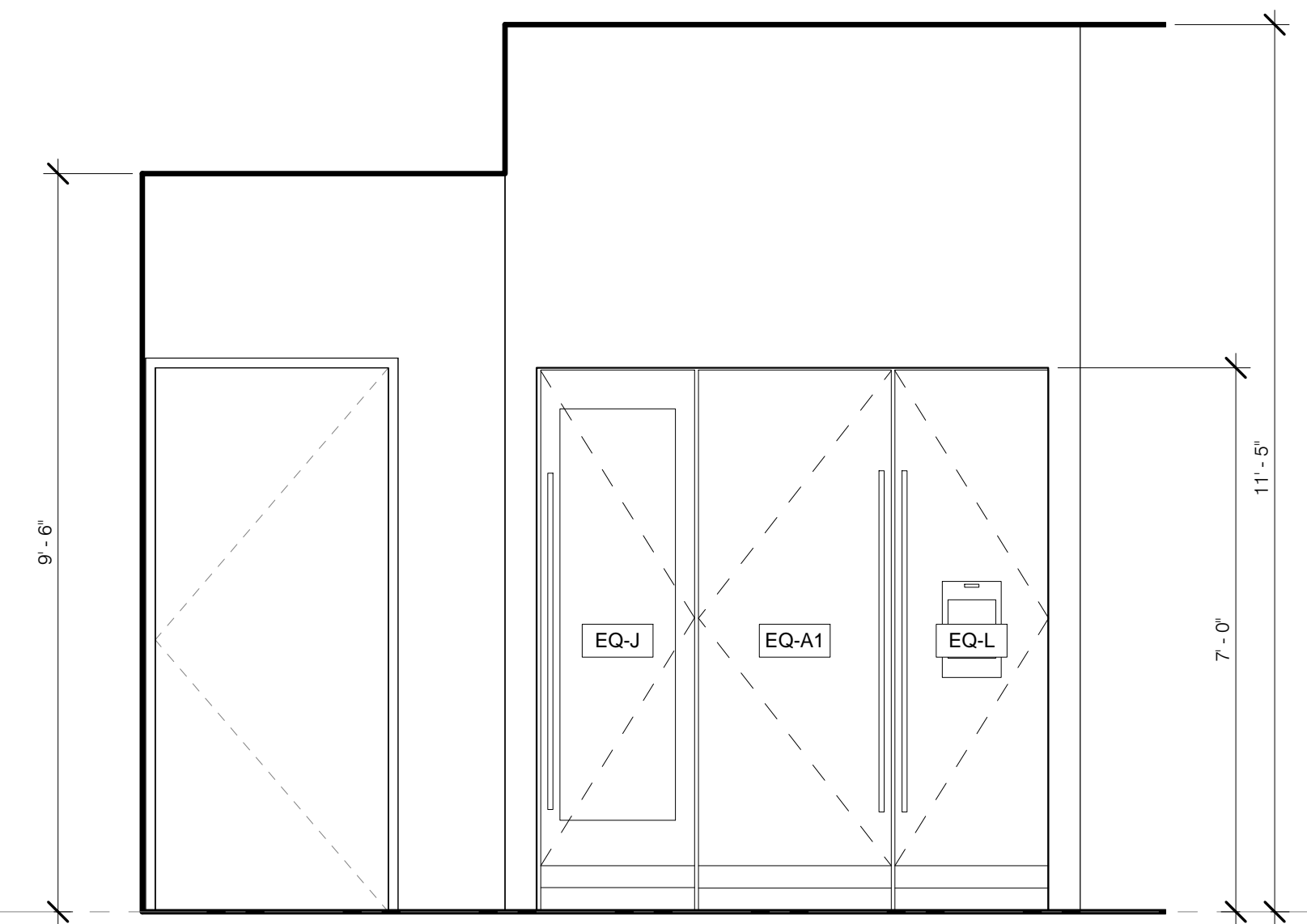
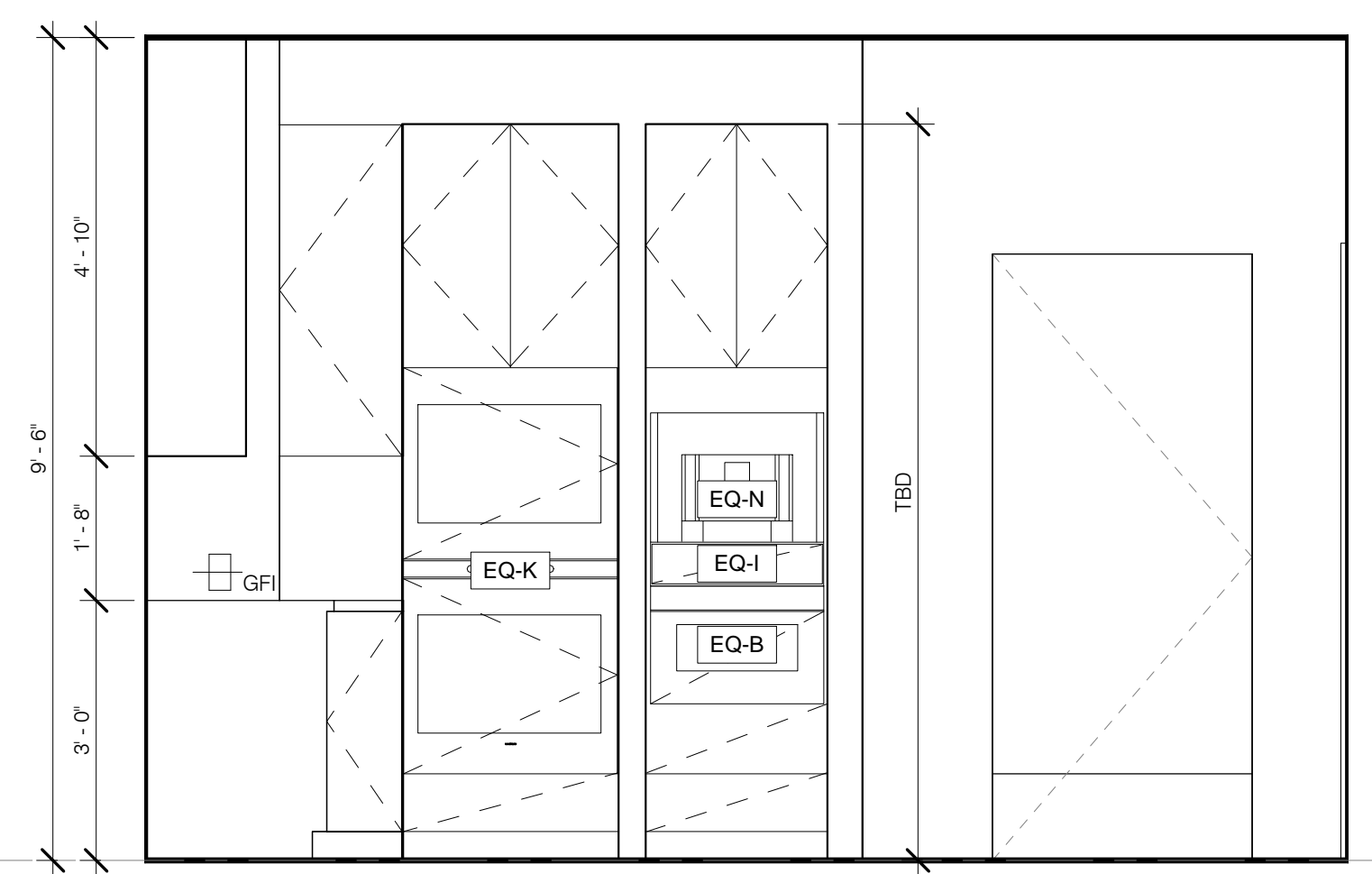
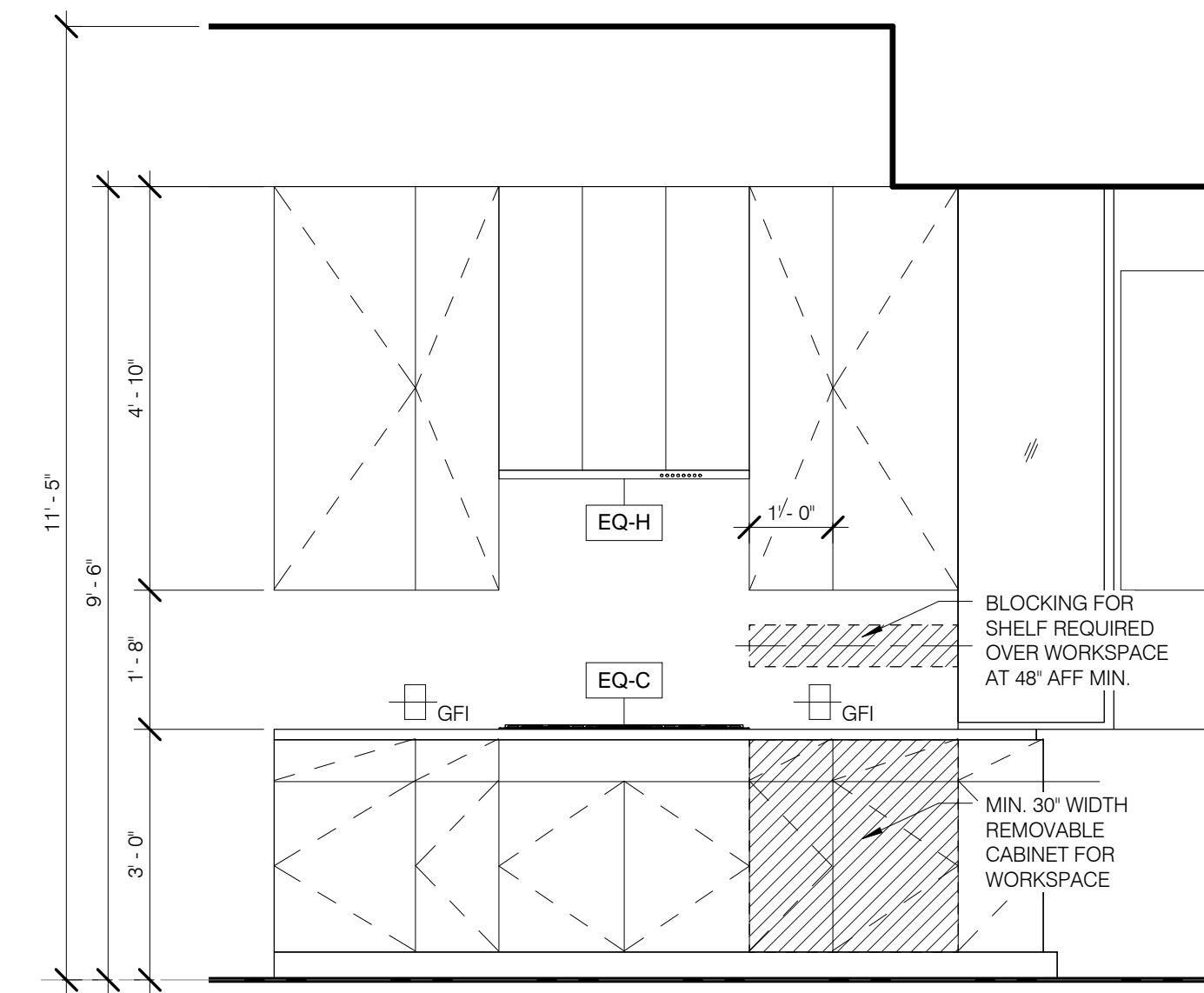


1	3/27/15	DOB PAA
NO.	DATE	REVISION

**KITCHENS - TOWER ENLARGED PLANS AND ELEVATION**

DATE: 3/27/15  
PROJECT NO: 130007  
DRAWN BY: SHIP  
CHECKED BY: SHIP  
SCALE: 1/2" = 1'-0"  
DRAWING NUMBER: A-444.01

ARCHITECT	SHAP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 880 3000
STRUCTURAL ENGINEER	YUSUF GANTAWI PARTNERS 235 EAST 47TH STREET NEW YORK, NY 10017 TEL: 212 887 3886
MEP ENGINEER	JORDIS, BALAM & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 880 8000
CIVIL ENGINEER	ARIF ENGINEERING, P.C. 400 WEST 46TH STREET, 7TH FLOOR NEW YORK, NY 10018 TEL: 212 268 2828
ACOUSTICIAN	LONGMAN LINDSEY 40 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 268 3380
INTERIORS	STUDIO SCARFIELD 250 WALKER STREET NEW YORK, NY 10002 TEL: 212 475 3300
FAÇADE	SHUP ARCHITECTS, P.C. 235 BROADWAY, 11TH FLOOR NEW YORK, NY 10007 TEL: 212 880 3000
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 3 WINDING STREET, SUITE 204 LARKSPUR, NJ 07033 TEL: 973 944 4700
RESTORATION	JAN HRO FOKORNY ASSOCIATES 80 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 268 4462
GEOTECH	MTICE 305 WEST 58TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 4000
LIGHTING	CONSERVATIVE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 255 4463

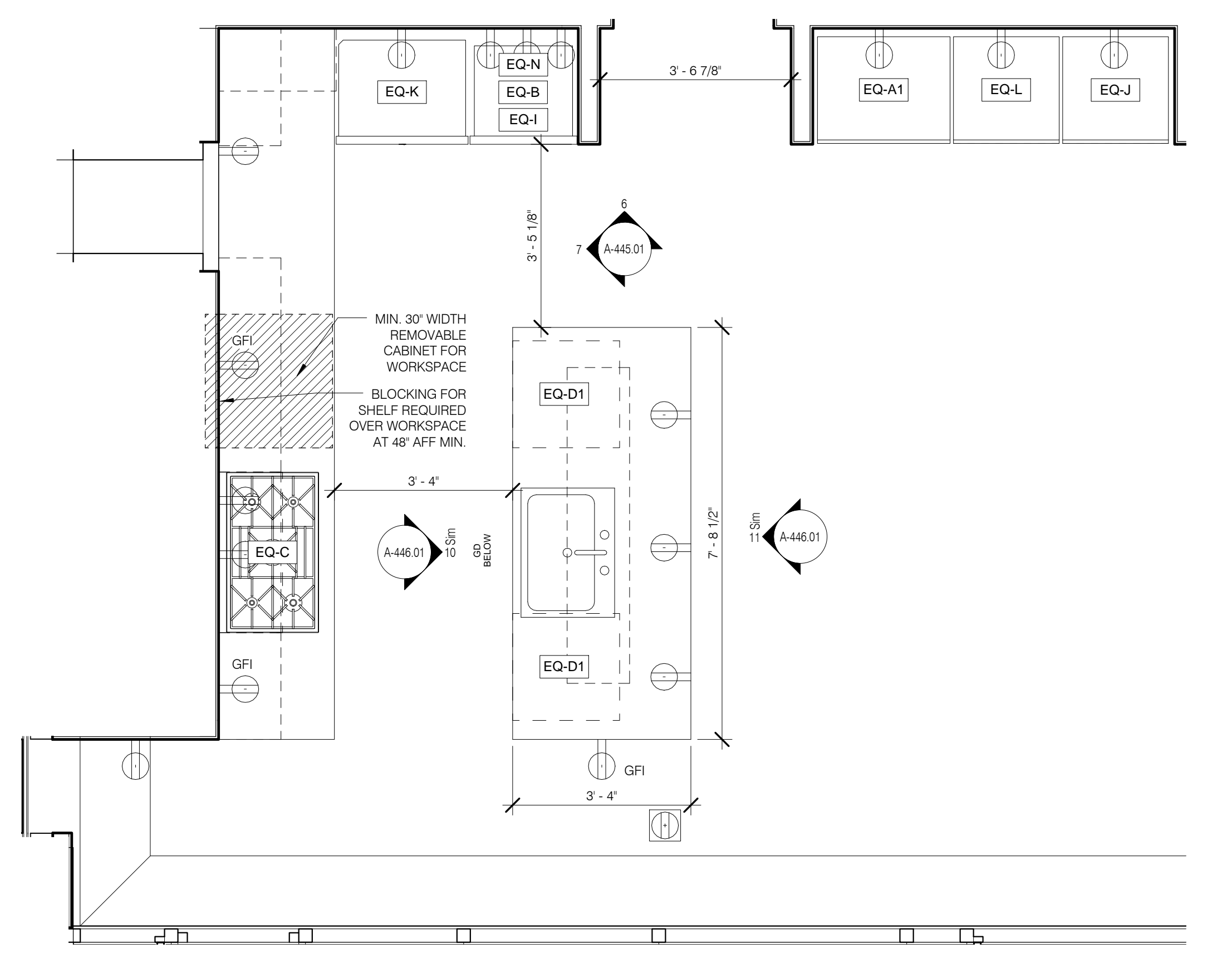
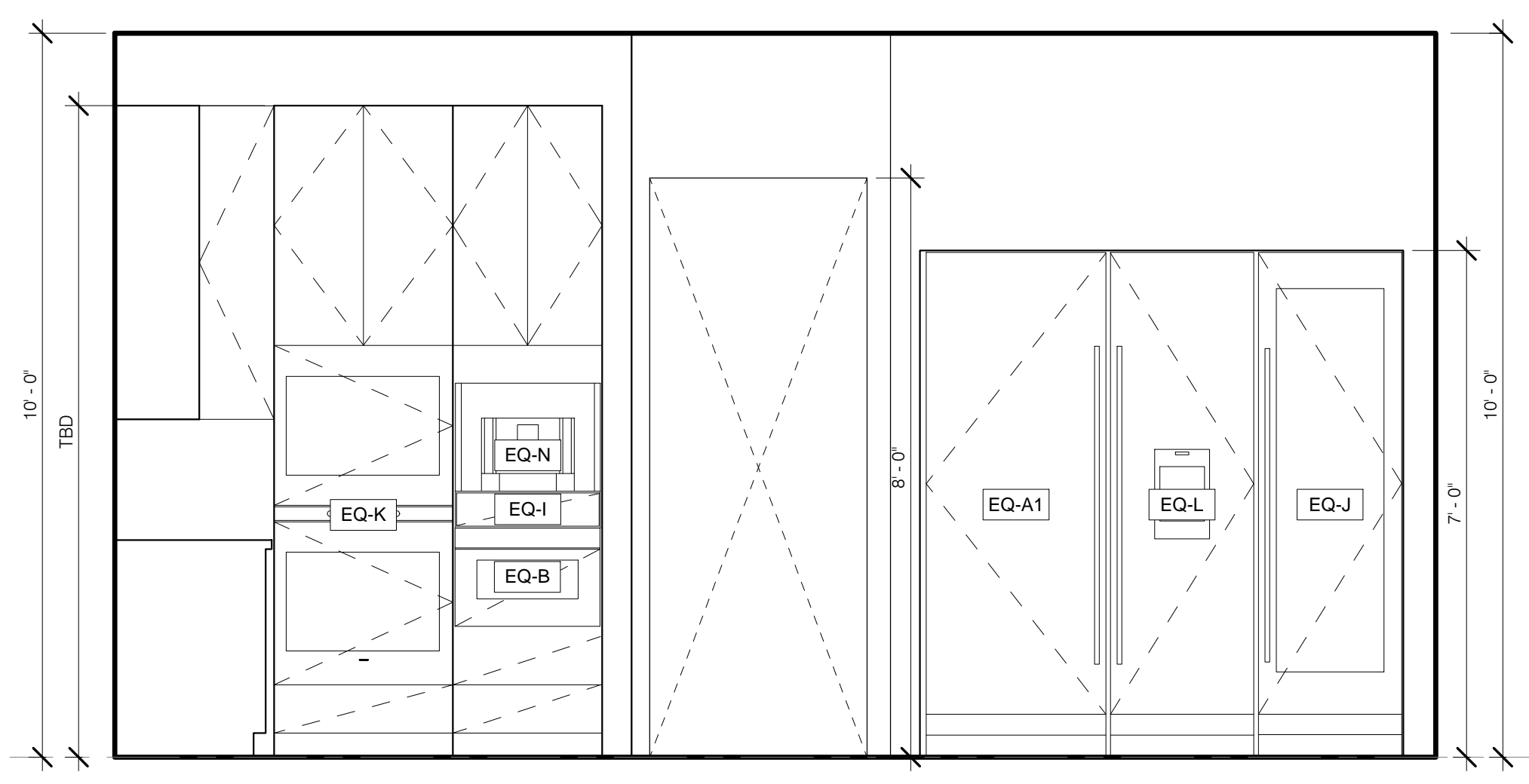
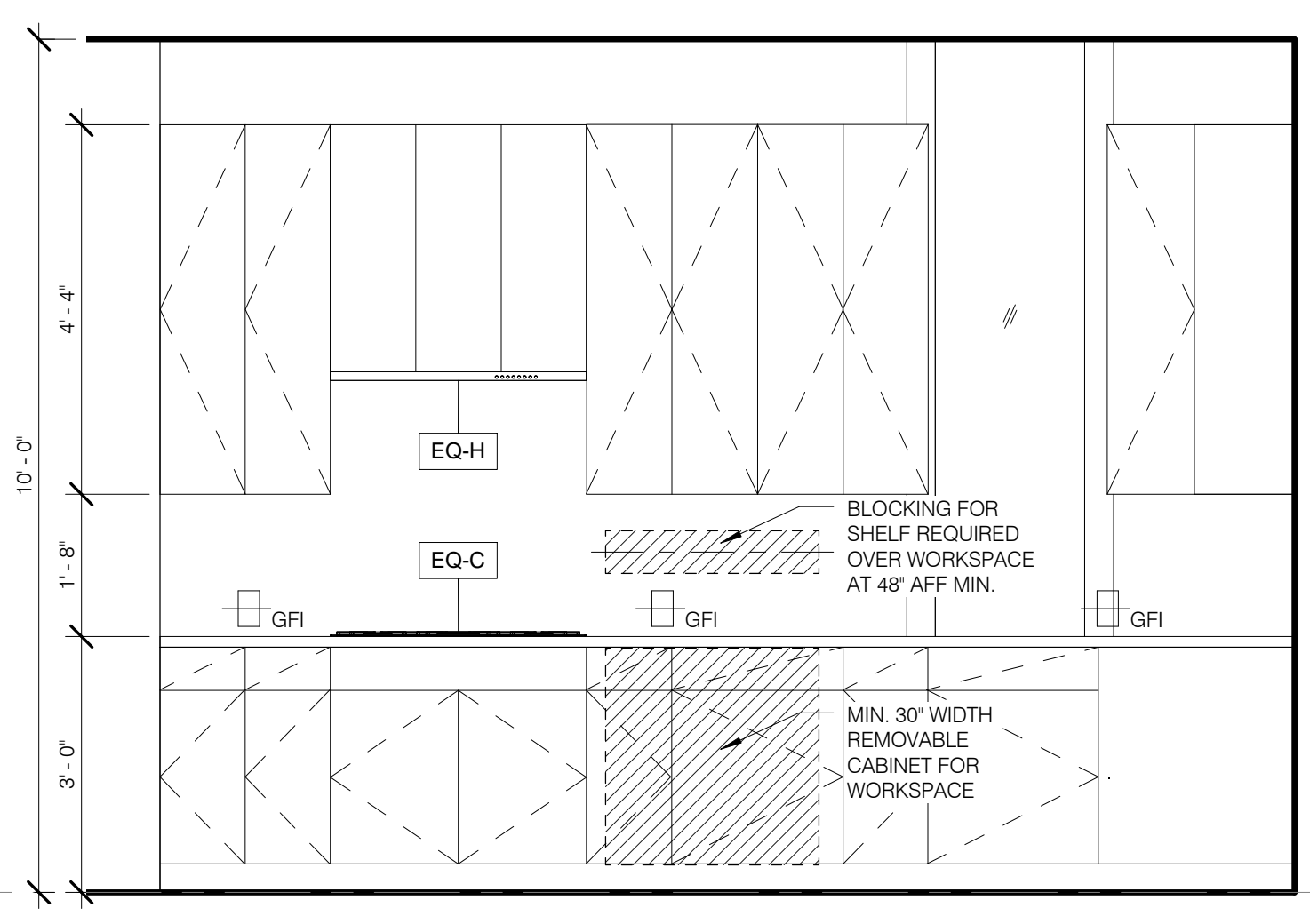


K-6 W ELEV 1/2" = 1'-0" 11 A-445.01

K-6 N ELEV 1/2" = 1'-0" 10 A-445.01

K-5 E ELEV 1/2" = 1'-0" 9 A-445.01

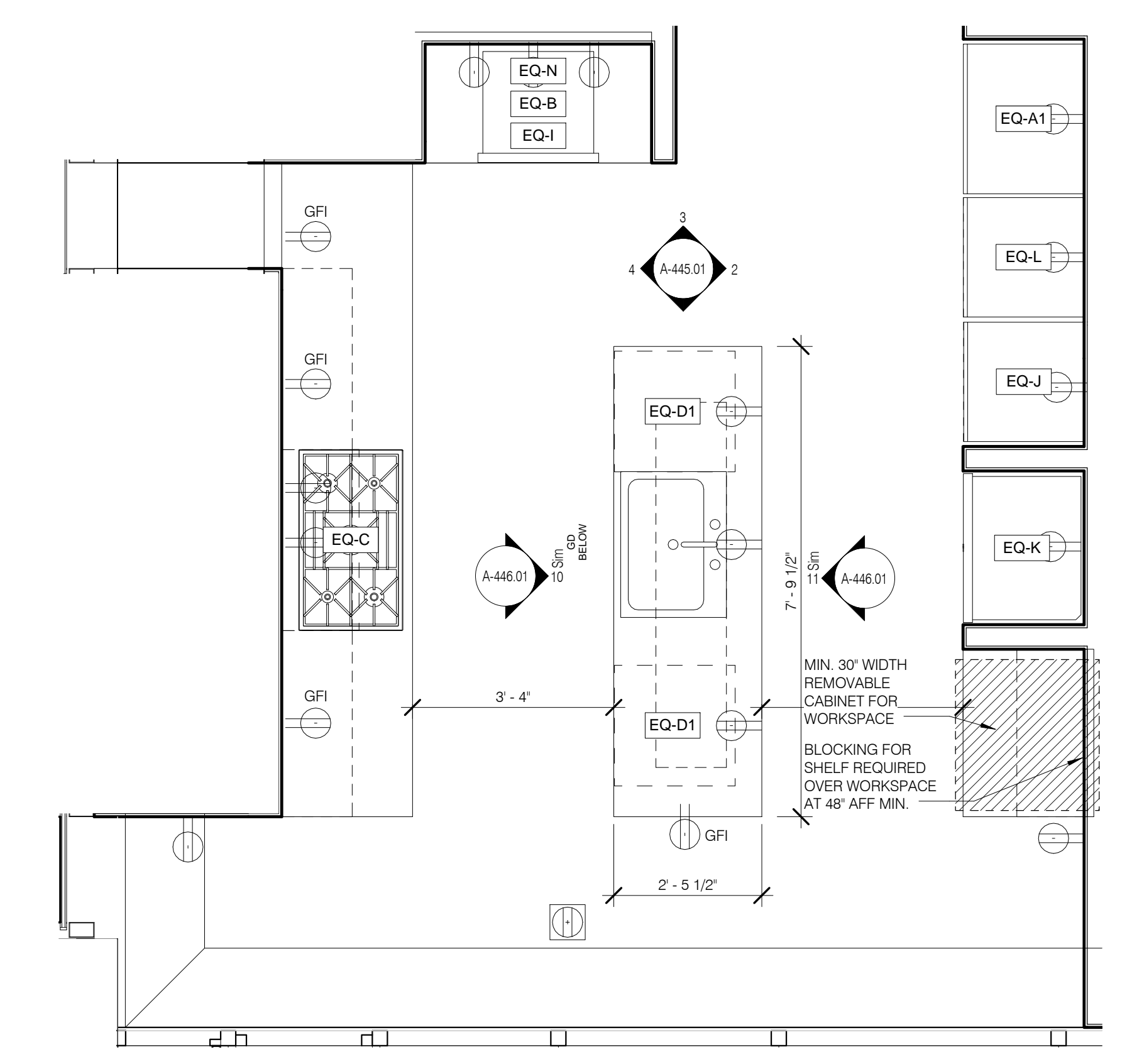
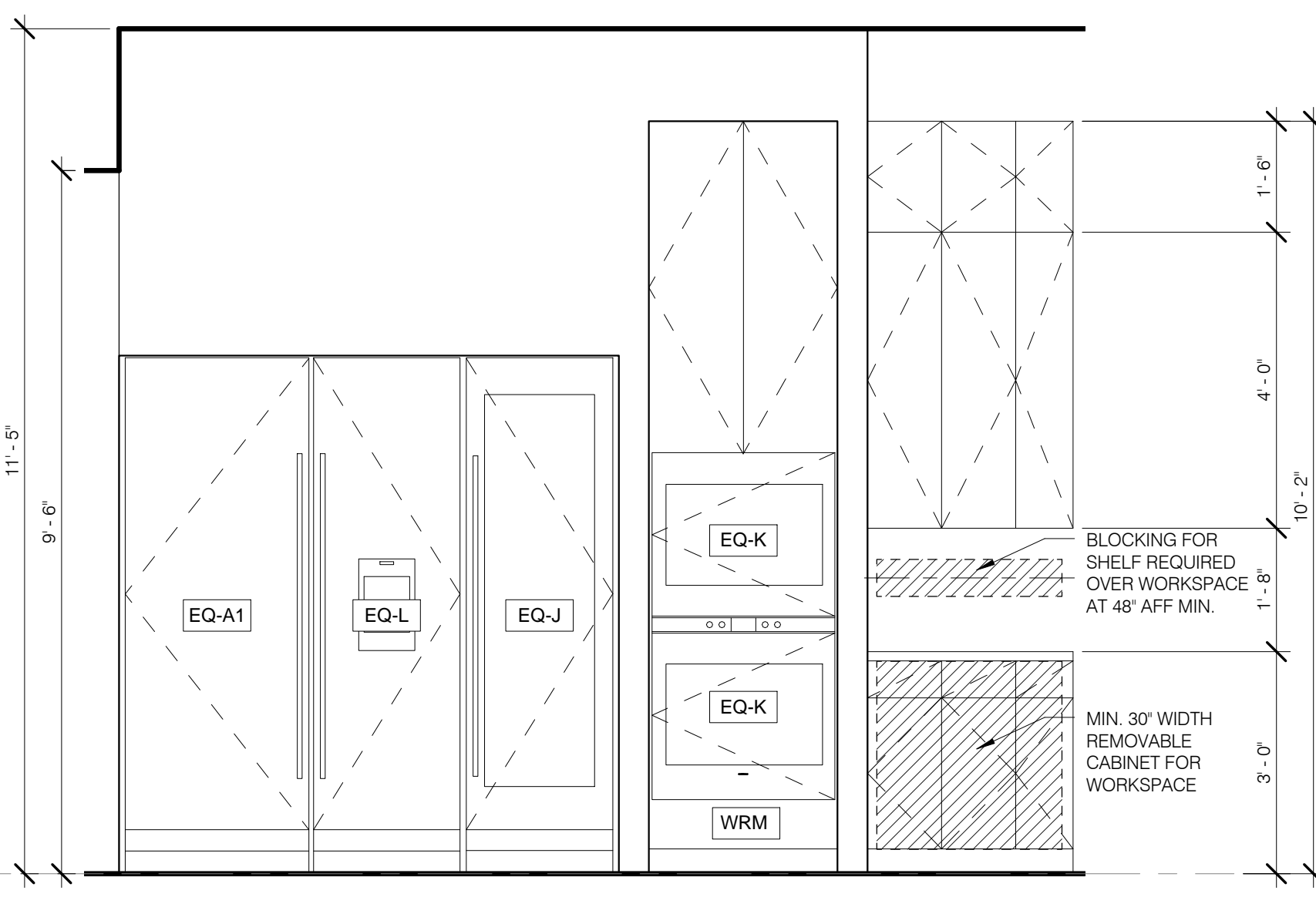
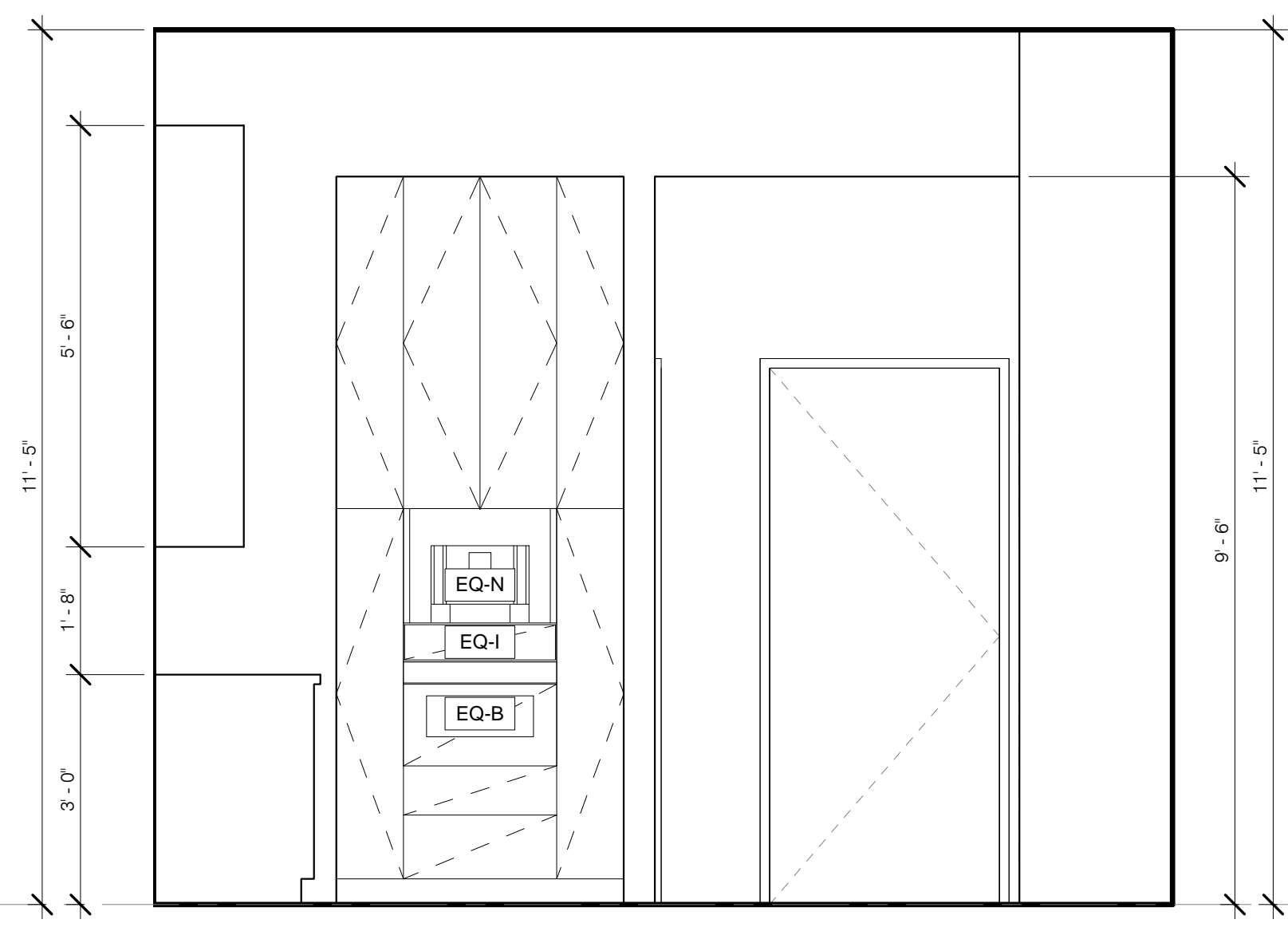
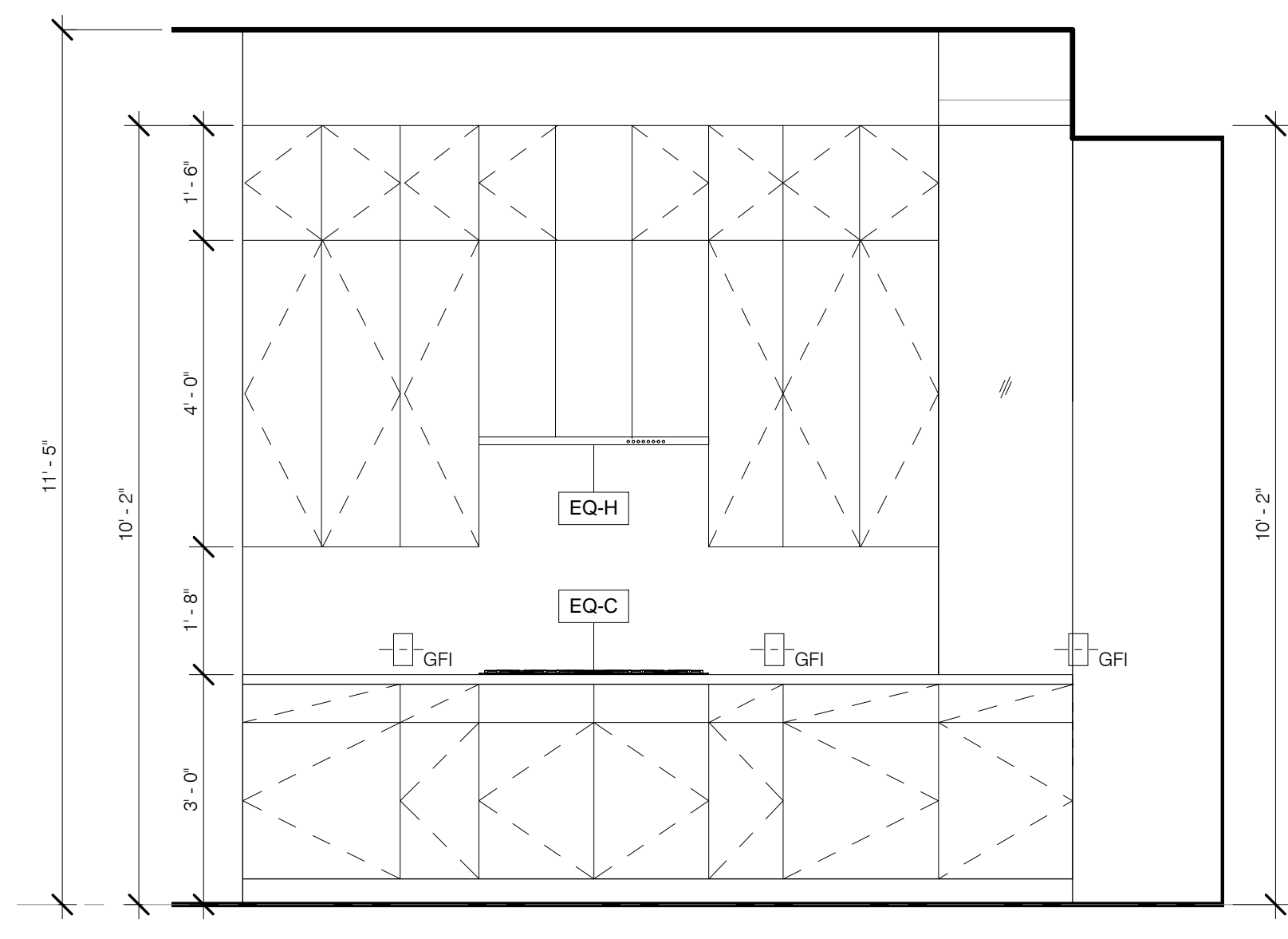
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K-4 W ELEV 1/2" = 1'-0" 7 A-445.01

K-4 N ELEV 1/2" = 1'-0" 6 A-445.01

K-5 PLAN 1/2" = 1'-0" 5 A-445.01



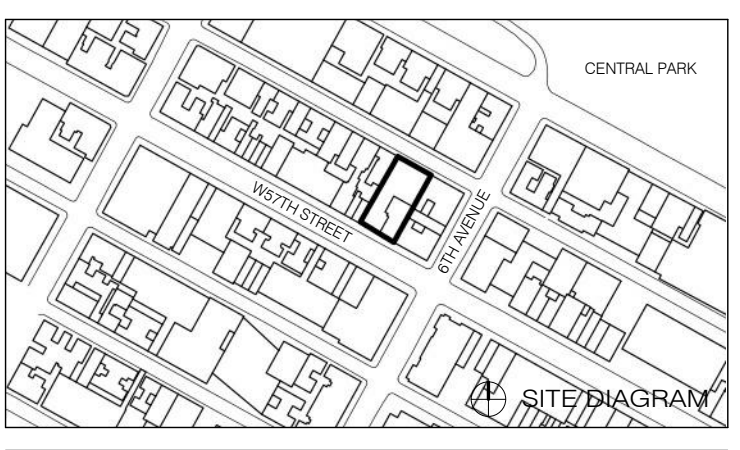
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K-4 N ELEV 1/2" = 1'-0" 3 A-445.01

K-4 E ELEV 1/2" = 1'-0" 2 A-445.01

K-4 PLAN 1/2" = 1'-0" 1 A-445.01

**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

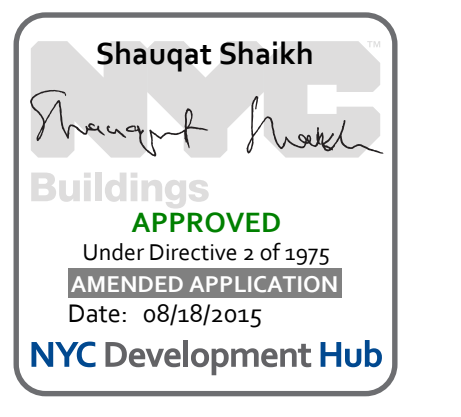


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NO.	DATE	BY	REVISION

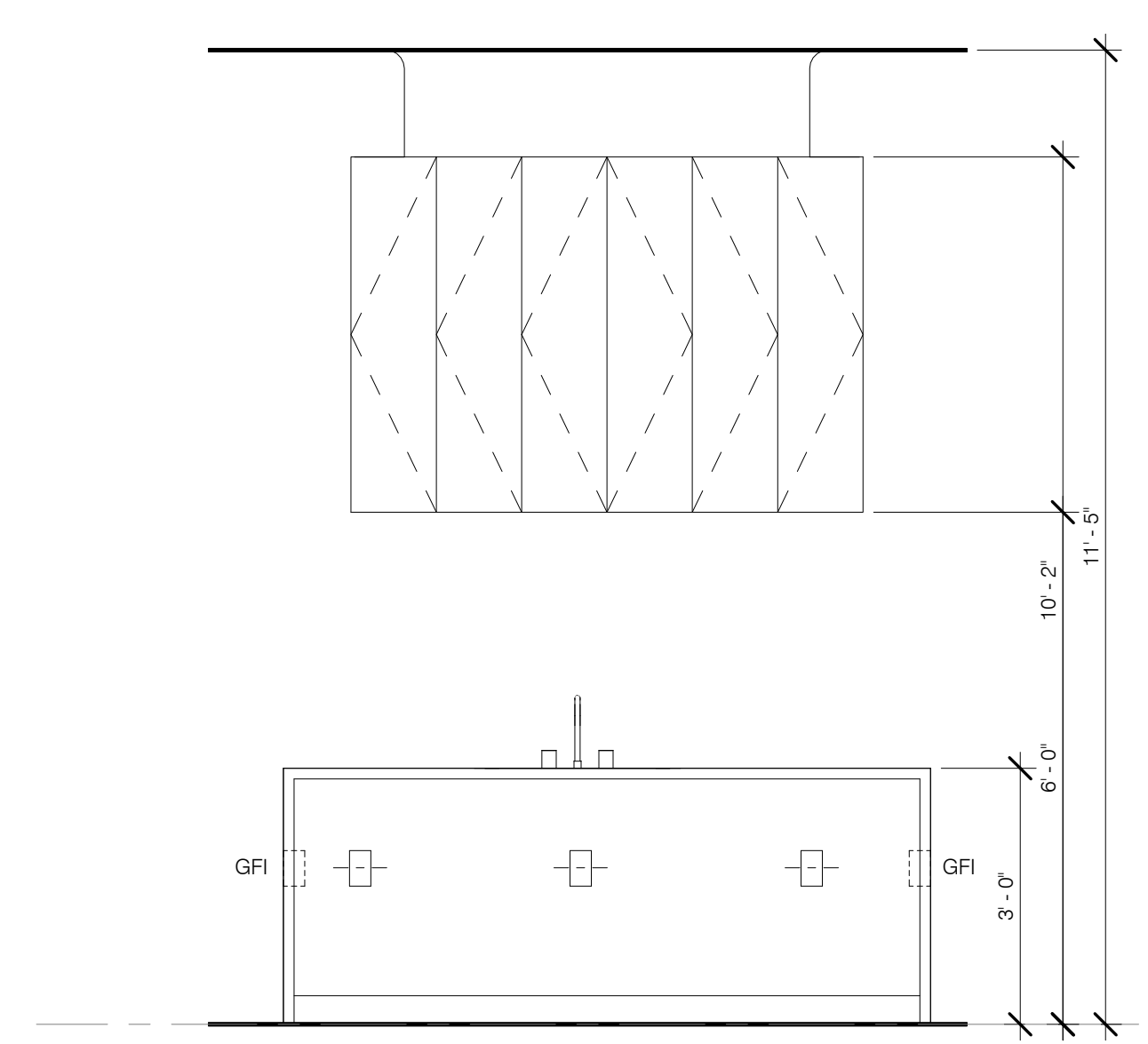
**KITCHENS - TOWER ENLARGED PLANS AND ELEVATION**

REGISTERED ARCHITECT  
STATE OF NEW YORK  
A-445.01

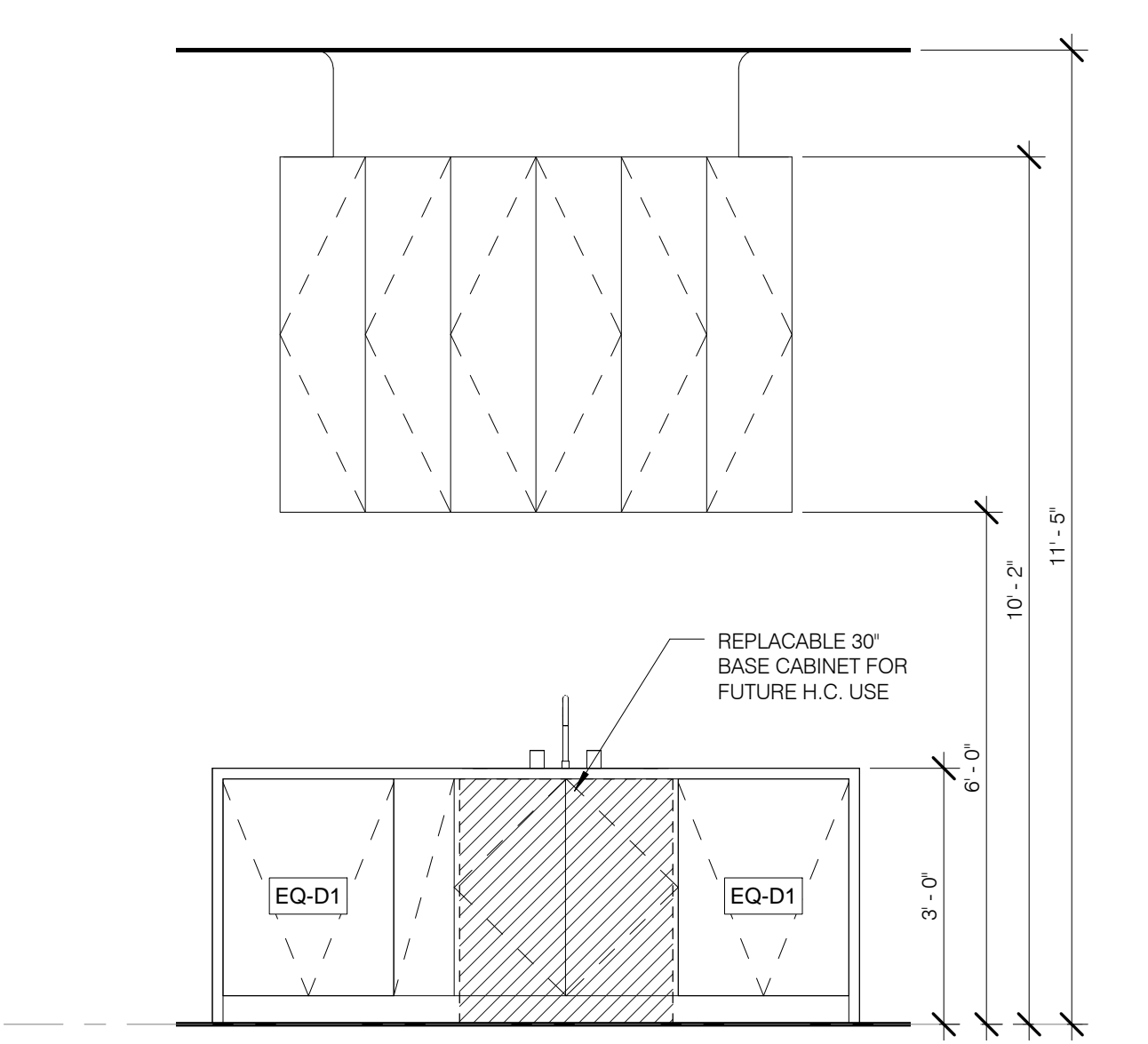
DATE: 3/27/15  
PROJECT NO.: 130007  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO.: 121332968  
DRAWING NUMBER: A-445.01



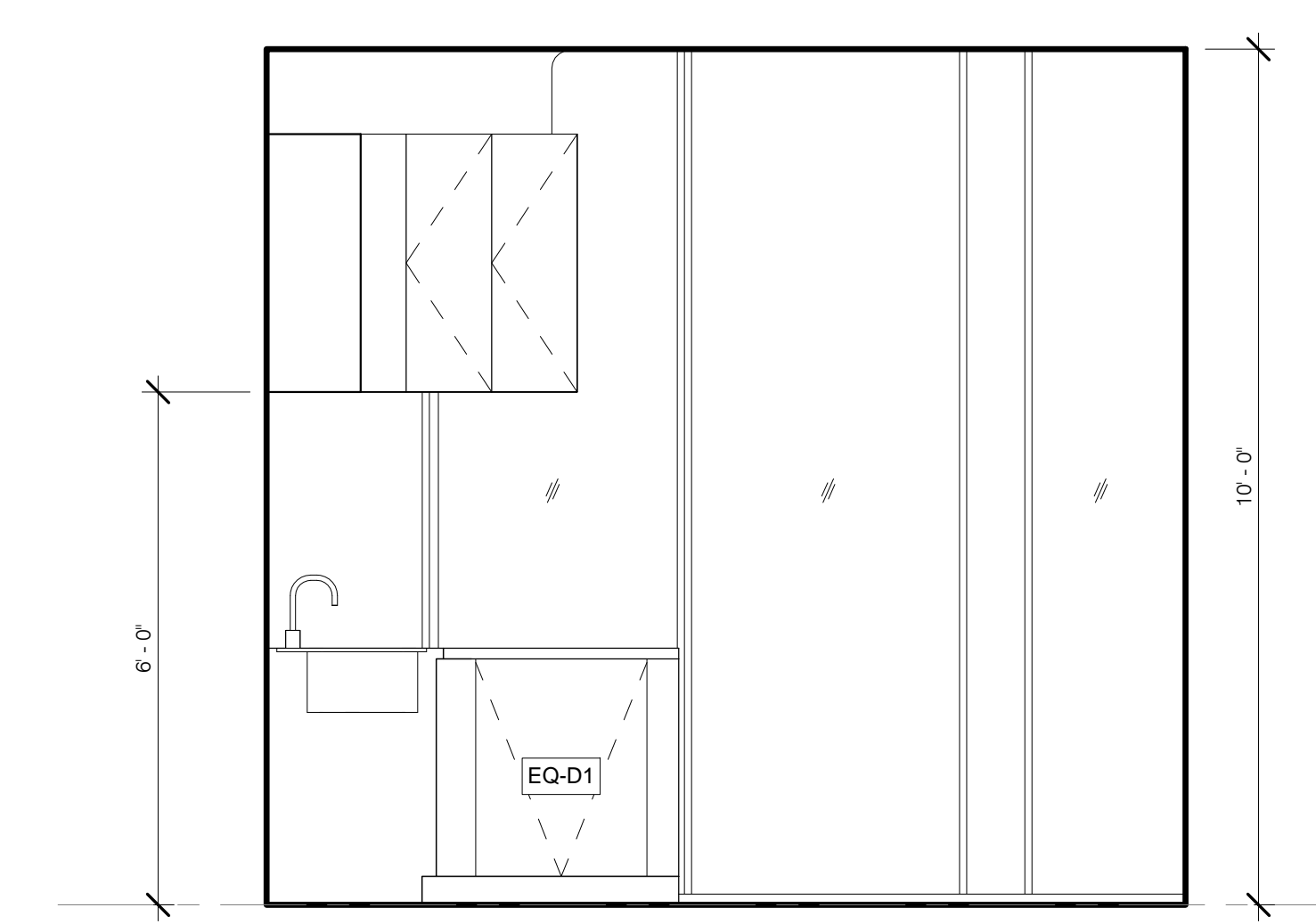
ARCHITECT	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 869 9300
STRUCTURAL ENGINEER	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 869 9300
MEP ENGINEER	JORDIS, BALAM & BOLLER 80 WING STREET, 12TH FLOOR NEW YORK, NY 10003 TEL: 212 869 9300
CIVIL ENGINEER	AVRIF ENGINEERING, P.C. 40 FIFTH AVE, 20TH FLOOR NEW YORK, NY 10018 TEL: 212 869 9300
ACOUSTICS	LONGMAN LINDSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 917 288 8900
INTERIORS	STUDIO ZENFIELD 260 LAURETTA STREET NEW YORK, NY 10001 TEL: 212 475 1300
FAÇADE	SHAP ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212 869 9300
VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST STREET, SUITE 2014 LARKSPUR, NJ 07033 TEL: 973 944 4700
RESTORATION	JAN HIND FOKORNY ASSOCIATES 80 WEST 10TH STREET, 11TH FLOOR NEW YORK, NY 10011 TEL: 212 239 6462
GEOTECH	MTICE 305 WEST 60TH STREET, 4TH FLOOR NEW YORK, NY 10020 TEL: 917 288 8900
LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4453



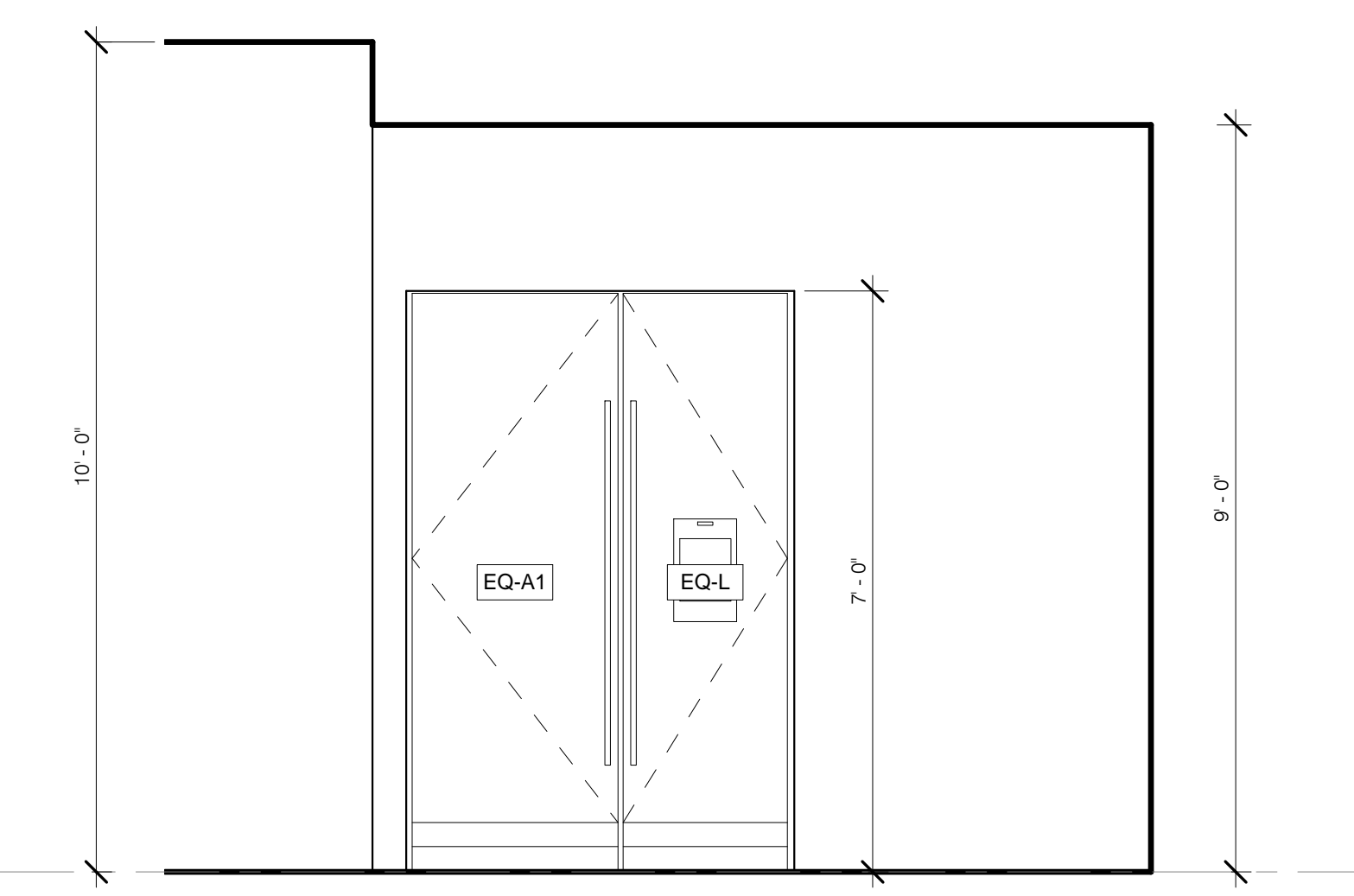
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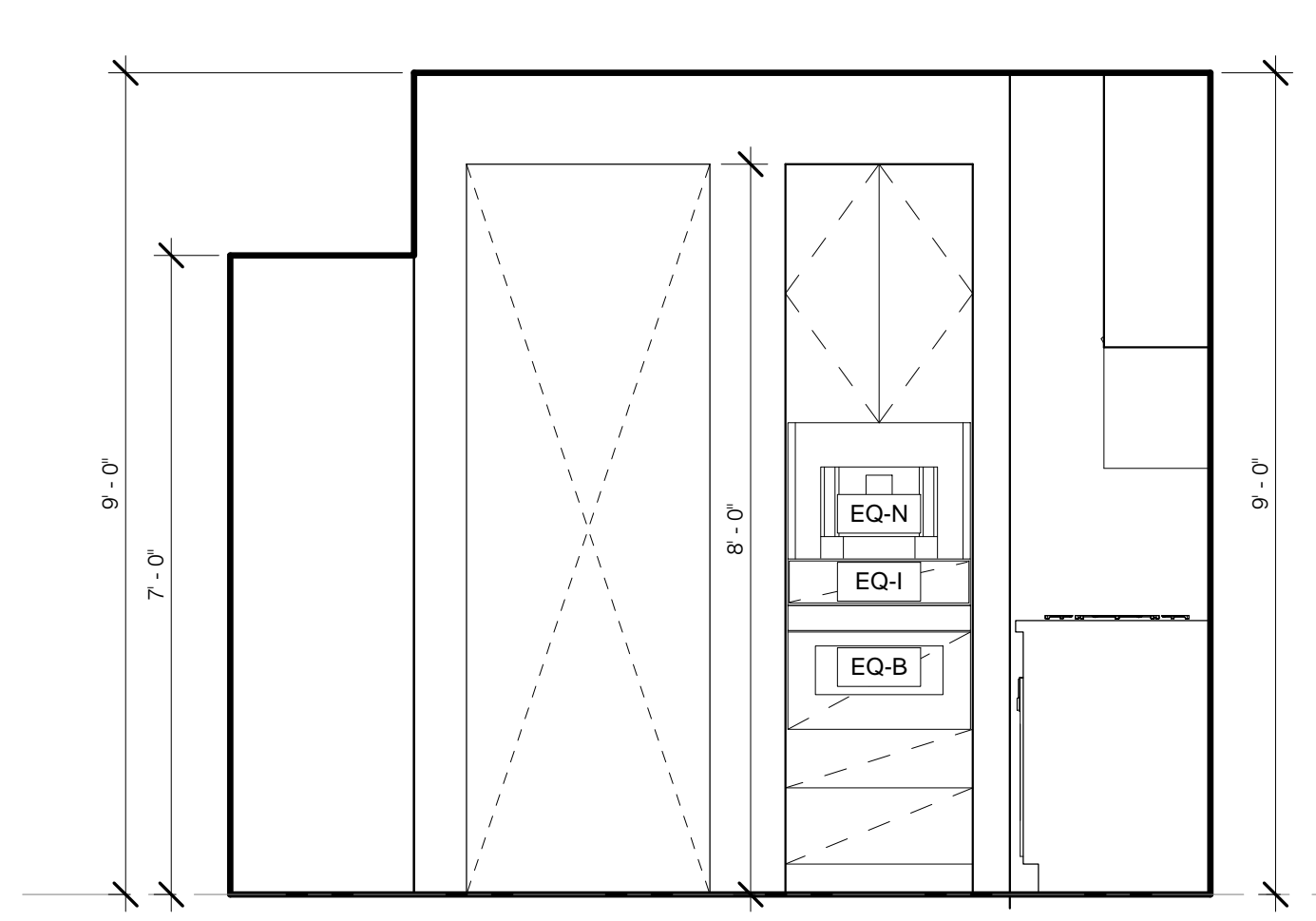
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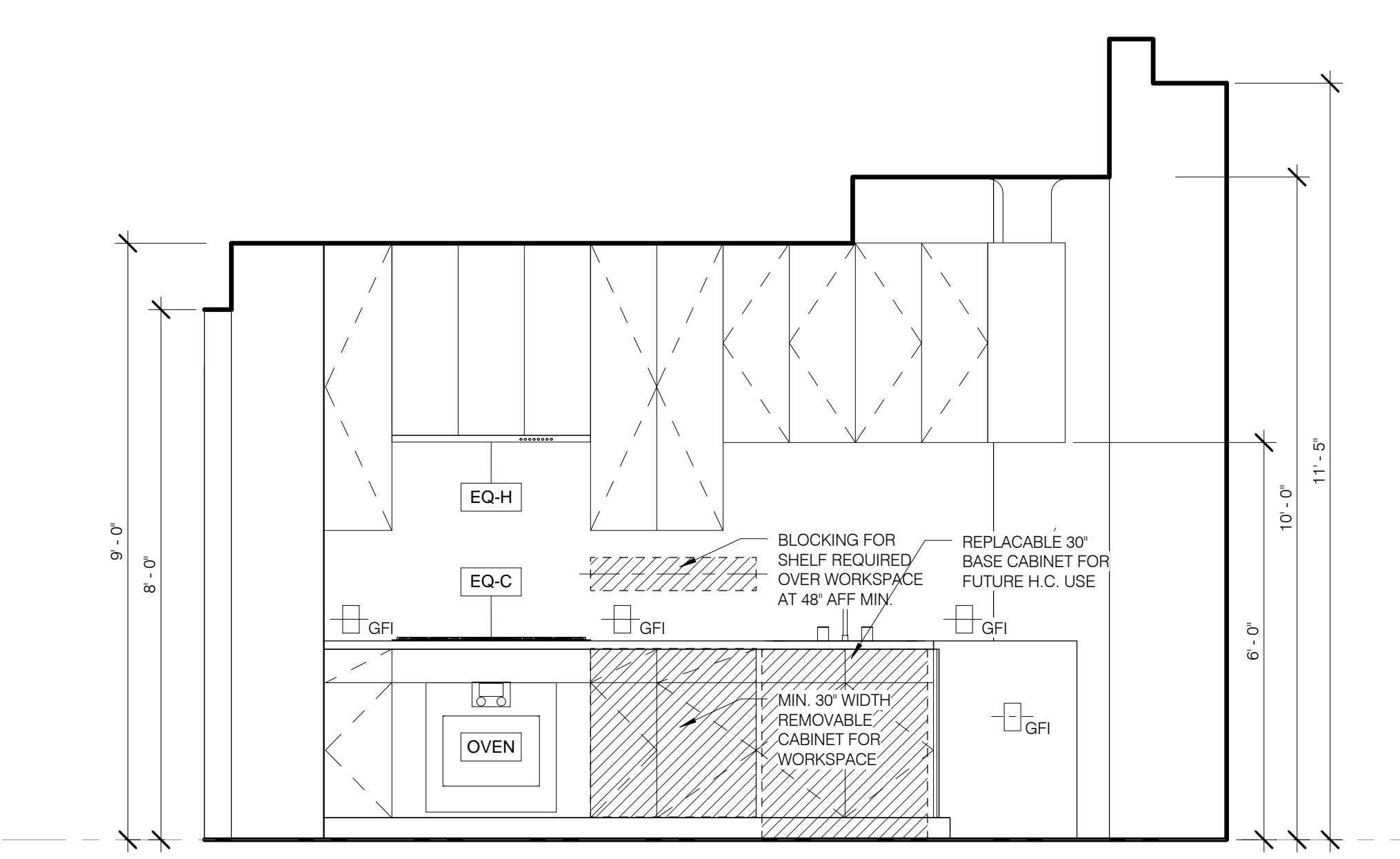
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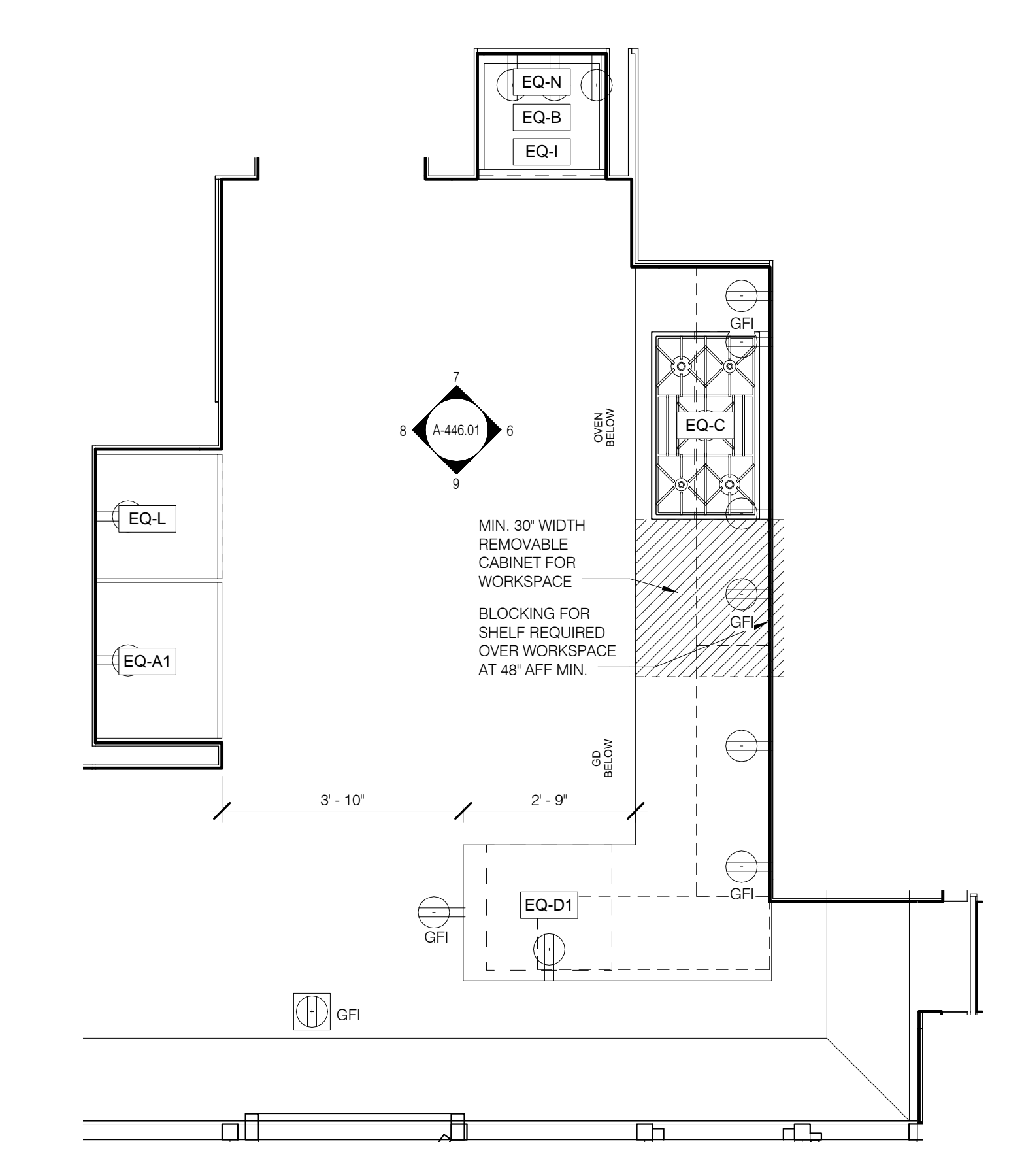
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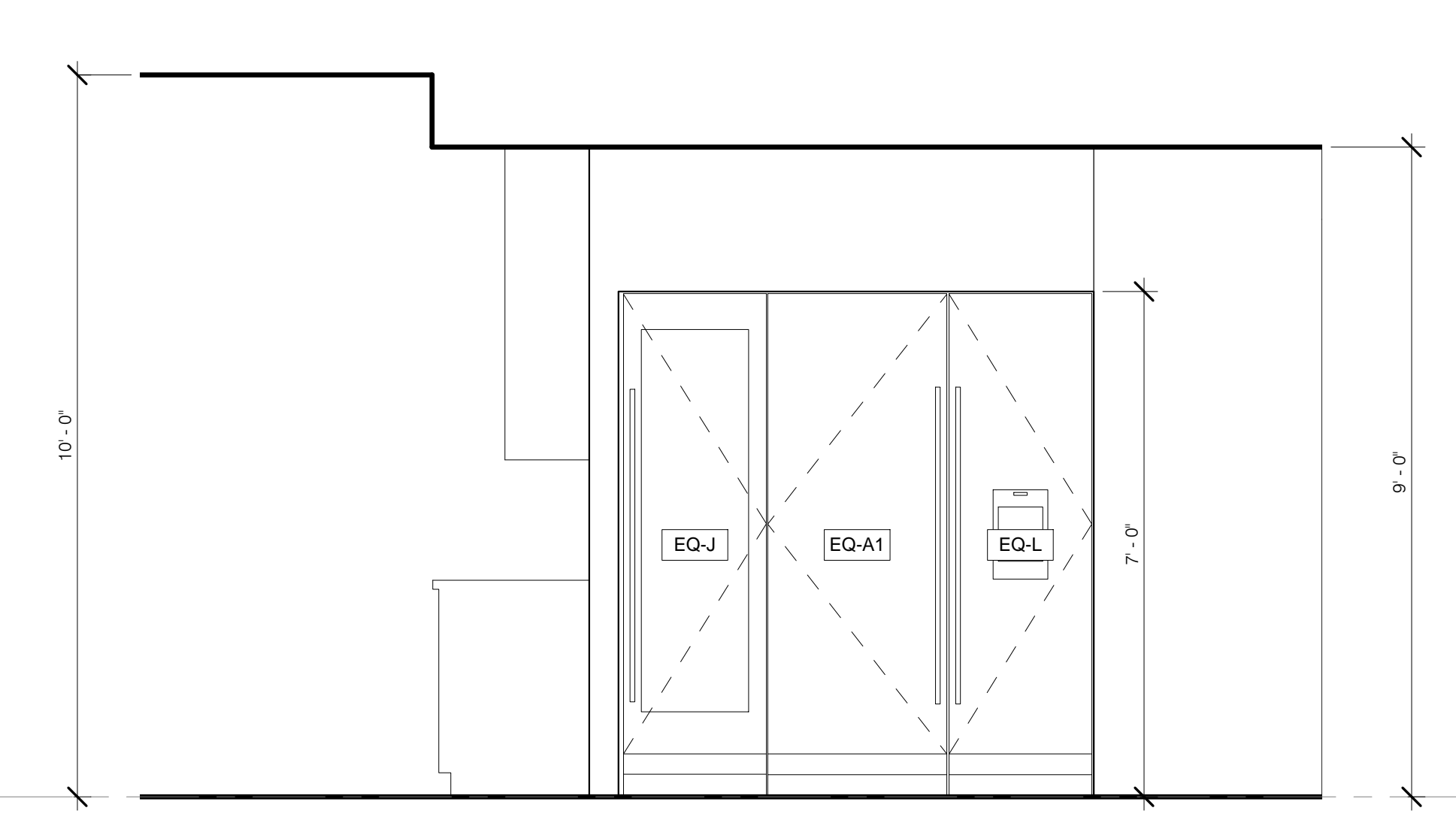
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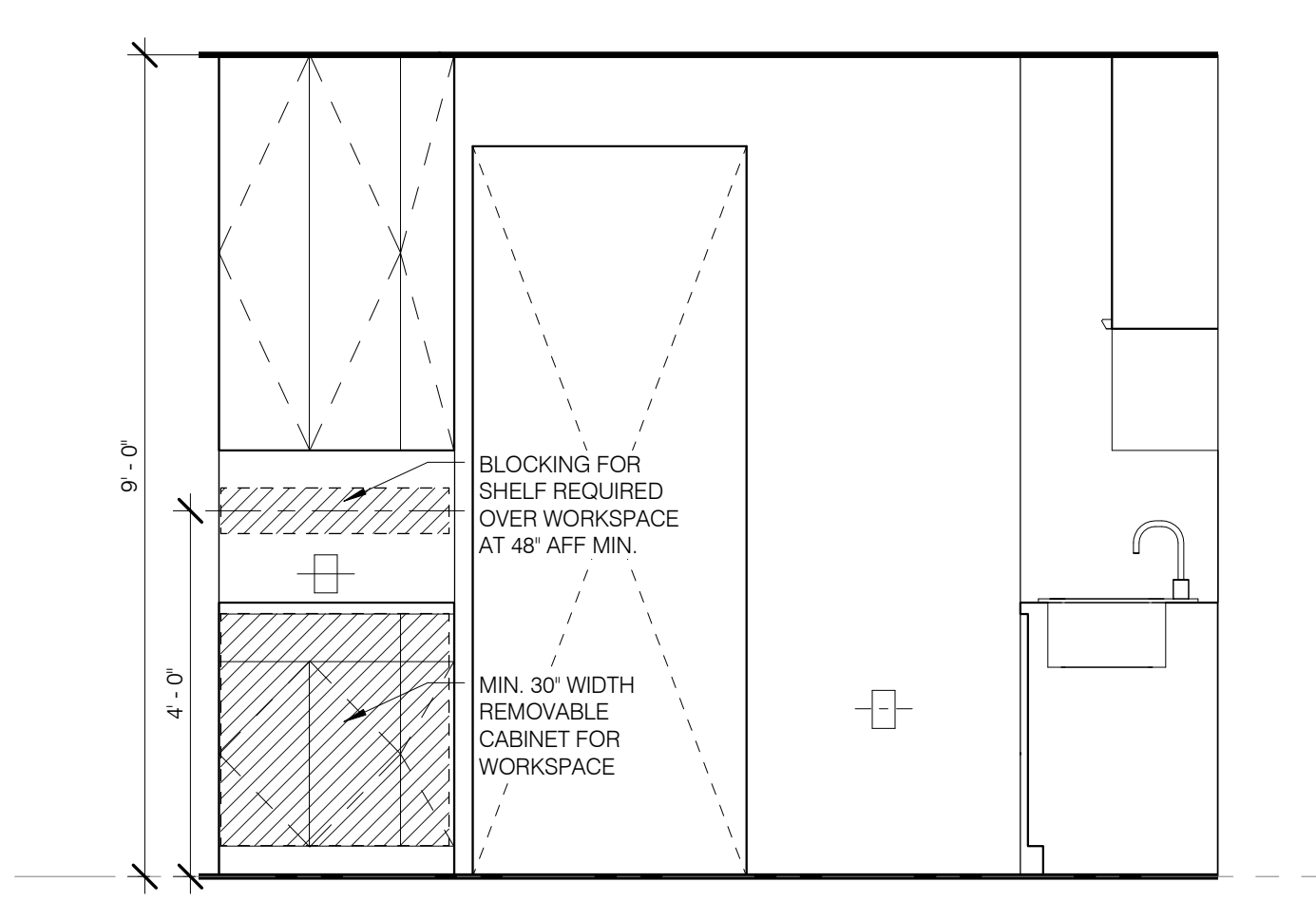
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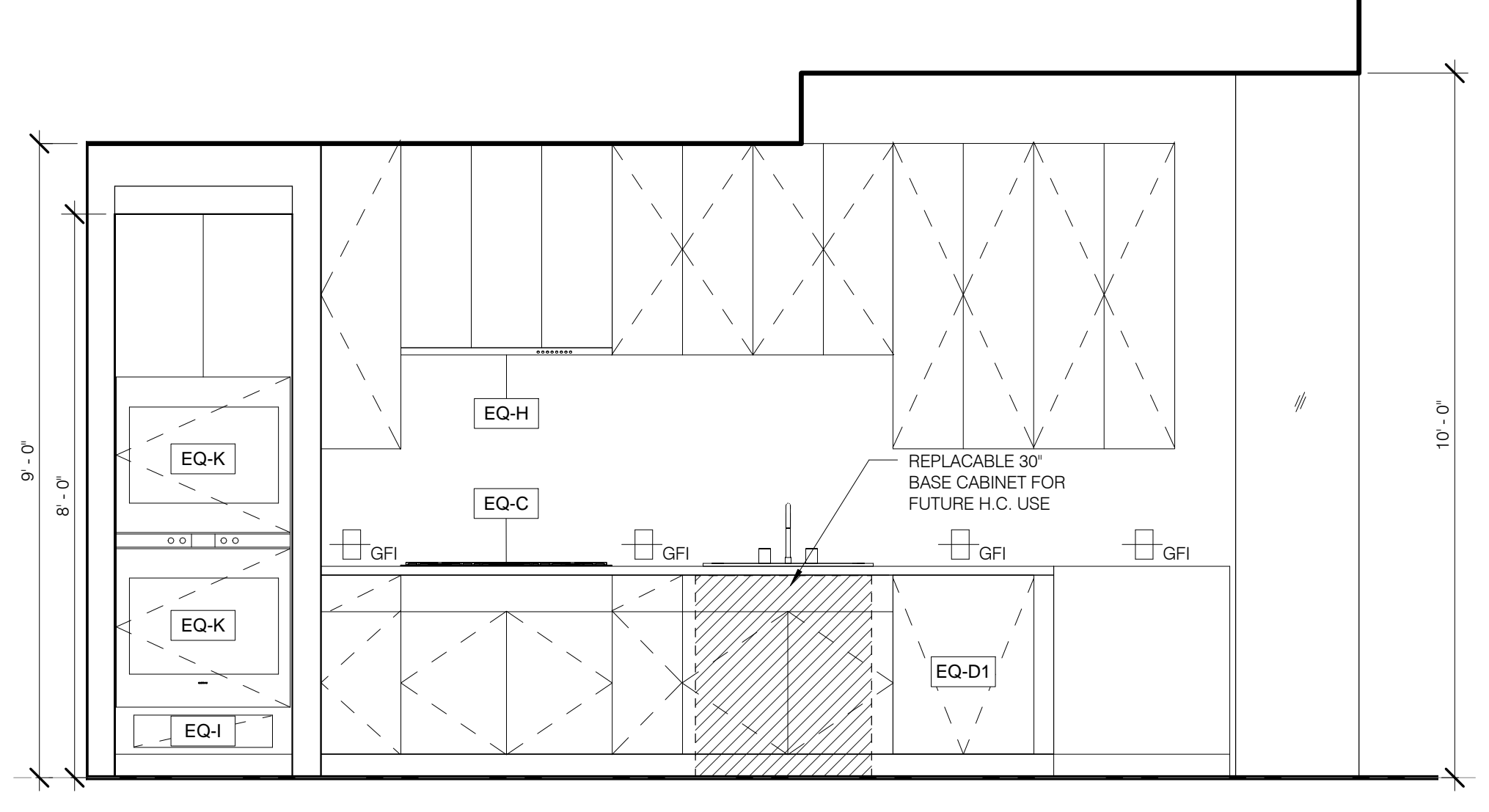
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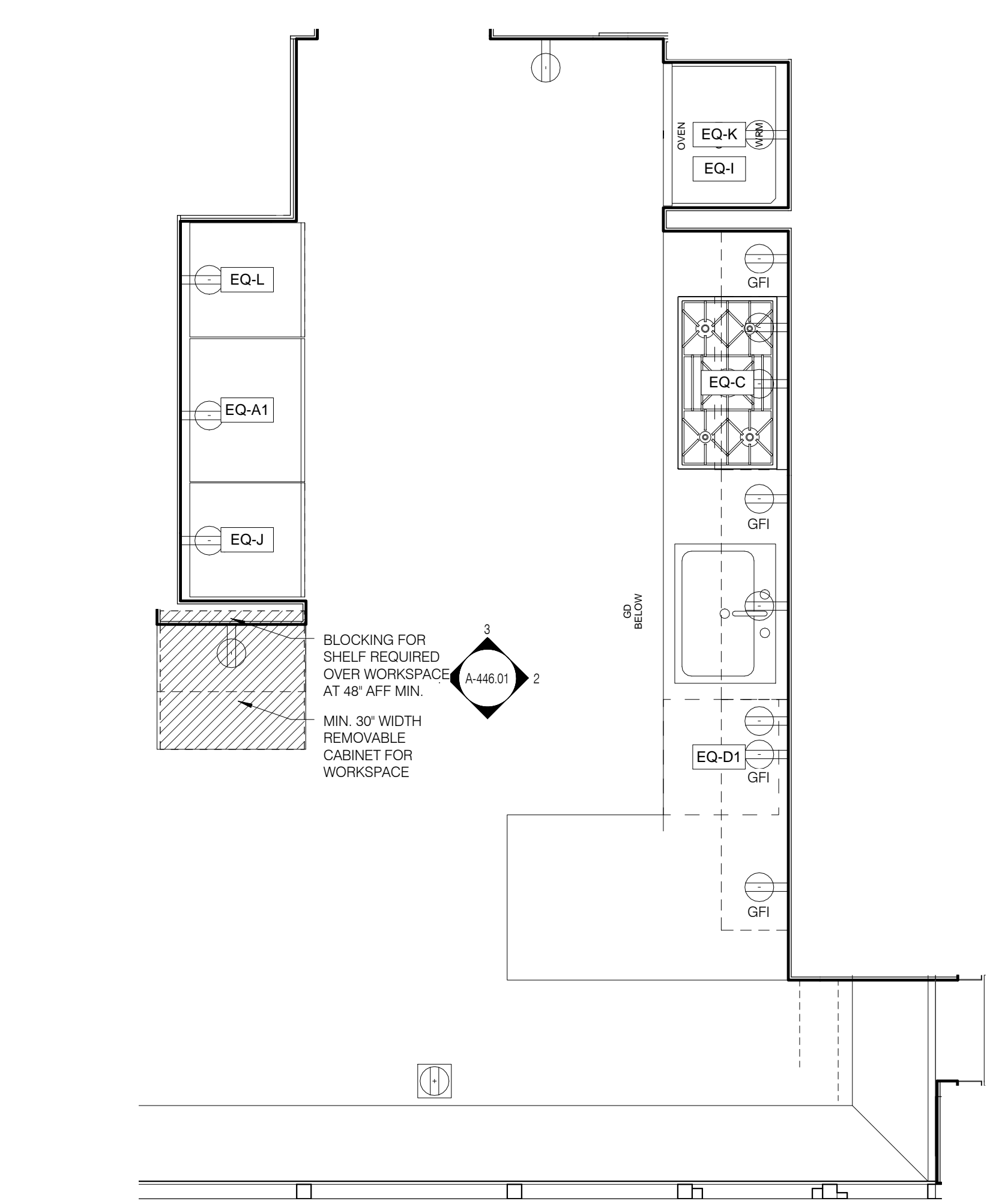
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K-7 E ELEV 1/2" = 1'-0" 2



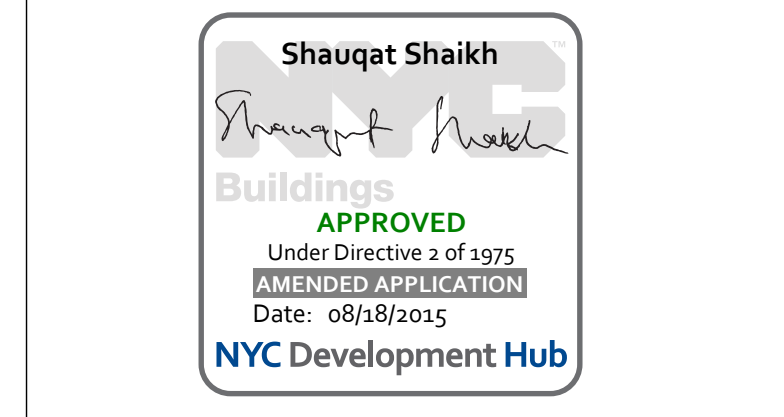
K-7 PLAN 1/2" = 1'-0" 1



PROPERTY MARKETS GROUP  
1345 FIFTH AVENUE, 2ND FLOOR  
NEW YORK, NY 10019  
TEL: 212 869 9300

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**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



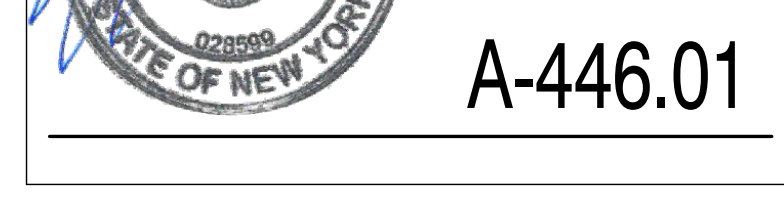
NO.	DATE	REVISION
1	3/27/15	DOB PAA

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DRAWN/TITLE

**KITCHENS - TOWER ENLARGED PLANS AND ELEVATION**

SEAL & SIGNATURE DATE 3/27/15  
 PROJECT NO. 130007  
 DRAWN BY SHAP  
 CHECKED BY SHAP  
 DATE 12/13/2008  
 DRAWING NUMBER



A-446.01



ARCHITECT	SH&P ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212.869.9300	FAÇADE	SH&P ARCHITECTS, P.C. 230 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 TEL: 212.869.9300
MEP ENGINEER	JORDIS, BAIM & ROLLES 40 WEST STREET, 10TH FLOOR NEW YORK, NY 10005 TEL: 212.869.9300	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 8 HENRY STREET, SUITE 204 LARKSPER, NJ 07033 TEL: 201.941.9170
MEP ENGINEER	JORDIS, BAIM & ROLLES 40 WEST STREET, 10TH FLOOR NEW YORK, NY 10005 TEL: 212.869.9300	RESTORATION	JAN HROD POKORNY ASSOCIATES 30 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.245.4463
ACQUISITION	LONGMAN LINSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.245.4463	GEOTECH	NYCE 305 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212.245.4463
INTERIORS	TLORON ZEMFIELD 300 PARKETTE STREET NEW YORK, NY 10001 TEL: 212.245.4463	CONSERVATION INTERNATIONAL	CONSERVATION INTERNATIONAL 100 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10001 TEL: 212.245.4463



PROPERTY MARKETS GROUP  
100 WEST 57TH STREET, 4TH FLOOR  
NEW YORK, NY 10019  
TEL: 212.245.4463  
CURRENT ISSUE

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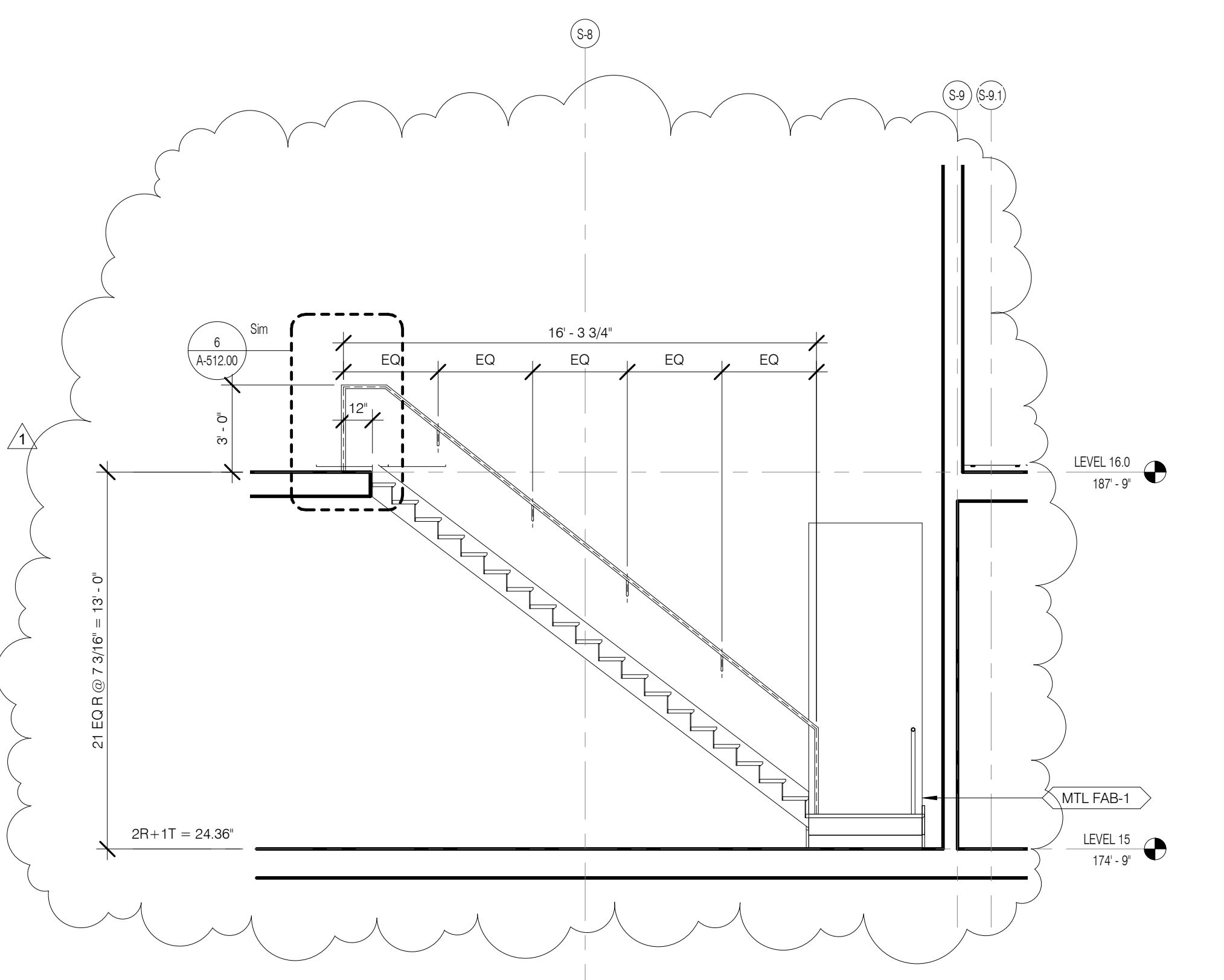
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



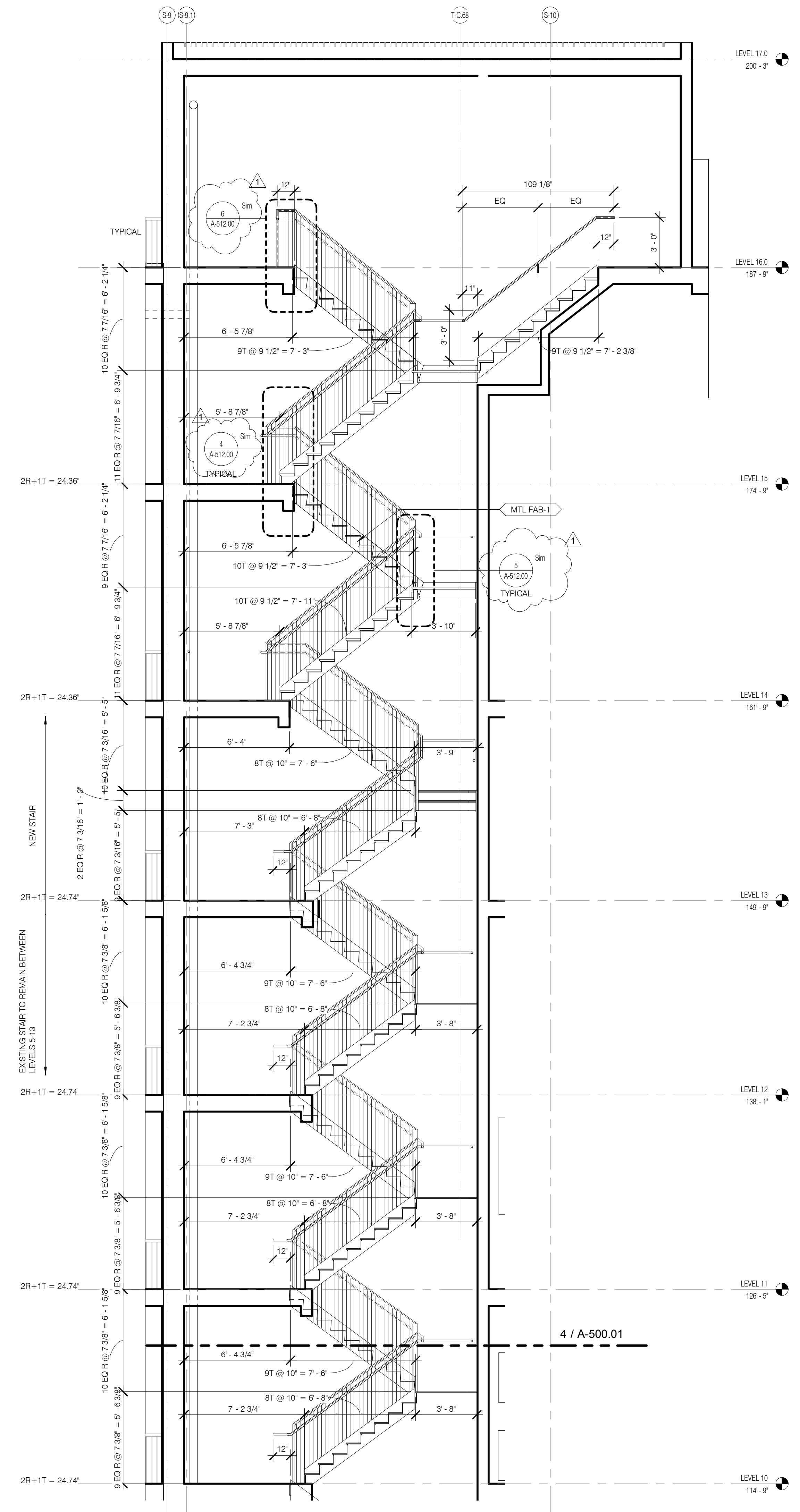
NO.	DATE	REVISION
1	3/27/15	DOB PAA

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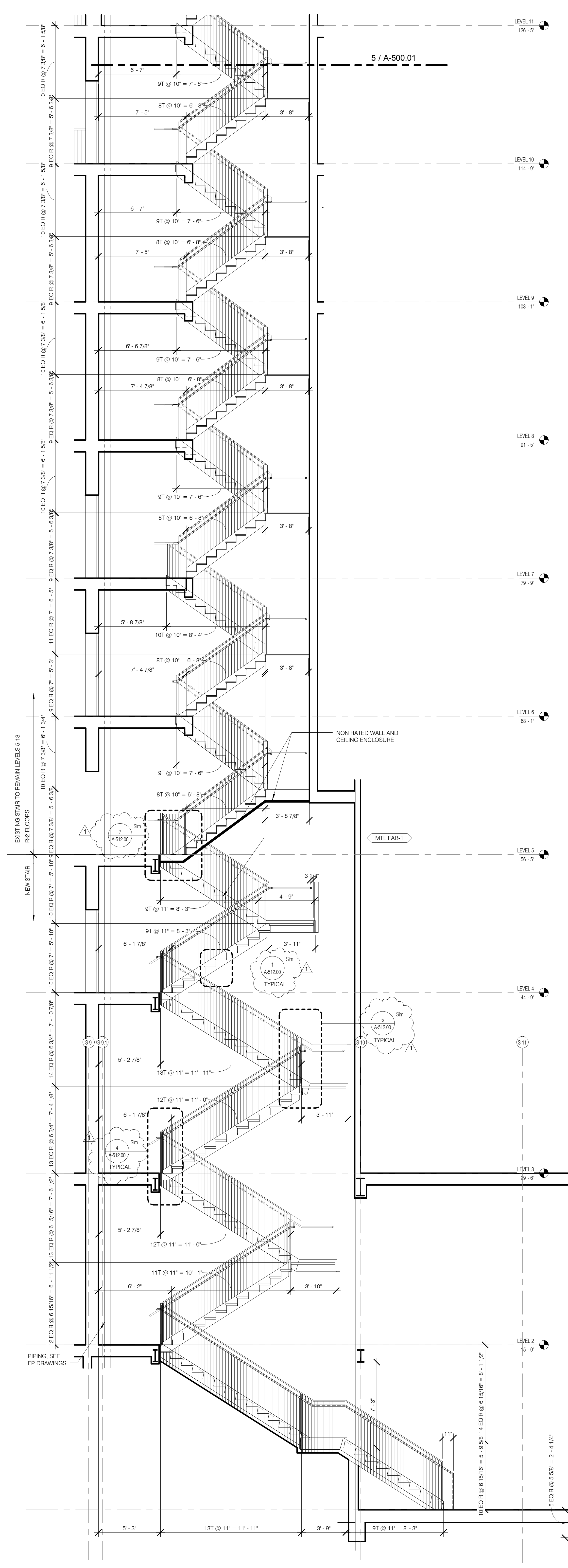
SEAL & SIGNATURE	DATE	2.20.15
PROJECT NO.	130007	
DRAWN BY	SH&P	
CHECKED BY	SH&P	
DOB NO.	121330968	
DRAWING NUMBER	A-500.01	



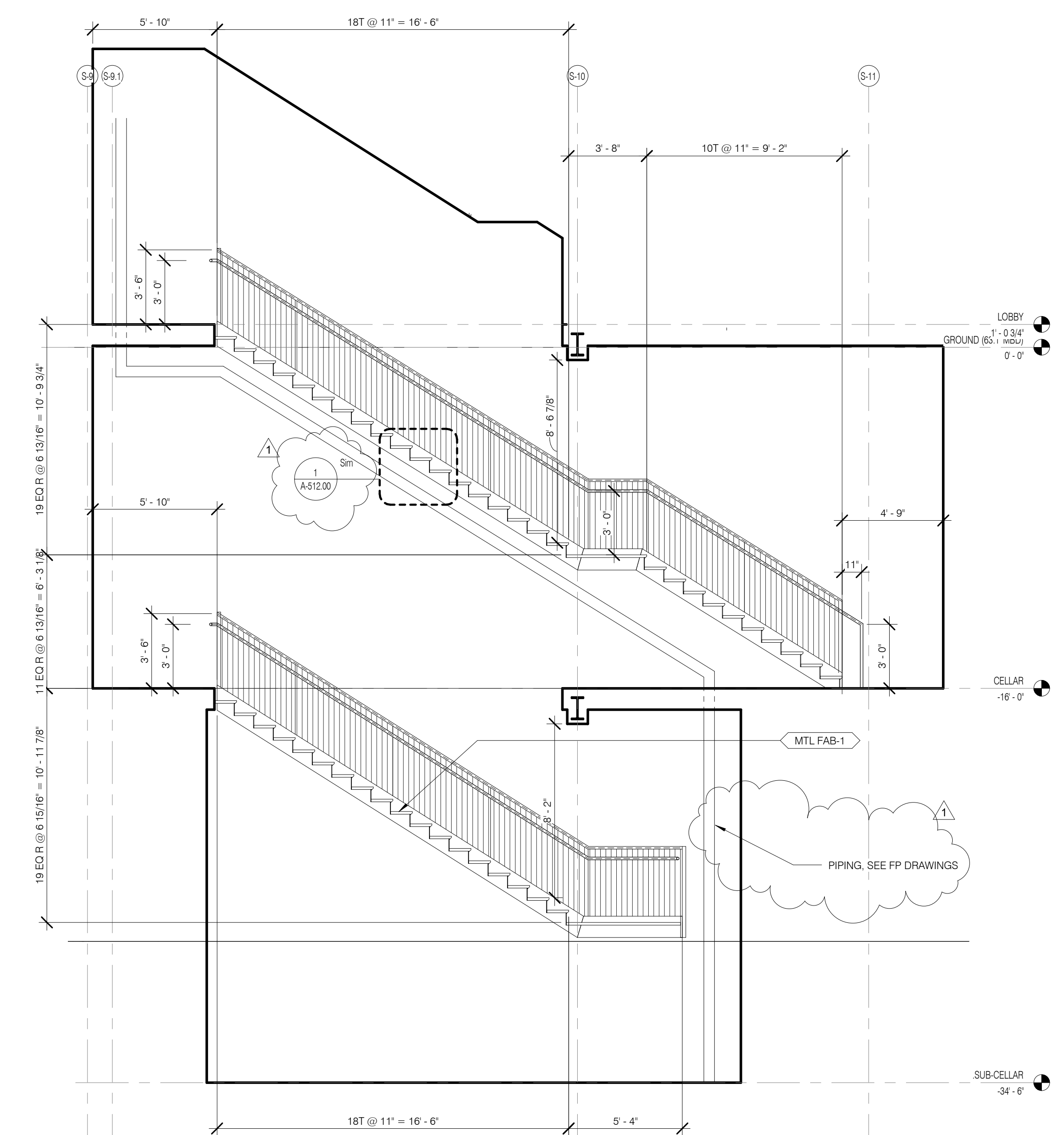
STAIR A DETAIL 15 TO 16 1/4" = 1'-0" 6 A-500.01 A-500.01



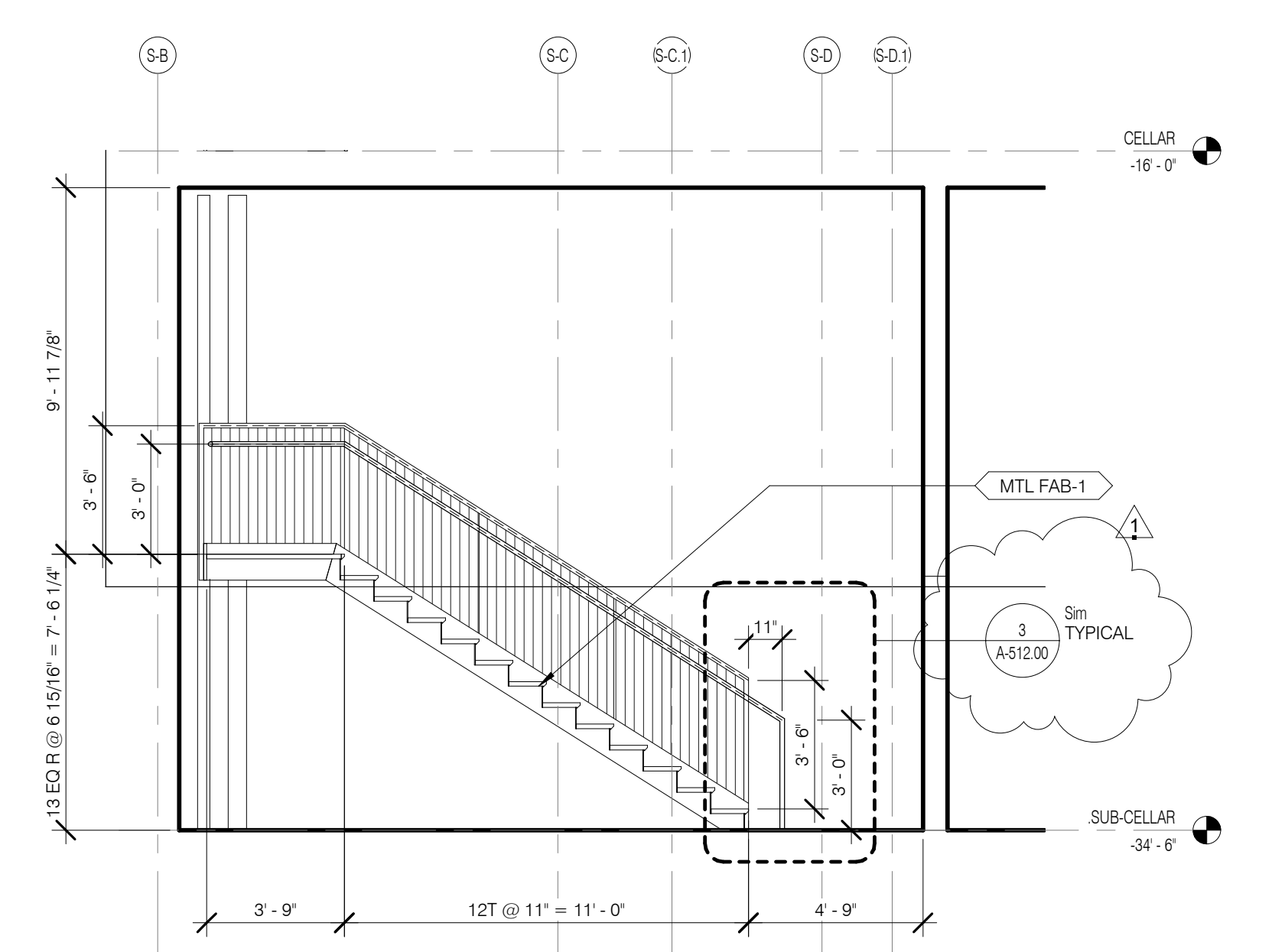
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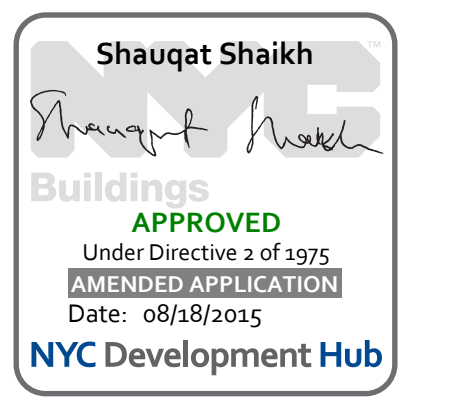
STAIR C SECTION GFL TO 10 1/4" = 1'-0" 4 A-500.01 A-500.01



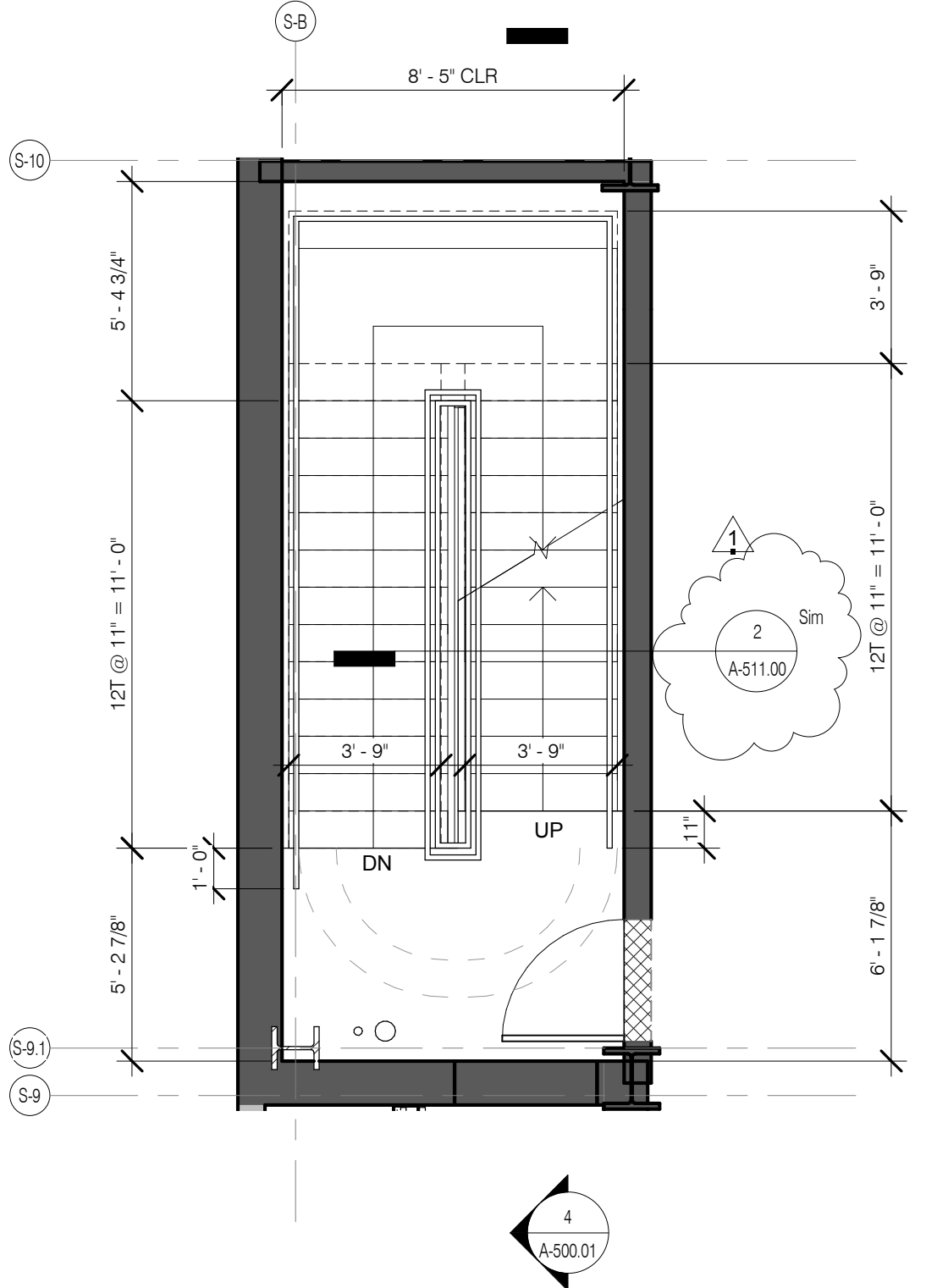
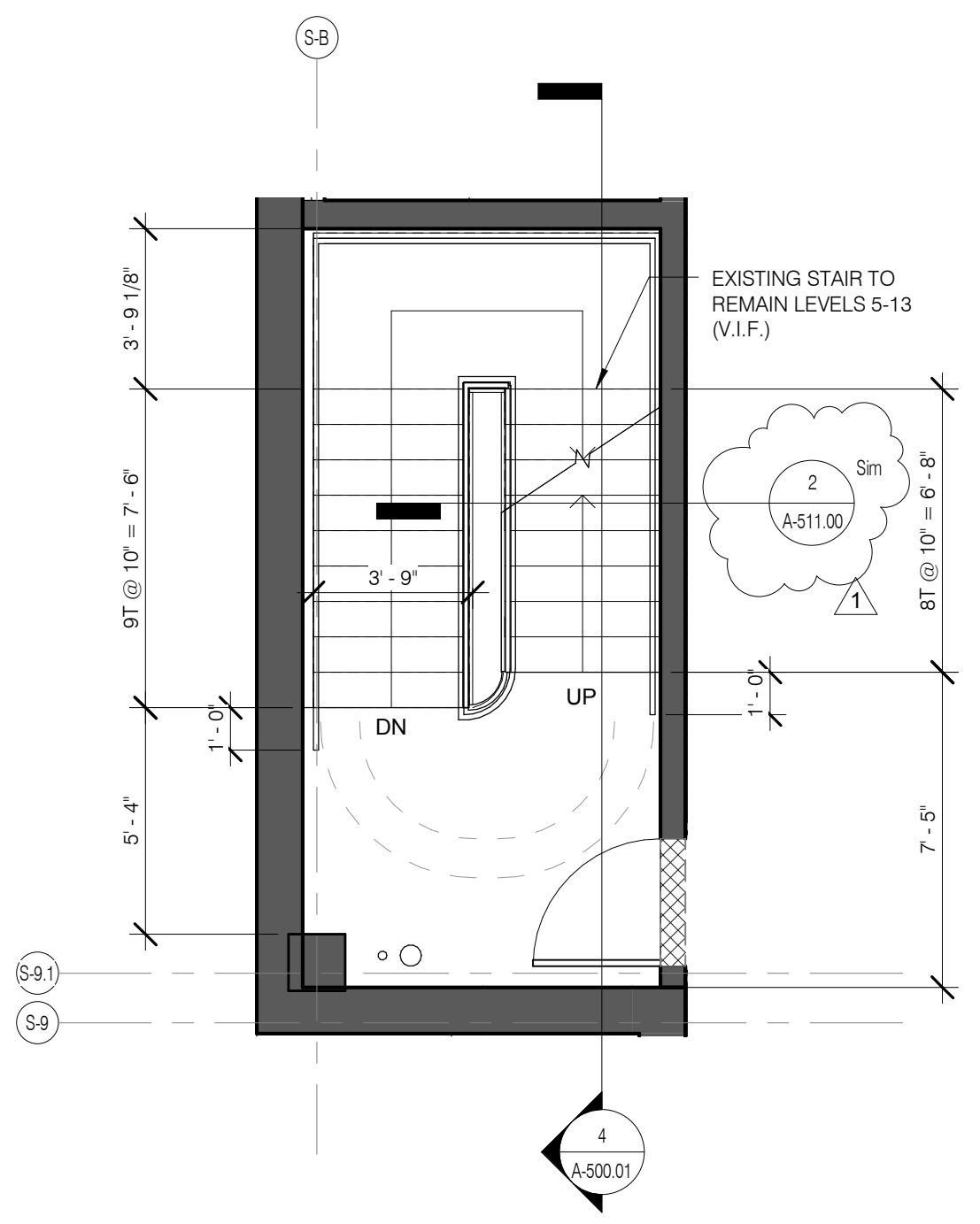
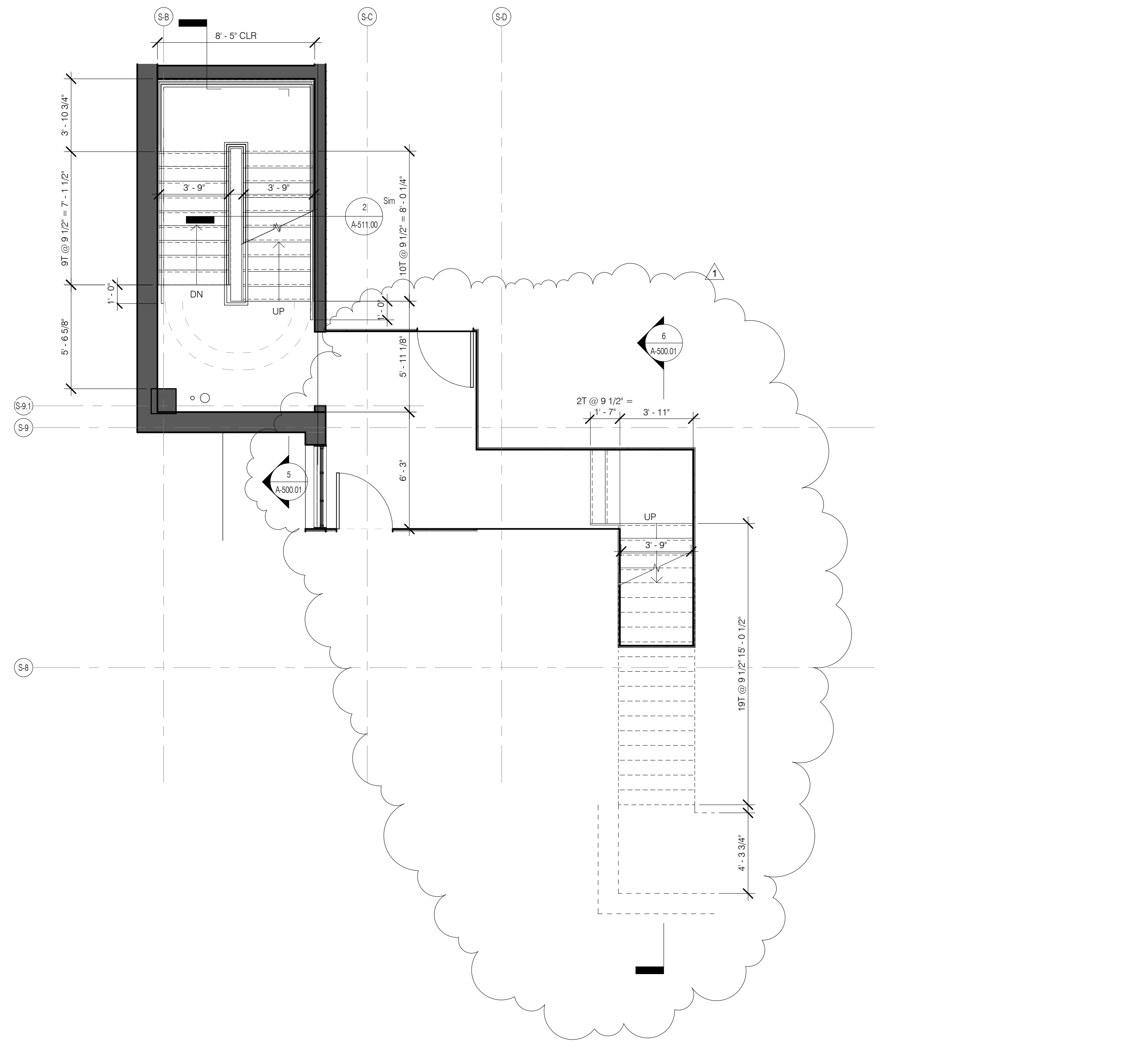
STAIR C SECTION SB TO GFL 1/4" = 1'-0" 2 A-500.01 A-500.01



STAIR C SECTION @ LEVEL SB 1/4" = 1'-0" 1 A-500.01 A-500.01

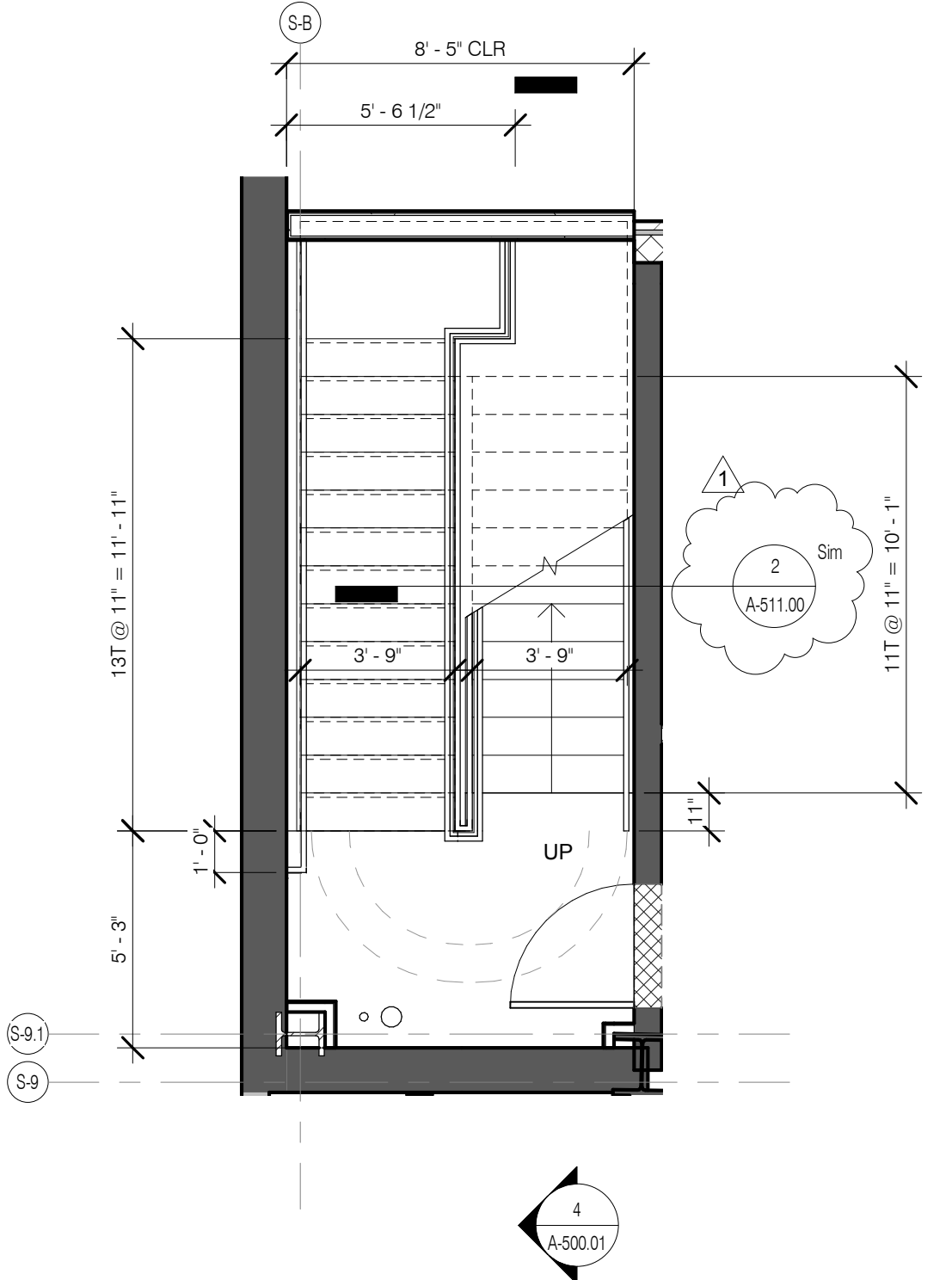
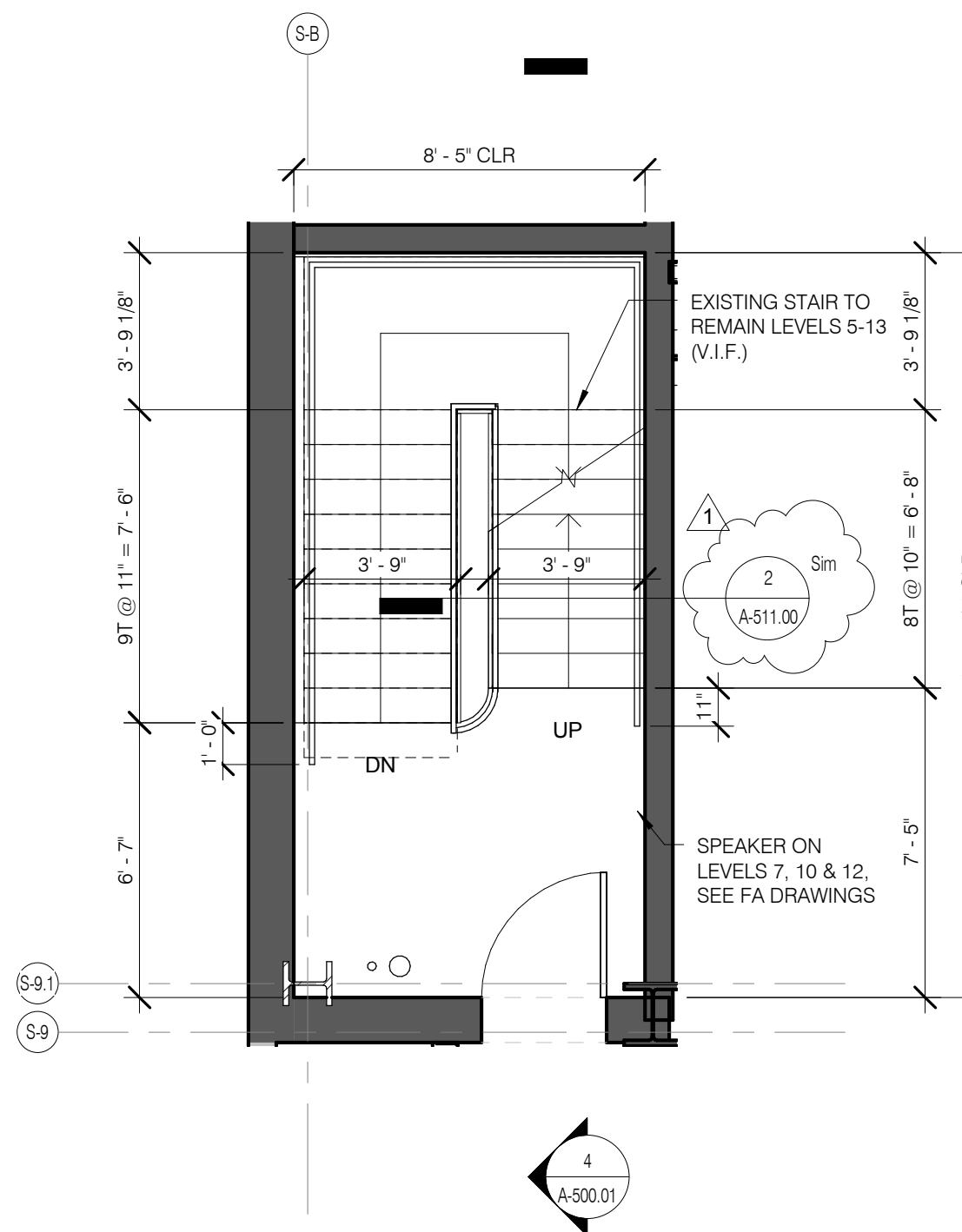


1	3.27.15	DOB PAA
	5.1.14	DOB PLING SET
NO.	DATE	REVISION
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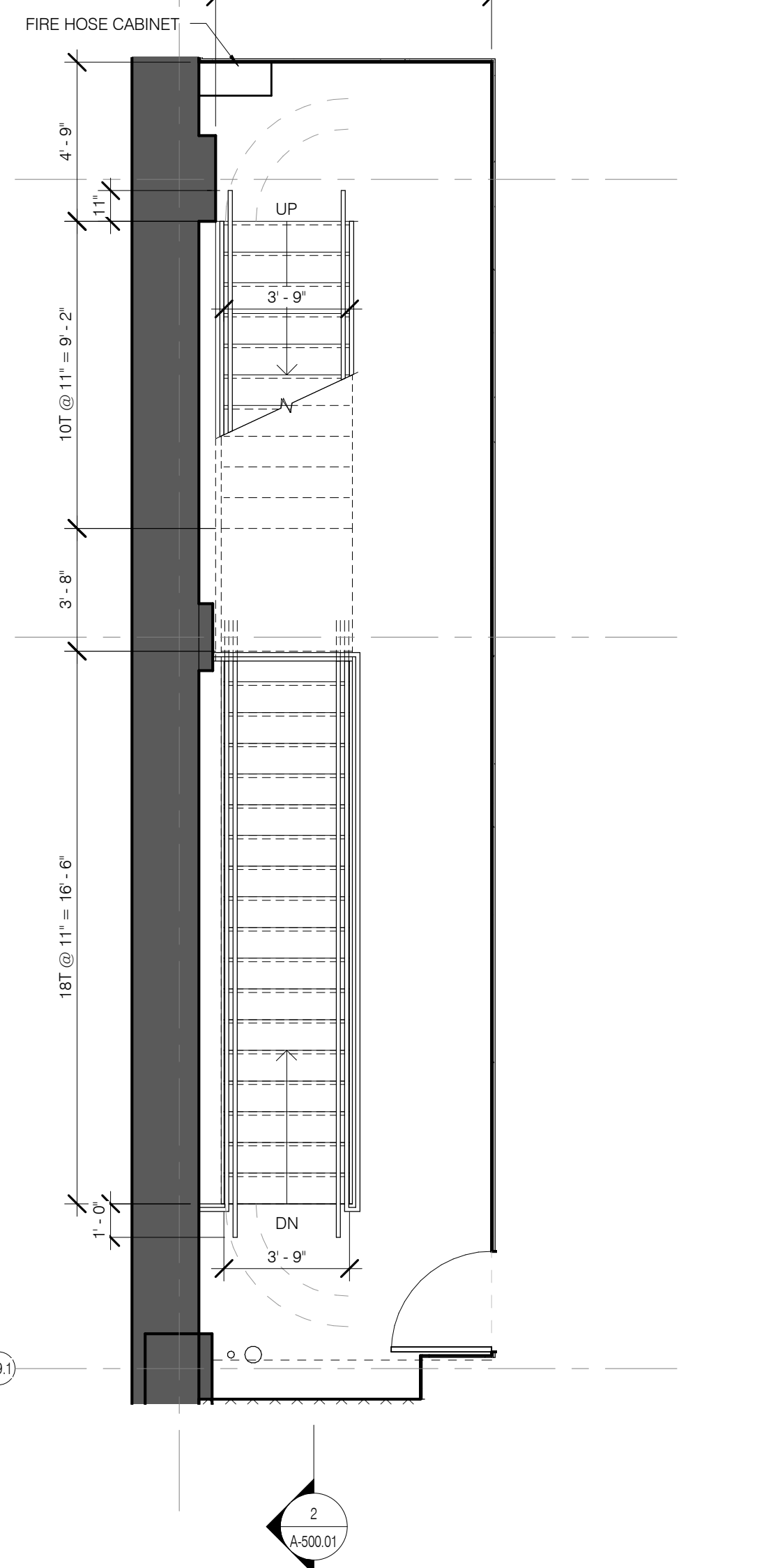
STAIR A LEVEL 9 PLAN 1/4" = 1'-0" 9 A-501.01

STAIR A LEVEL 3 PLAN 1/4" = 1'-0" 5 A-501.01



STAIR A LEVEL 15 PLAN 1/4" = 1'-0" 12 A-501.01

STAIR A LEVEL 2 PLAN 1/4" = 1'-0" 4 A-501.01

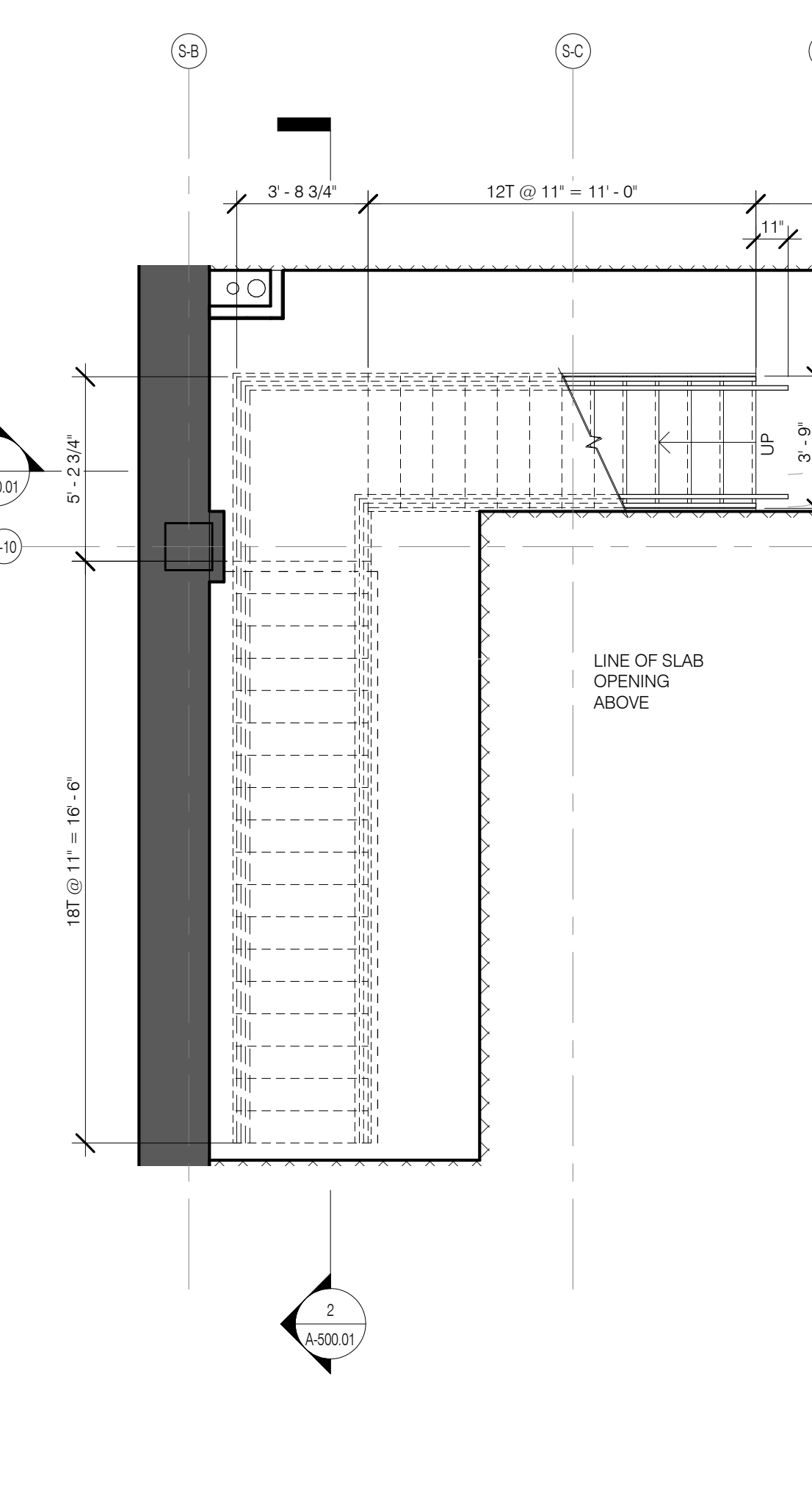
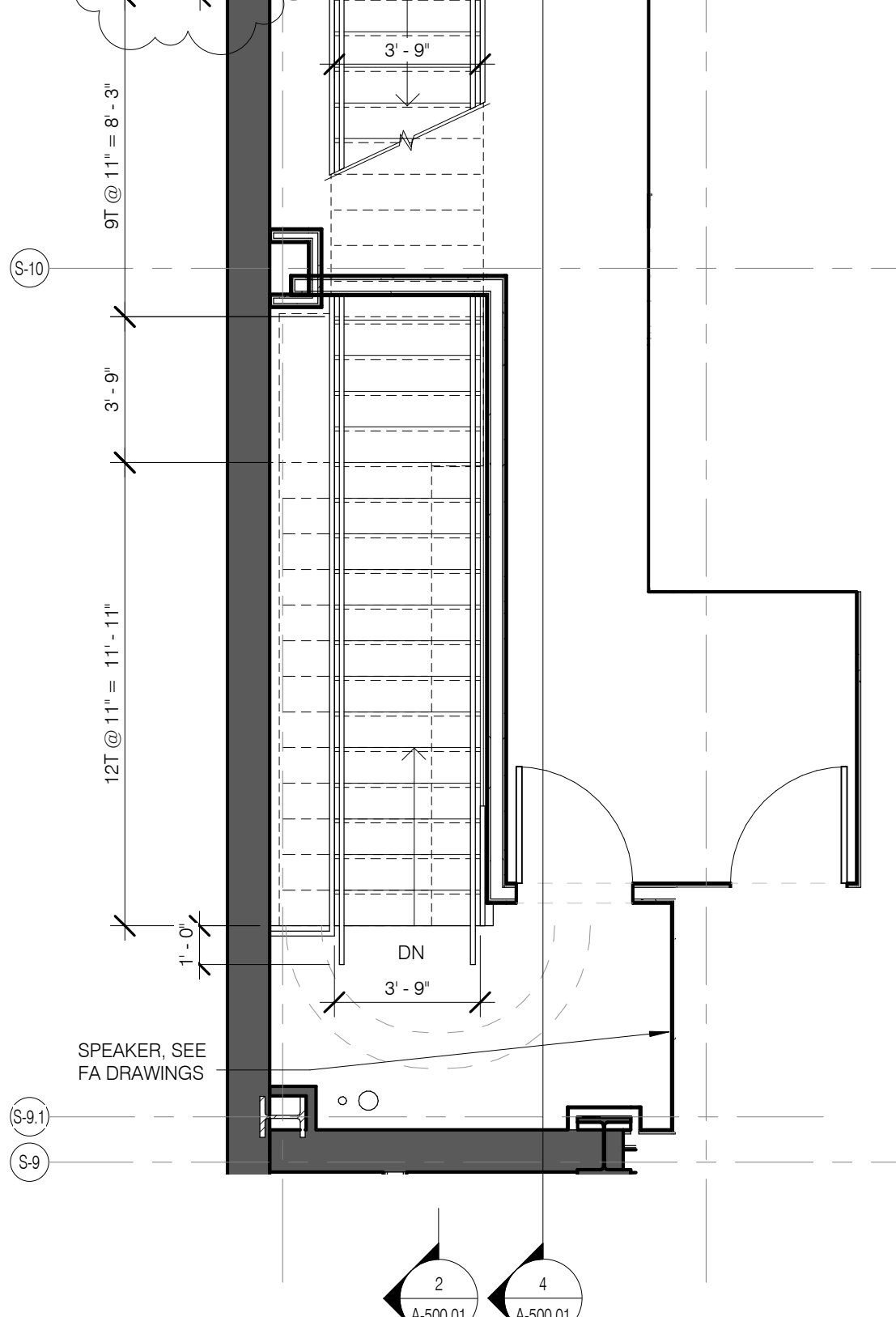
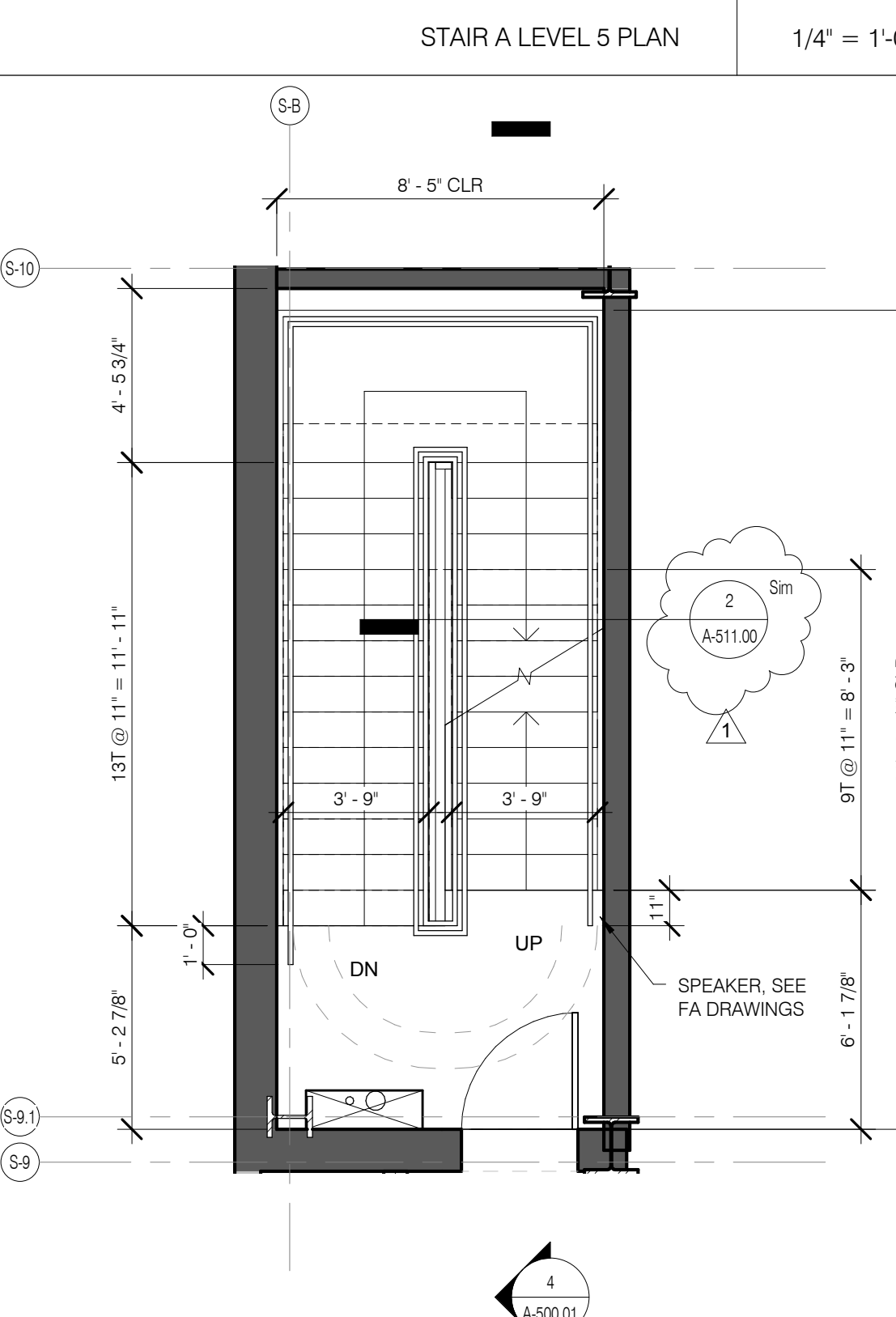
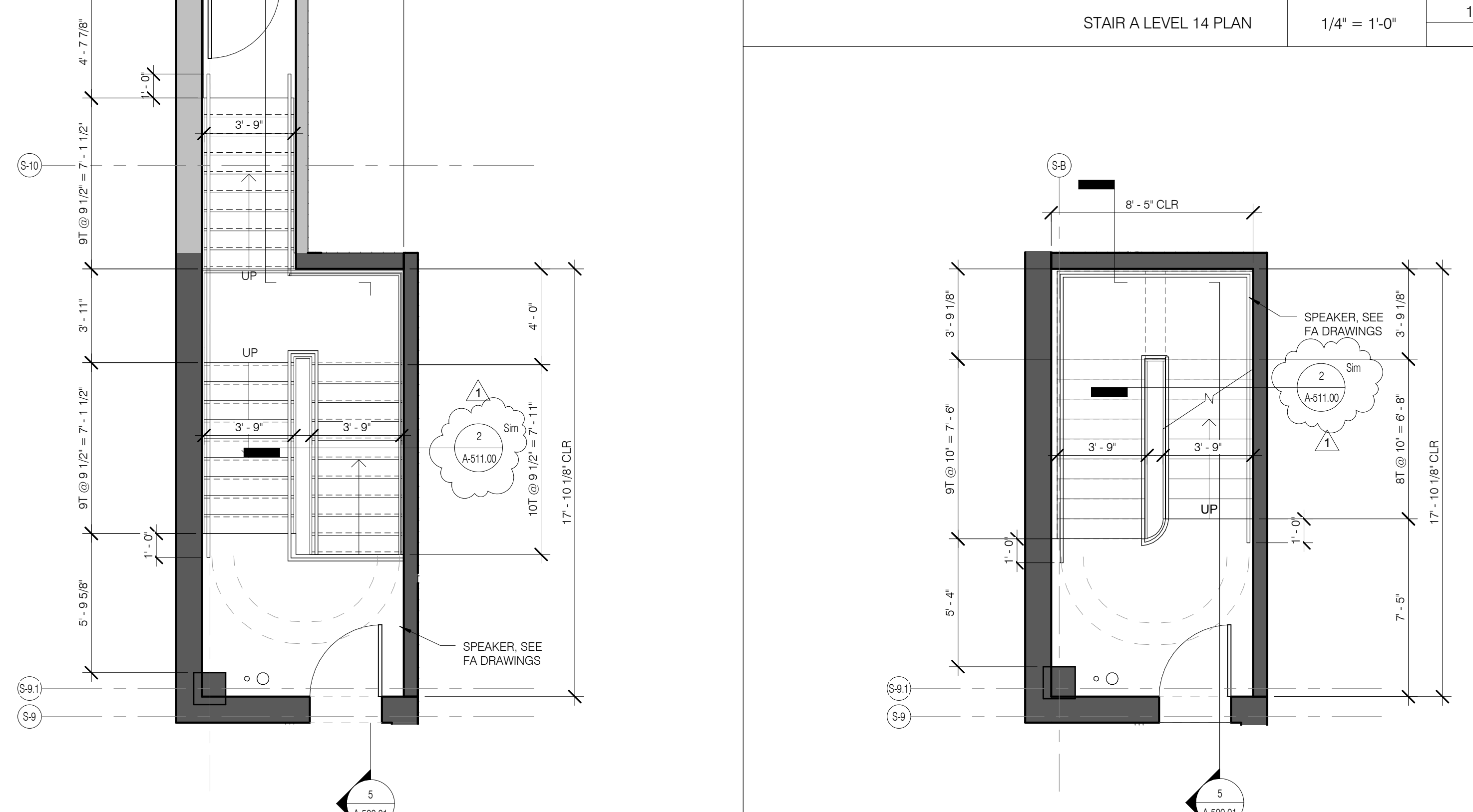
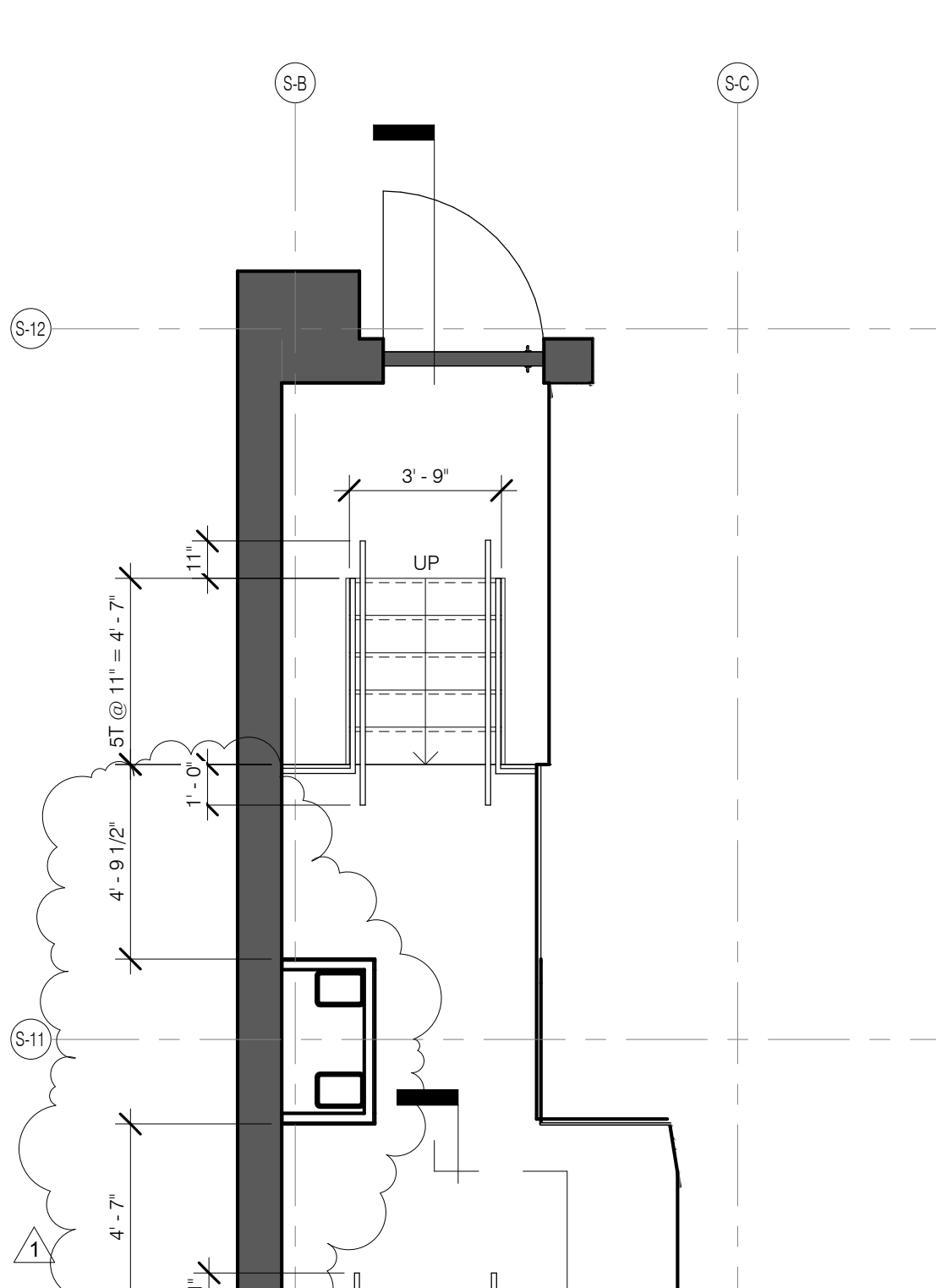
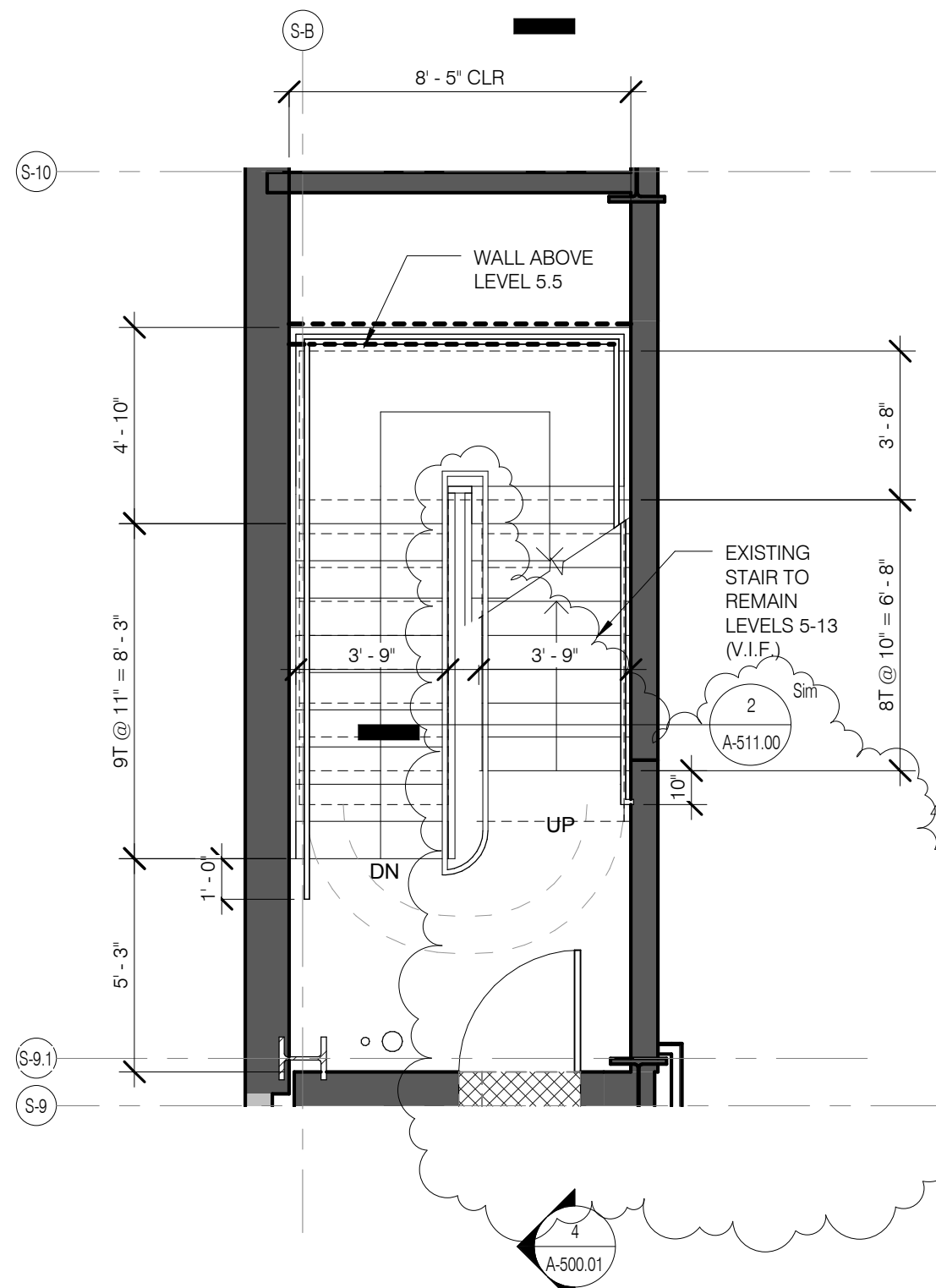
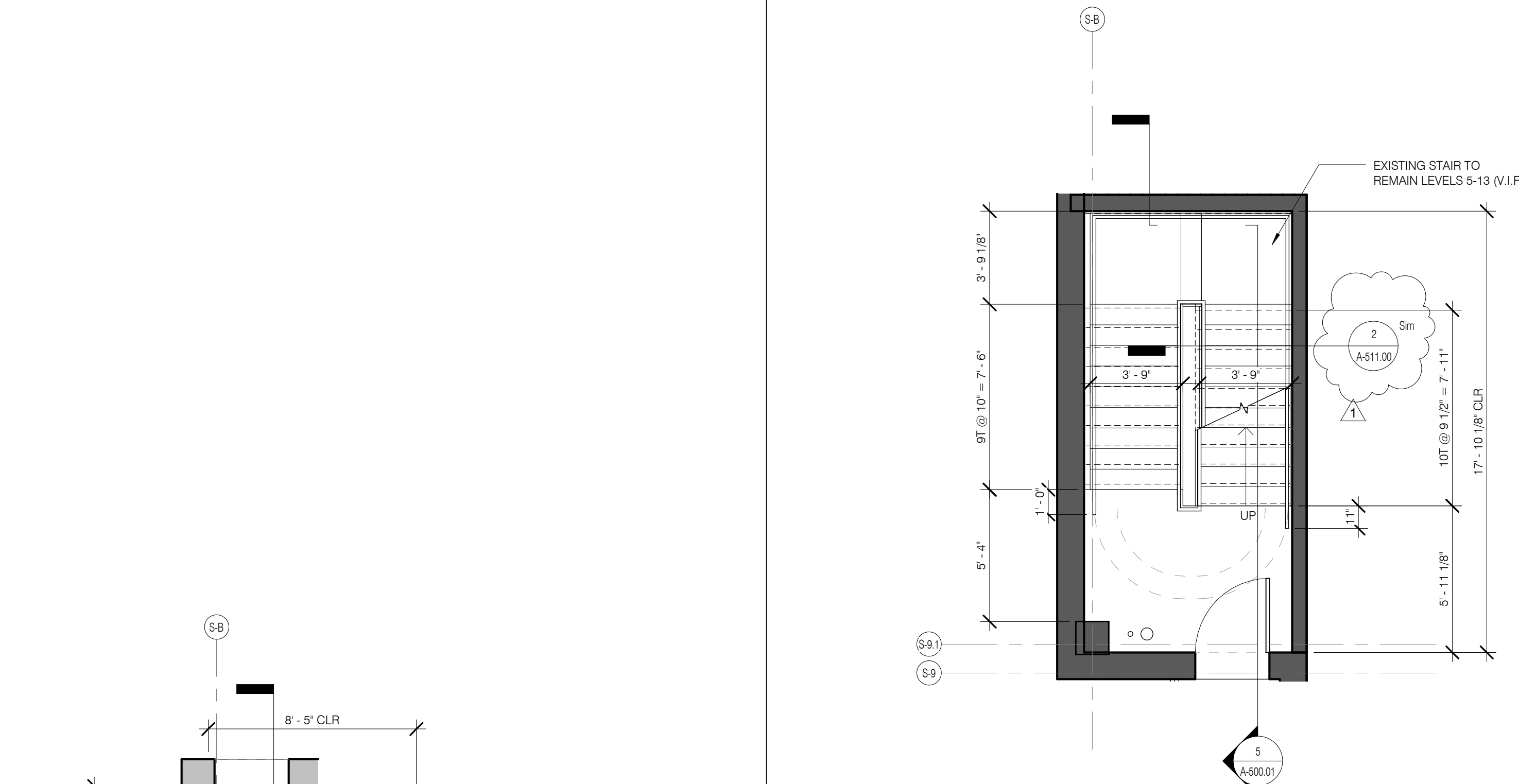


STAIR C CELLAR PLAN 1/4" = 1'-0" 2 A-501.01

STAIR A LEVELS 6-8, 10-12 PLAN 1/4" = 1'-0" 8 A-501.01

STAIR A LEVEL 2 PLAN 1/4" = 1'-0" 4 A-501.01

STAIR A LEVEL 15 PLAN 1/4" = 1'-0" 12 A-501.01



STAIR A LEVEL 16 PLAN 1/4" = 1'-0" 13 A-501.01

STAIR A LEVEL 4 PLAN 1/4" = 1'-0" 6 A-501.01

STAIR A GROUND PLAN 1/4" = 1'-0" 3 A-501.01

STAIR C SUB-CELLAR PLAN 1/4" = 1'-0" 1 A-501.01

STAIR A LEVEL 14 PLAN 1/4" = 1'-0" 11 A-501.01

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STAIR A LEVEL 4 PLAN 1/4" = 1'-0" 6 A-501.01

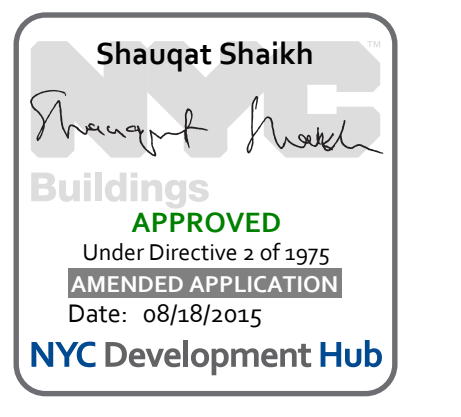
ARCHITECT	SHAP ARCHITECTS, P.C. 233 BROADWAY, 11TH FLOOR NEW YORK, NY 10005 NY 212.869.9336	FAÇADE	BURROUGHS WAREFIELD 105 BROADWAY NEW YORK, NY 10005 NY 212.254.2025
STRUCTURAL ENGINEER	YUSEF GANTOR BEYRAK 228 EAST 47TH STREET NEW YORK, NY 10017 NY 212.897.5986	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 1 BROADWAY, SUITE 2000 LARKSPER, NJ 07033 NY 201.983.8775
MEP ENGINEER	JARVIS, BAIN & BOLLER 80 WINE STREET, 12TH FLOOR NEW YORK, NY 10005 NY 212.869.9336	RESTORATION	JAN HRO POKORNY ASSOCIATES 30 WEST 57TH STREET, 11TH FLOOR NEW YORK, NY 10019 NY 212.255.4463
CIVIL ENGINEER	ARUP ENGINEERING, P.C. 40 FIFTH AVE, 26TH, 27TH FLOOR NEW YORK, NY 10003 NY 212.888.8628	GEO TECH	LONGMAN LINSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 NY 917.288.8900
ACOUSTIC	LONGMAN LINSEY 40 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 NY 917.288.8900	INTERIORS	TLONK ZENFIELD 200 WALKER STREET NEW YORK, NY 10002 NY 212.475.3300
CONSERVATION	CONSERVATION INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 NY 212.255.4463	LIGHTING	CONSERVATION INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 NY 212.255.4463



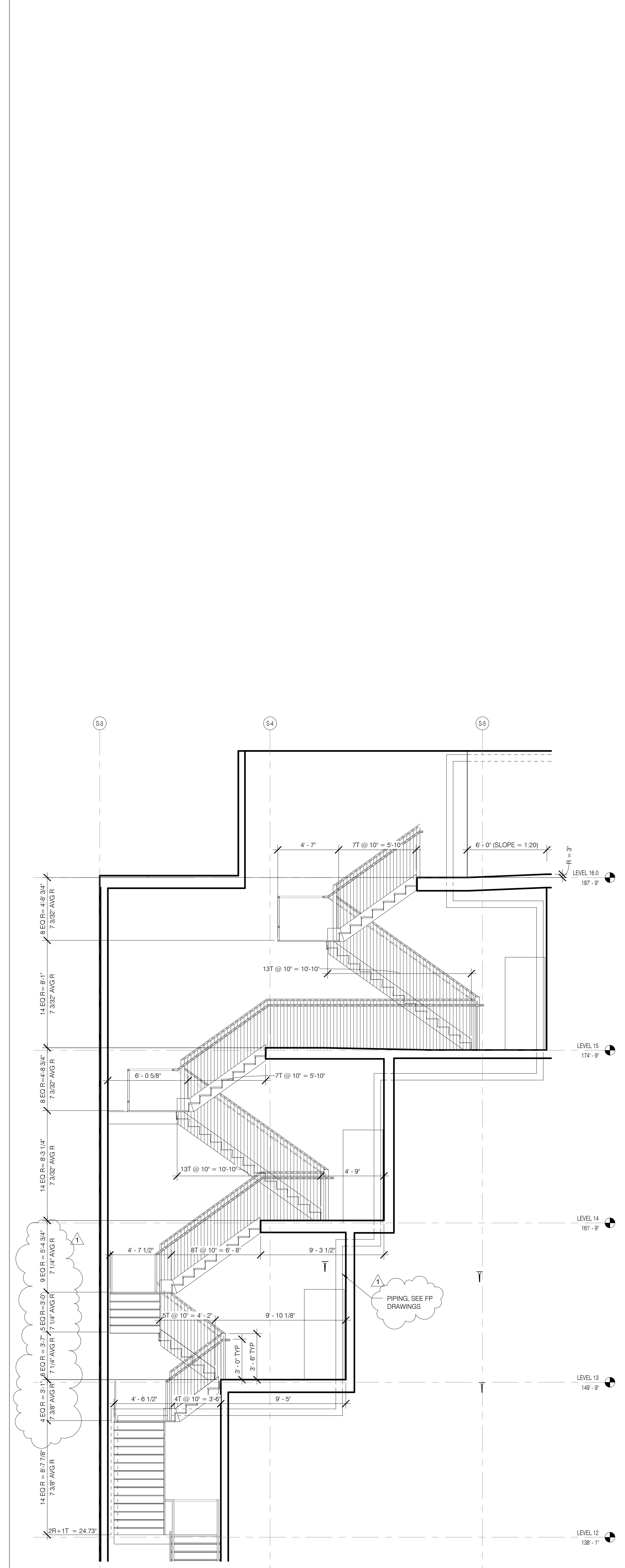
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NY 212.869.9336

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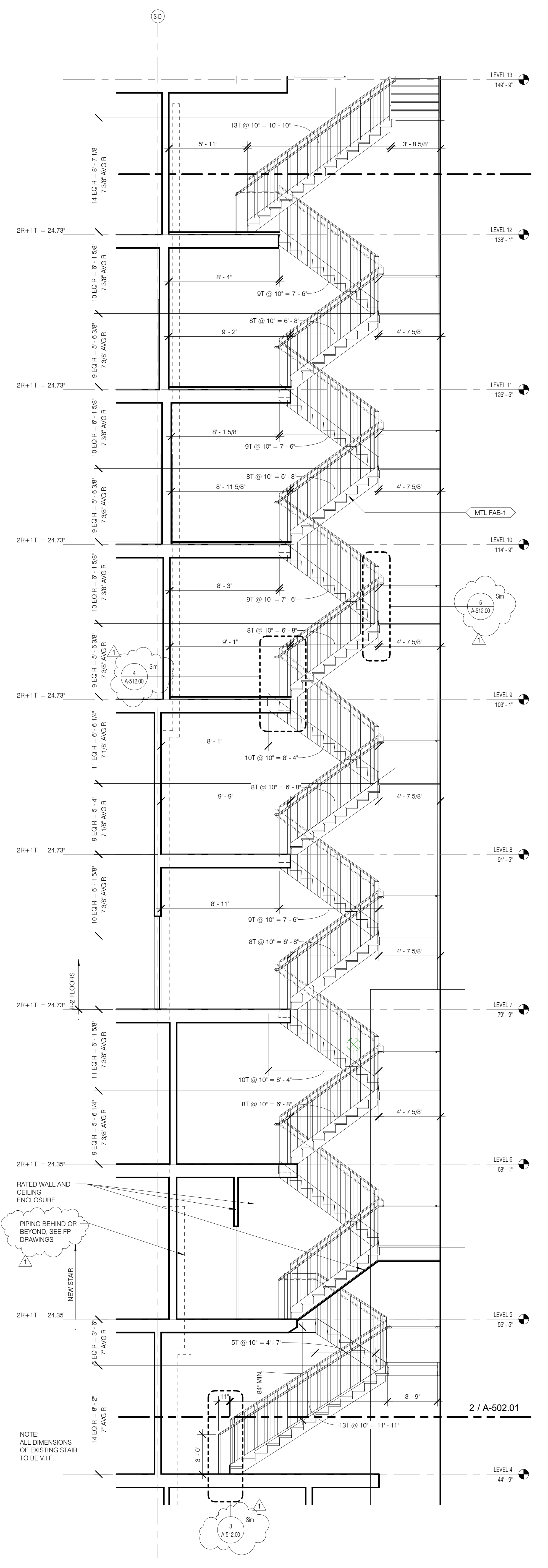
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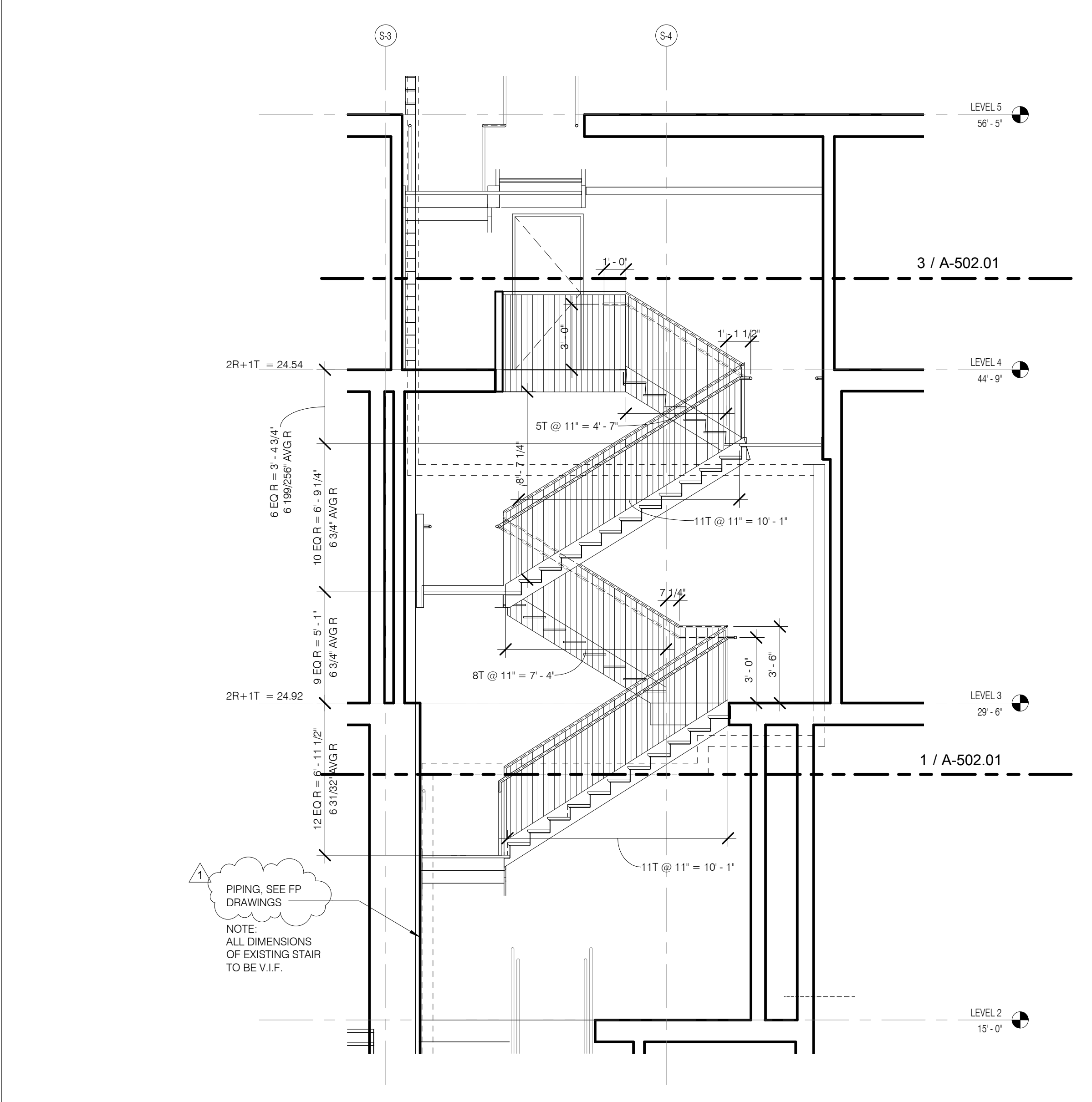
111 WEST 57TH STREET  
111 WEST 57TH STREET  
NEW YORK, NY 10019



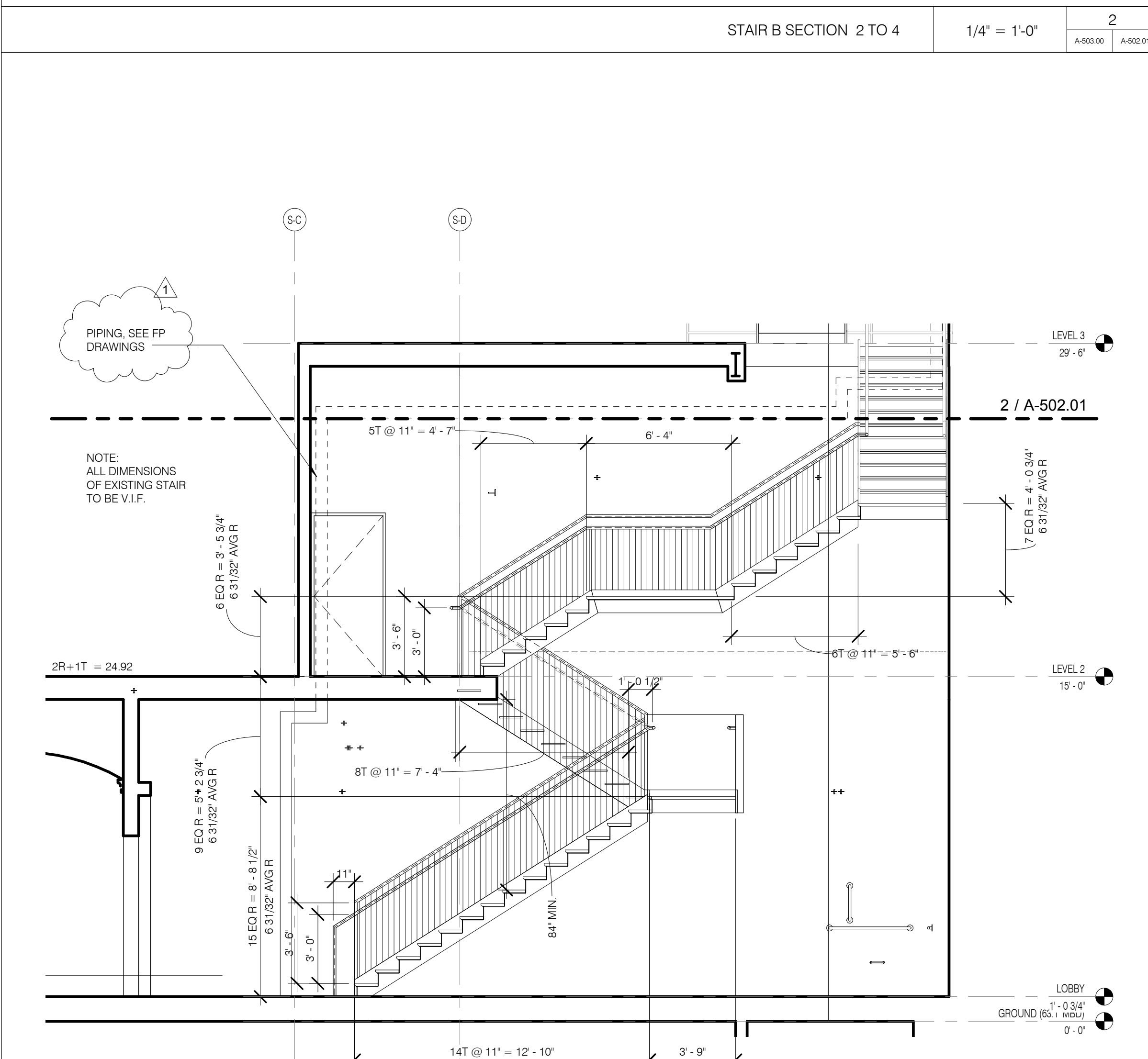
STAIR B SECTION 13 TO 16 1/4" = 1'-0" 4 A-502.01



STAIR B SECTION 5 TO 12 1/4" = 1'-0" 3 A-502.01



STAIR B SECTION 2 TO 4 1/4" = 1'-0" 2 A-502.01



STAIR B SECTION GFL TO 2 1/4" = 1'-0" 1 A-502.01

NO.	DATE	REVISION
1	3/27/15	DOB PAA

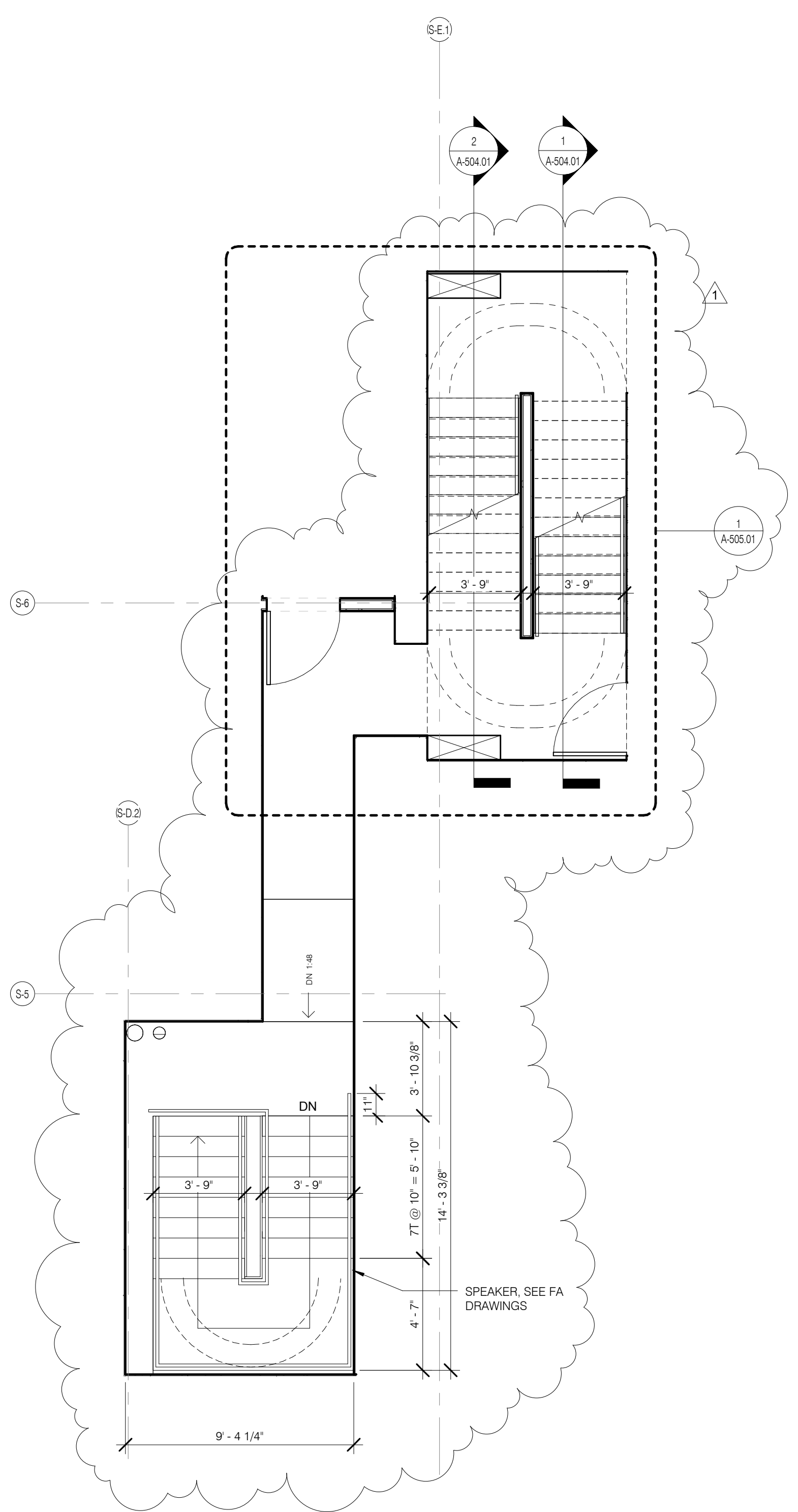
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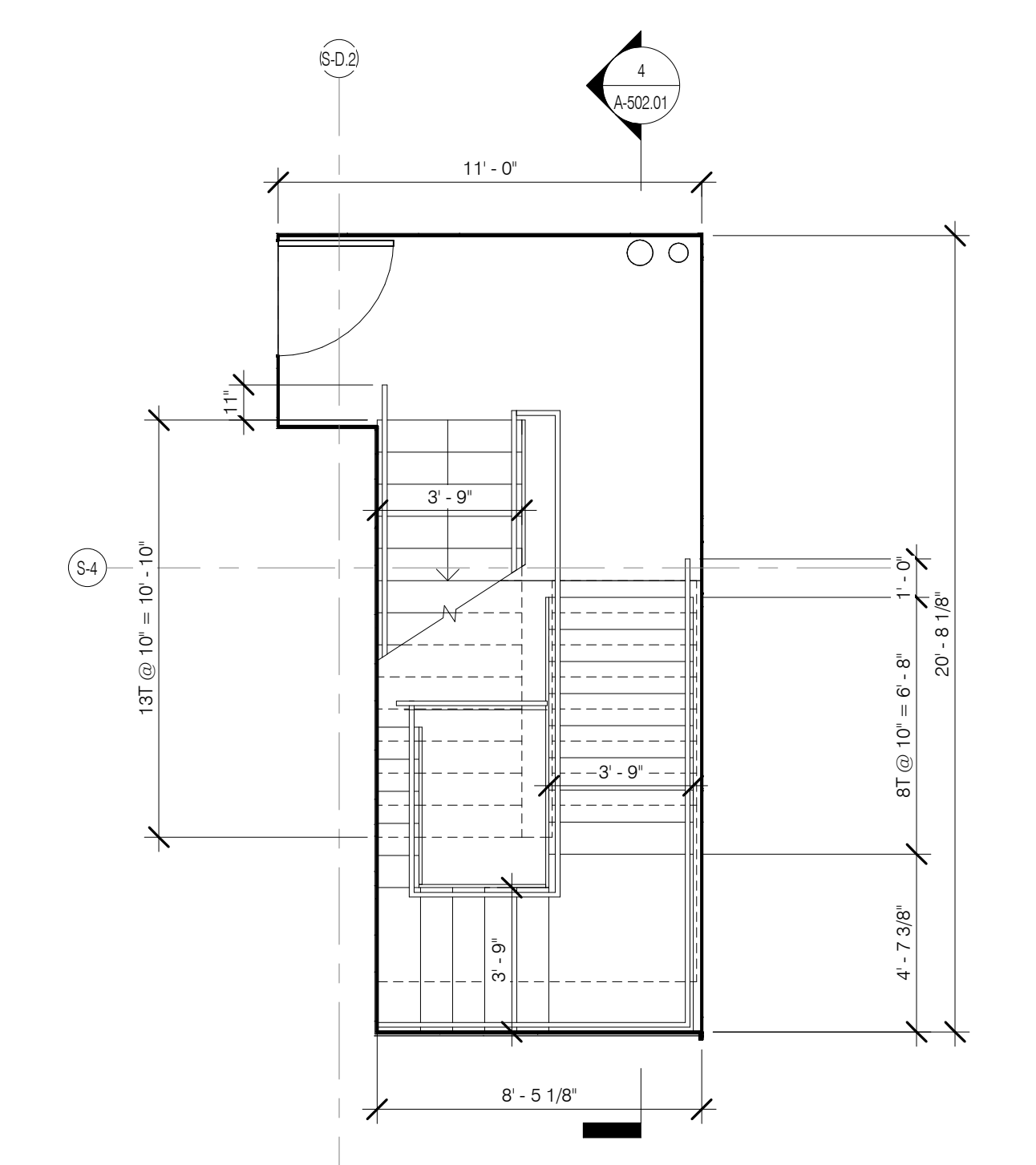
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DRAWN BY SHAP  
CHECKED BY SHAP  
DOB NO. 121332066  
DRAWING NUMBER

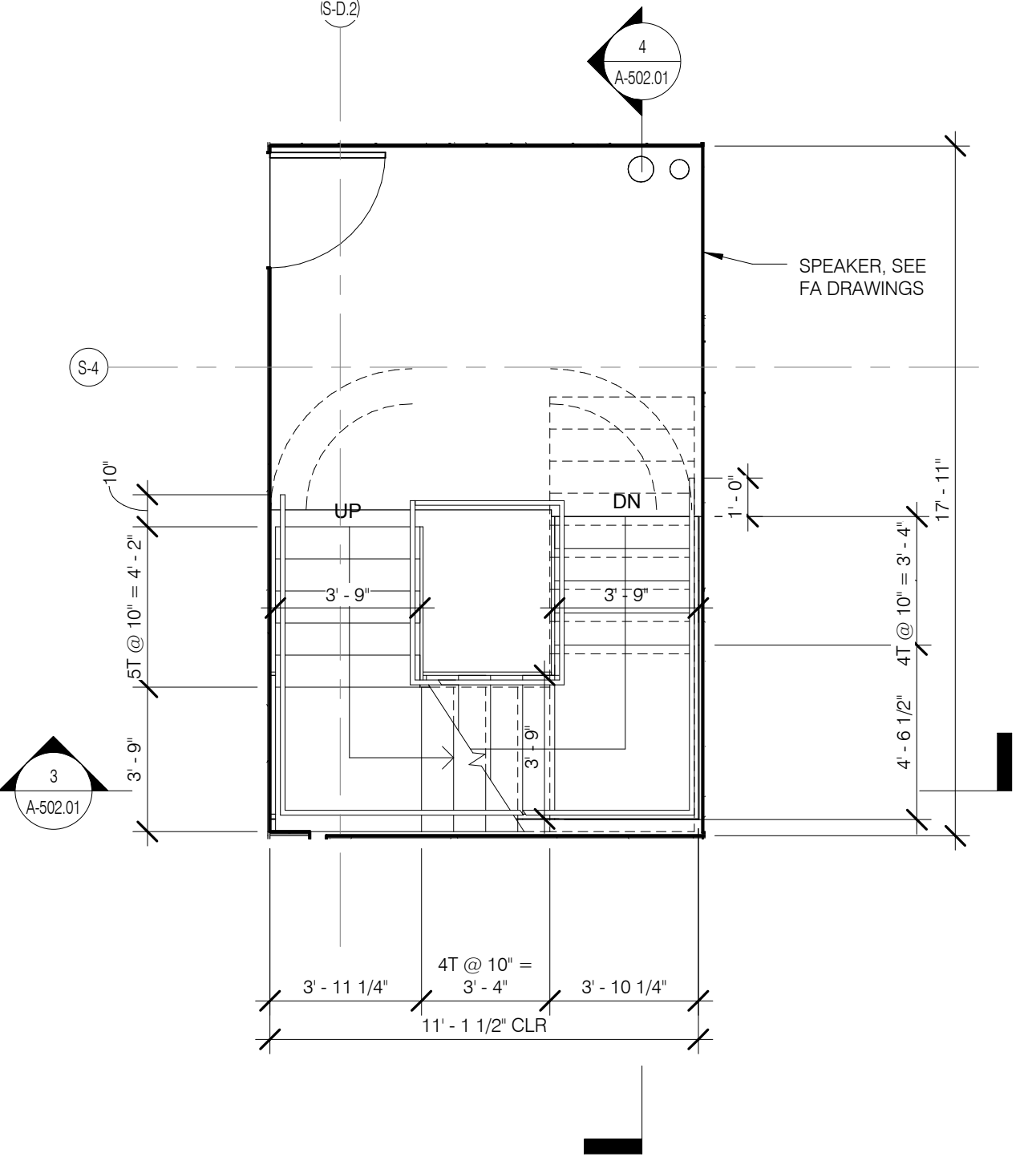
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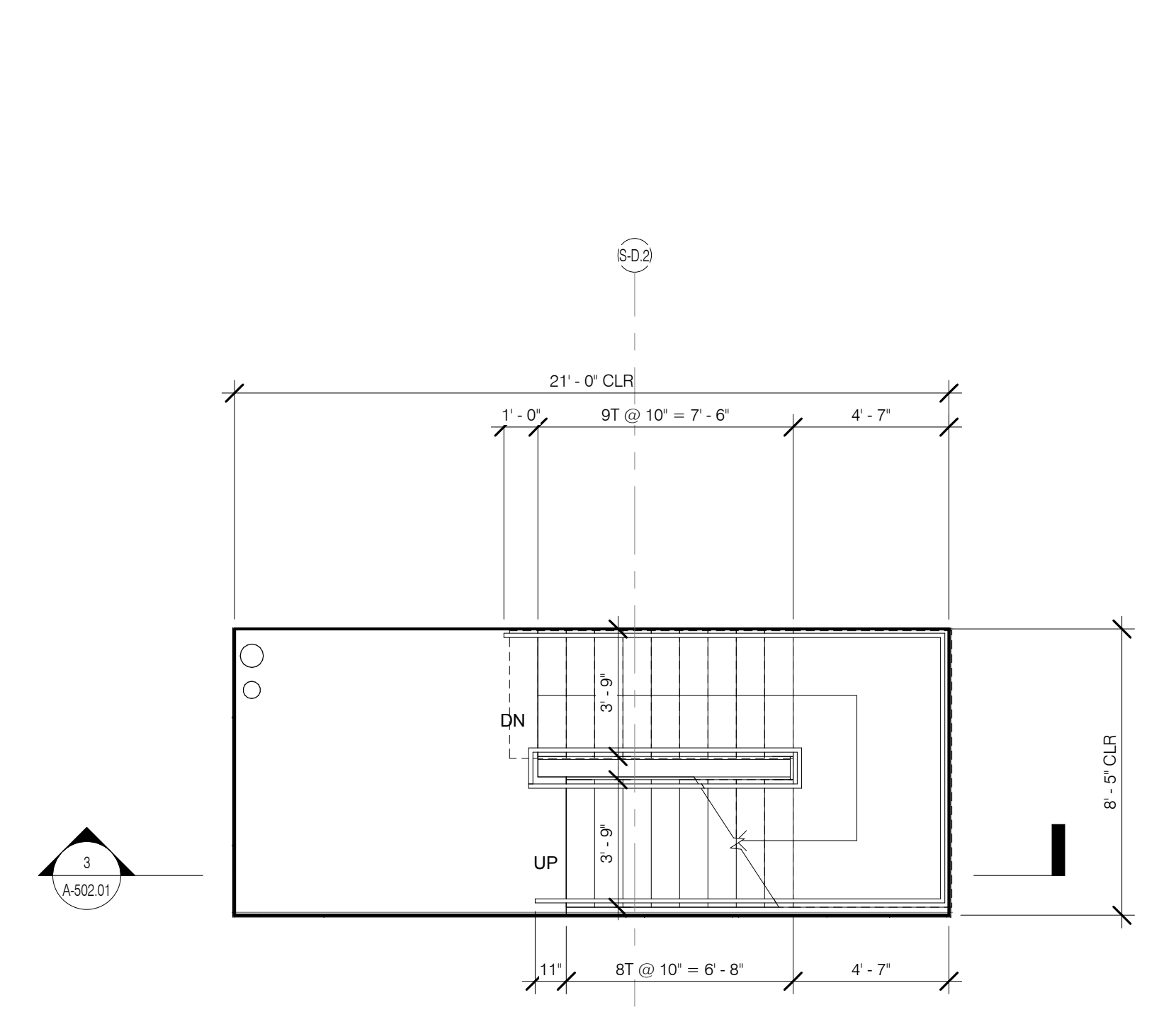
STAIR B LEVEL 16 PLAN 1/4" = 1'-0" 14



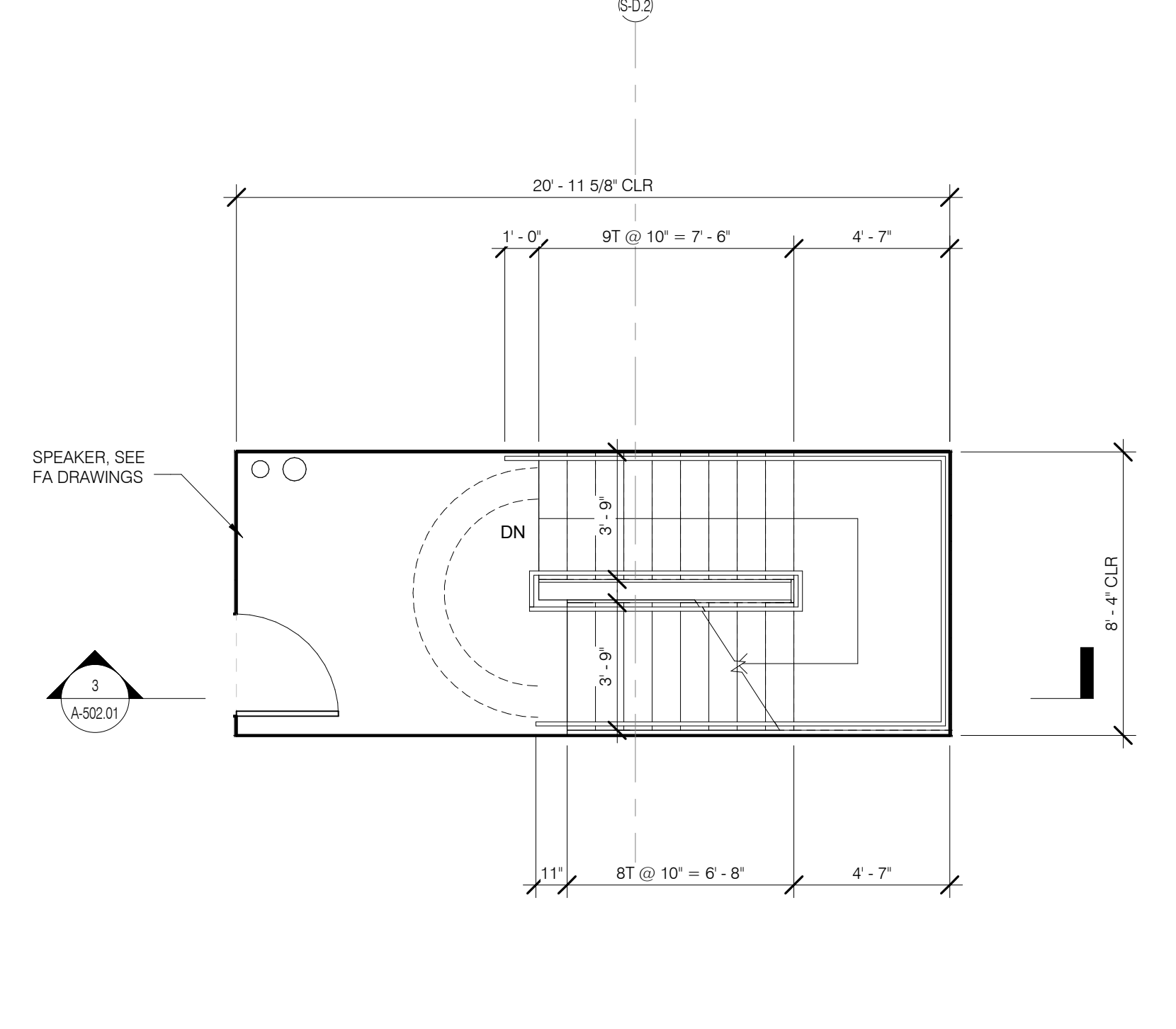
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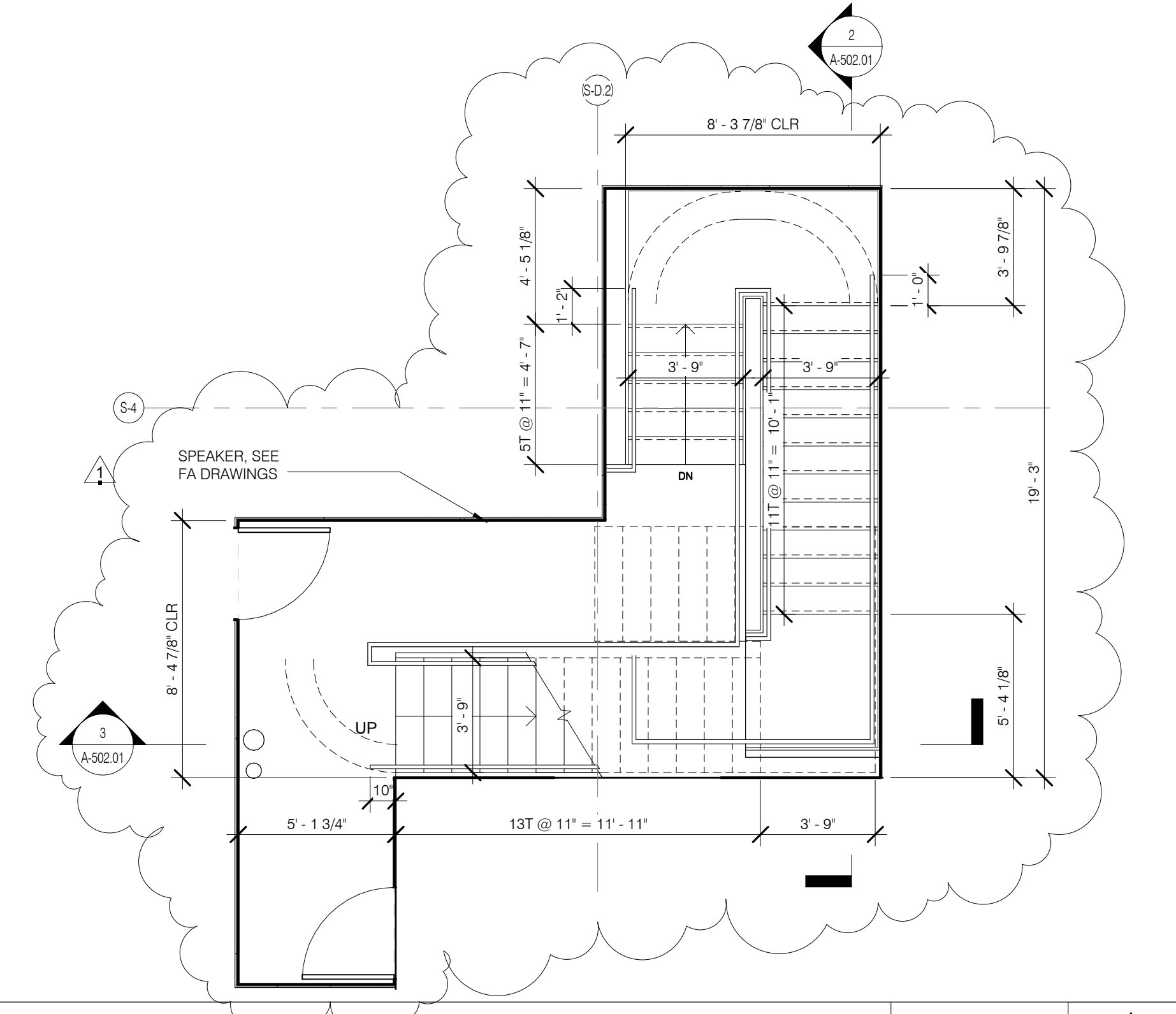
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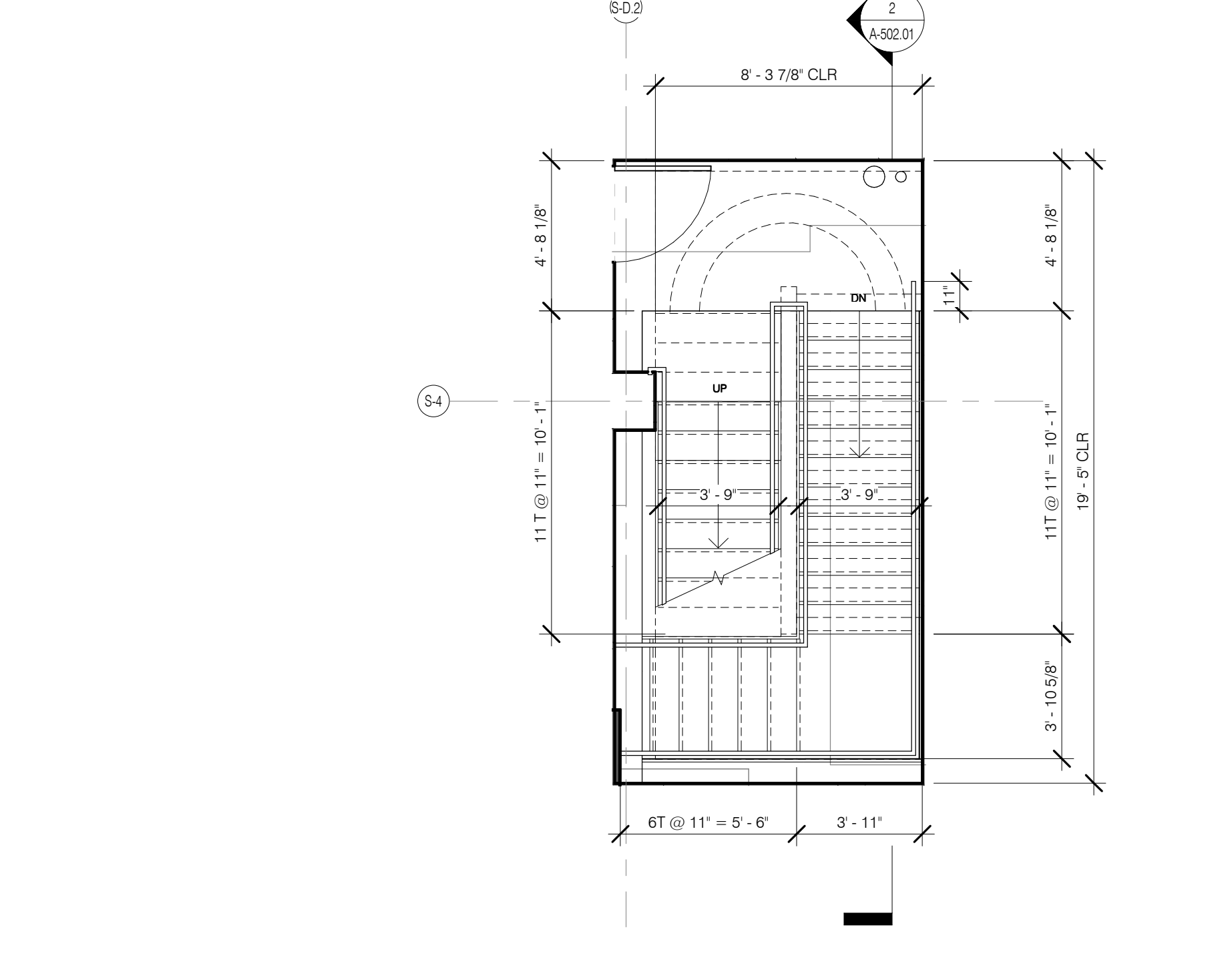
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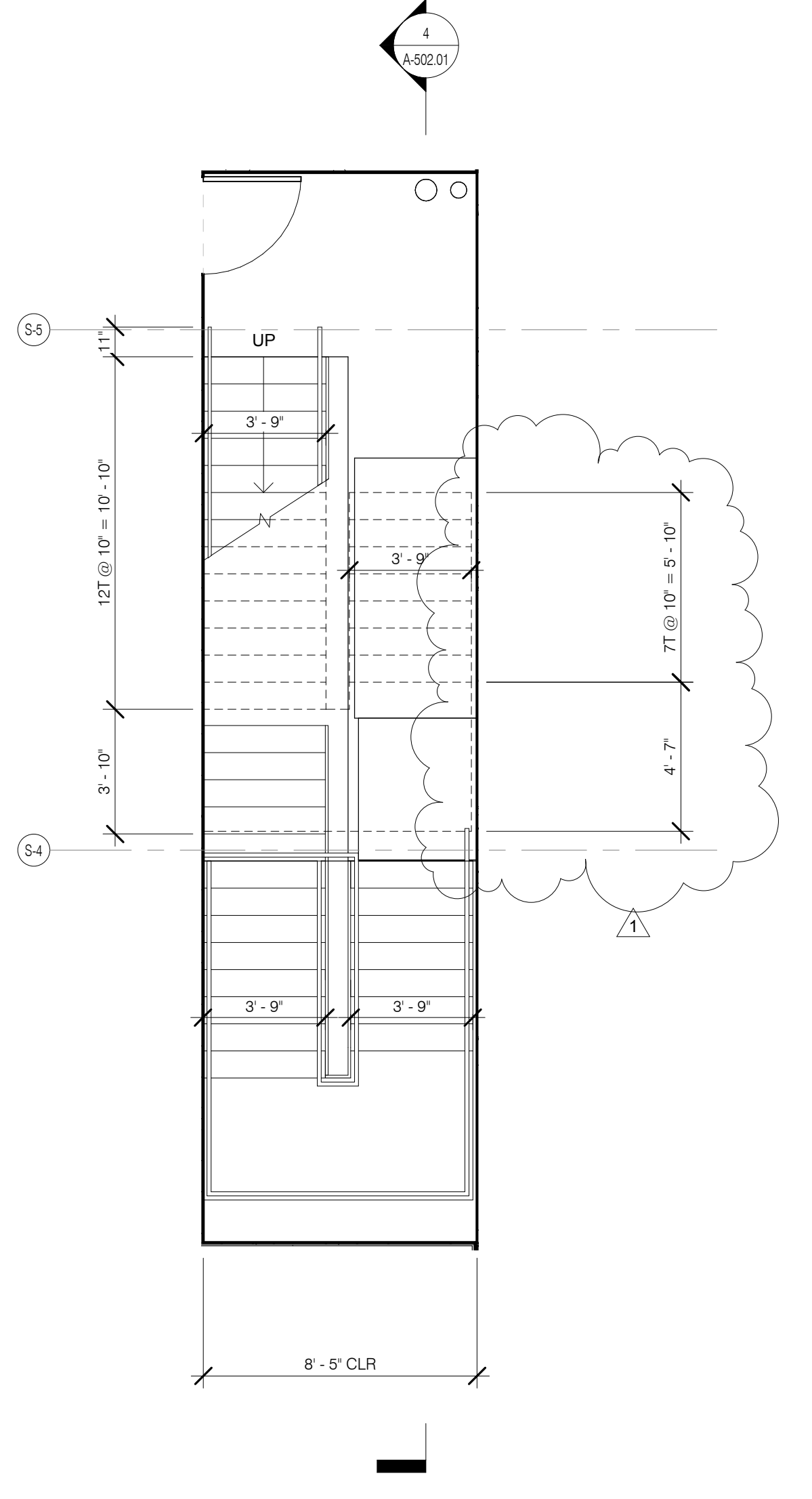
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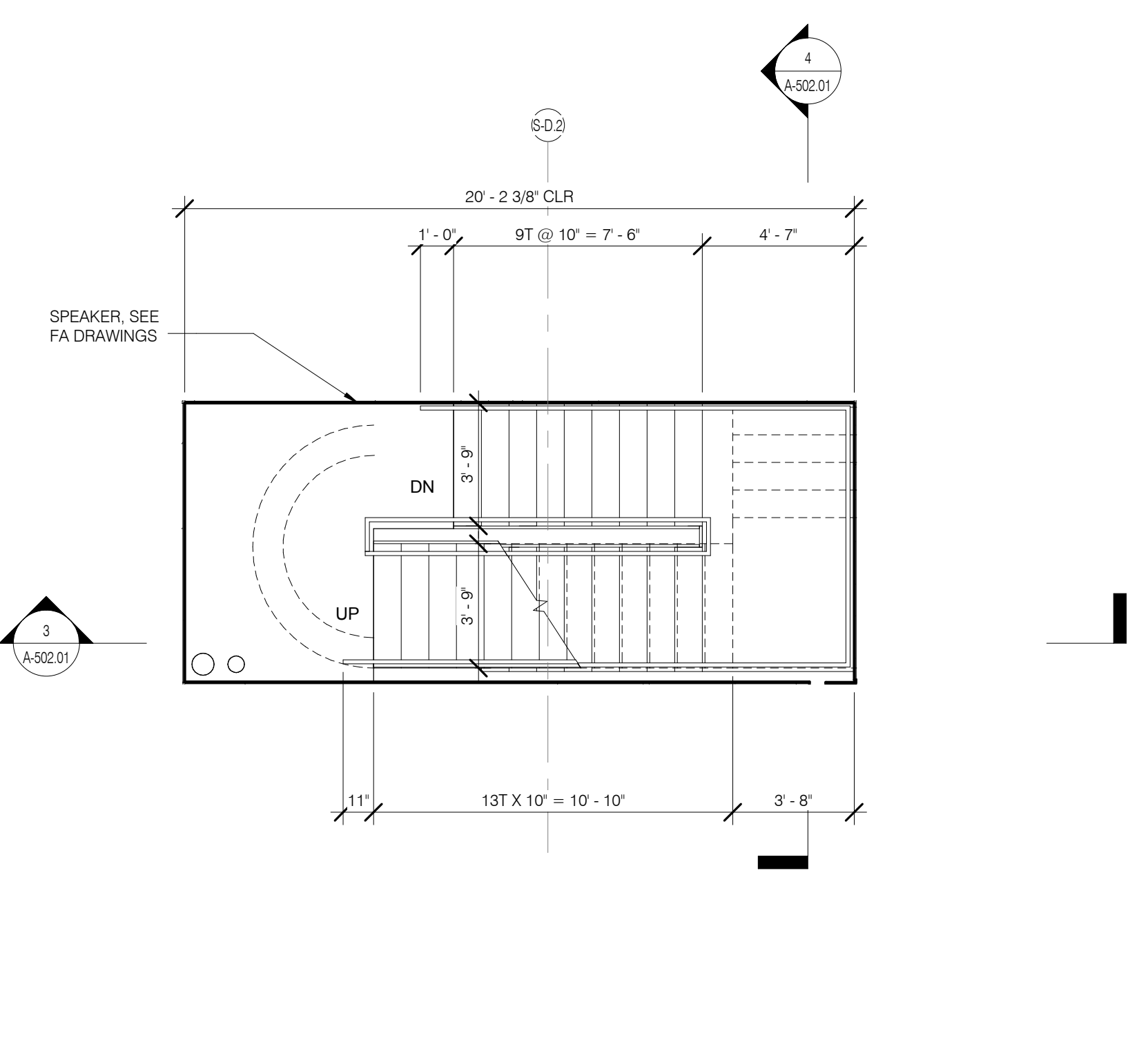
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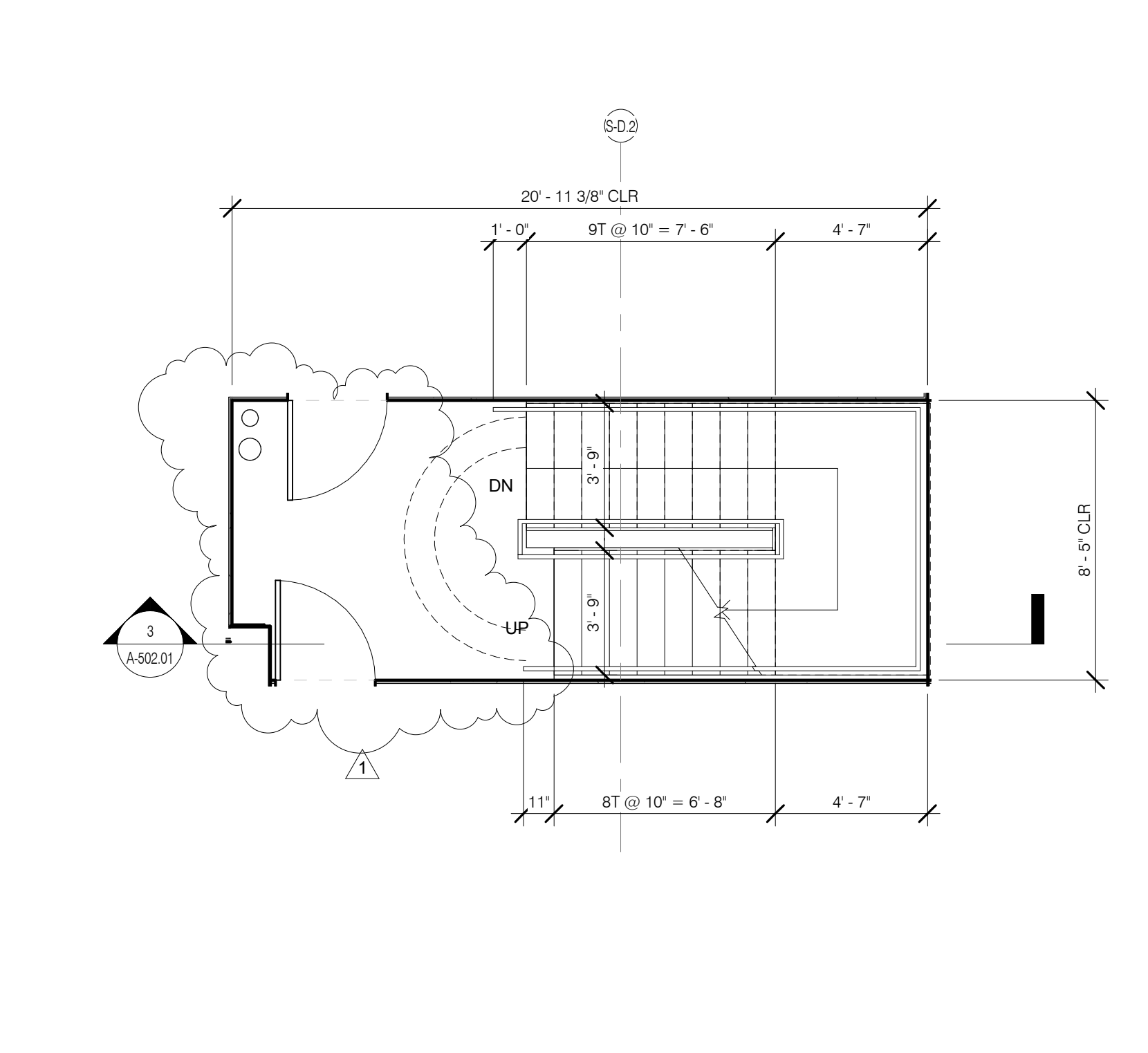
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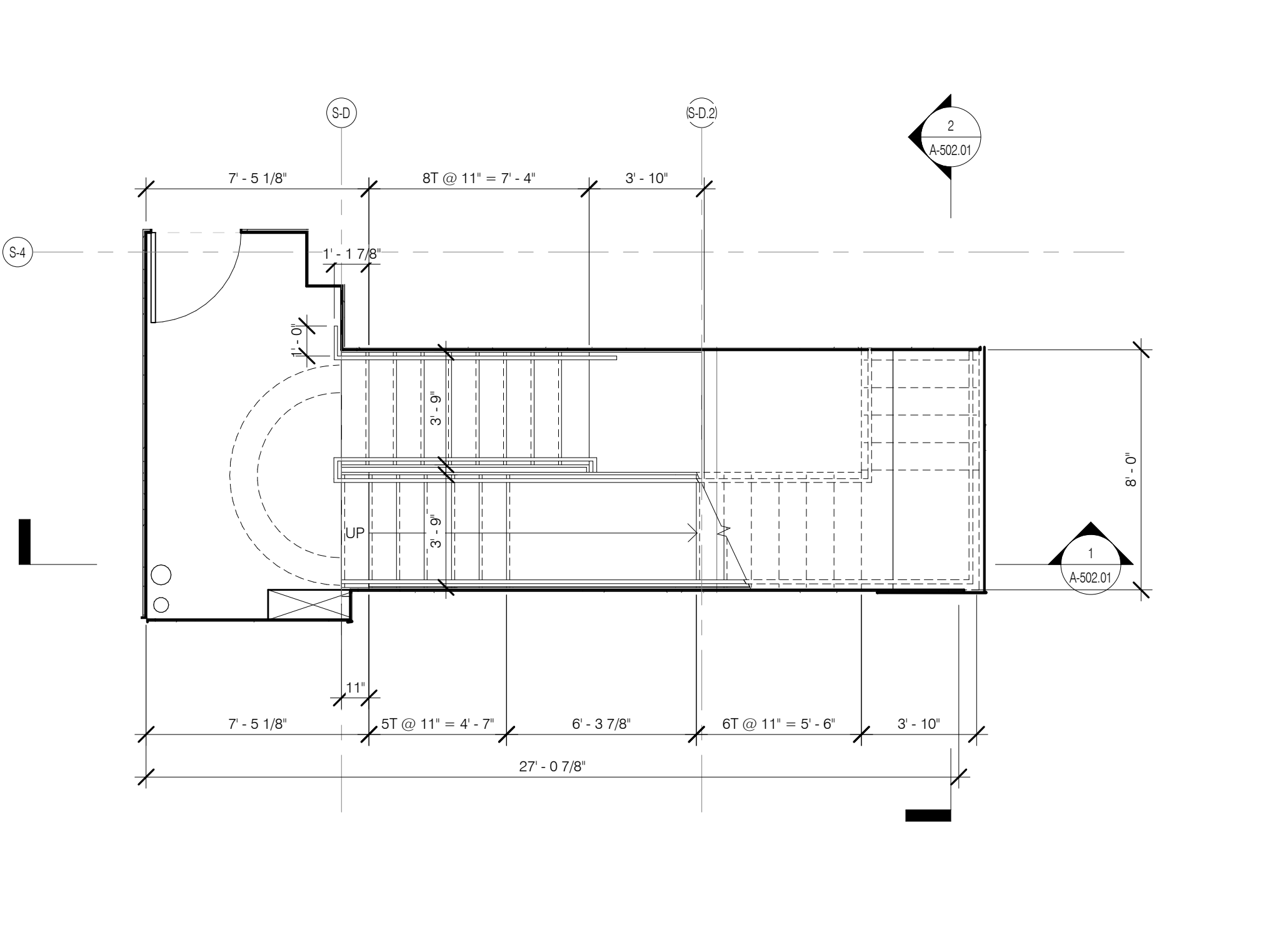
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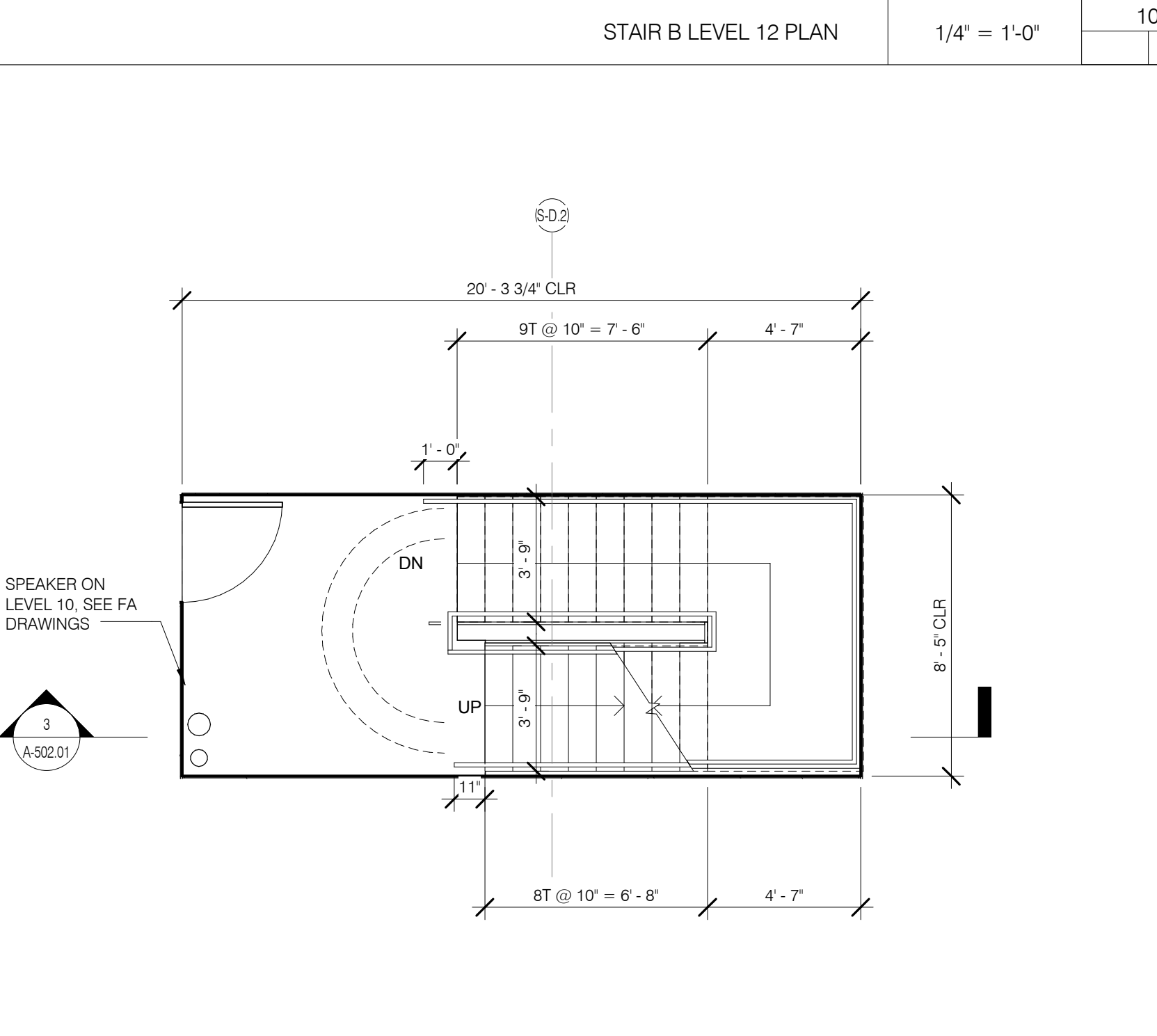
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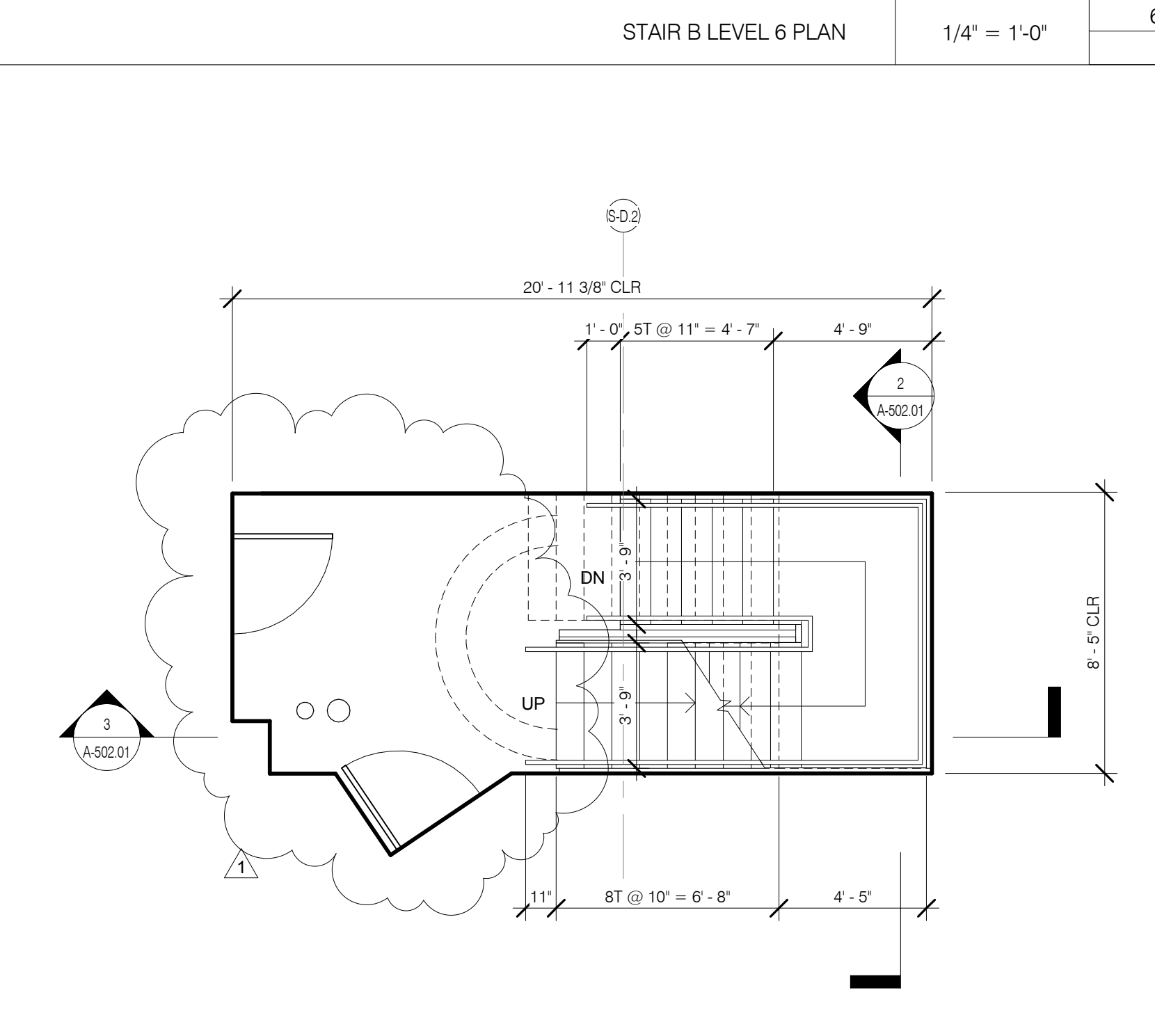
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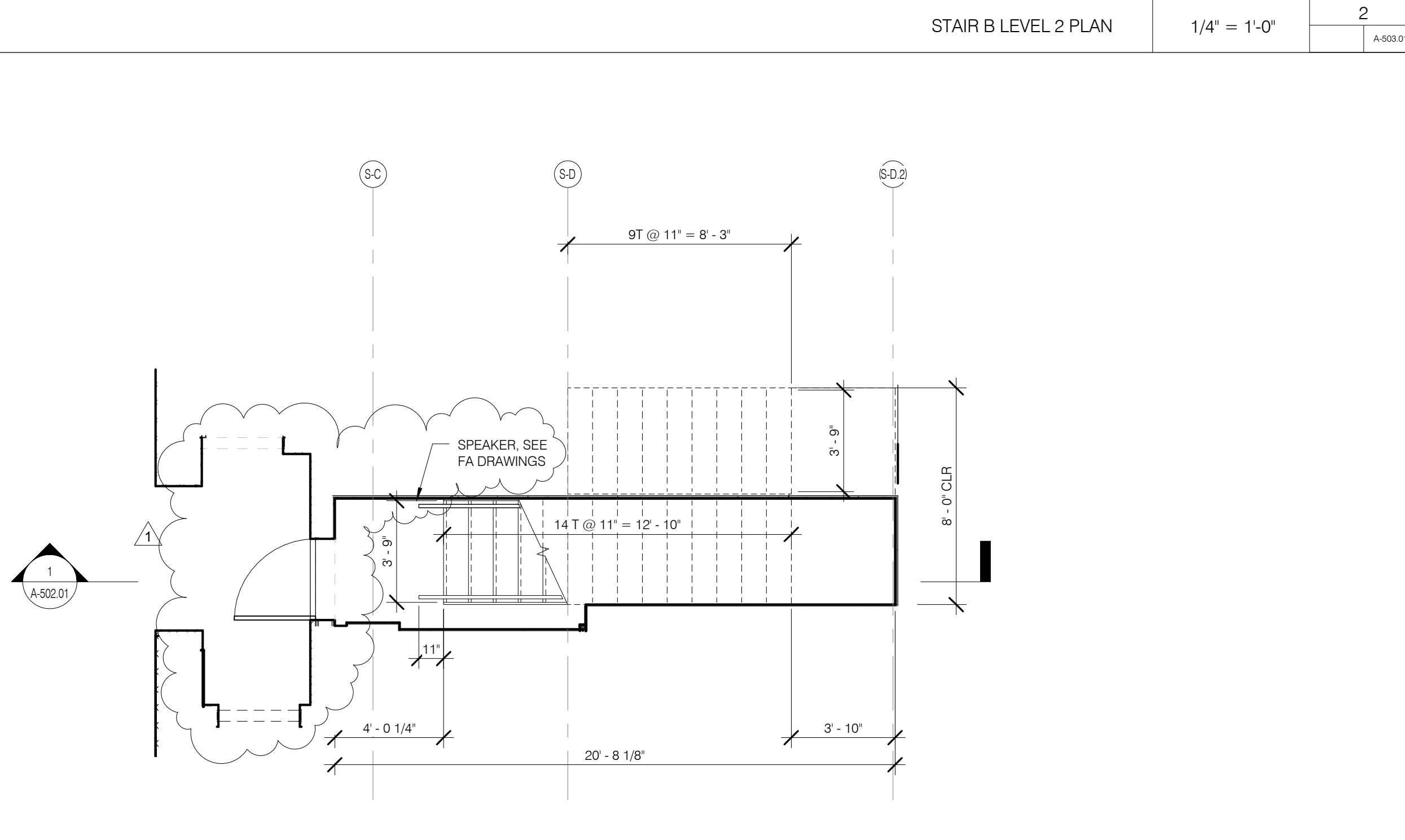
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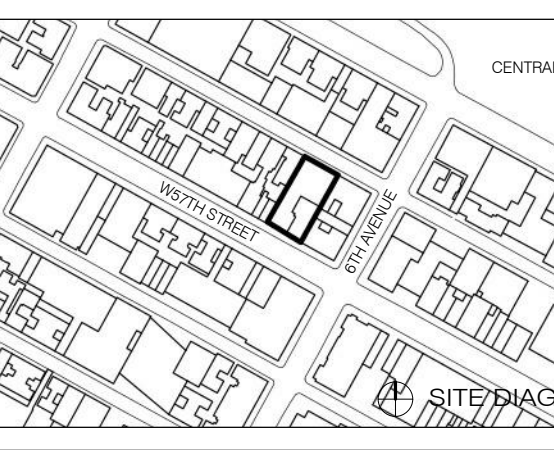
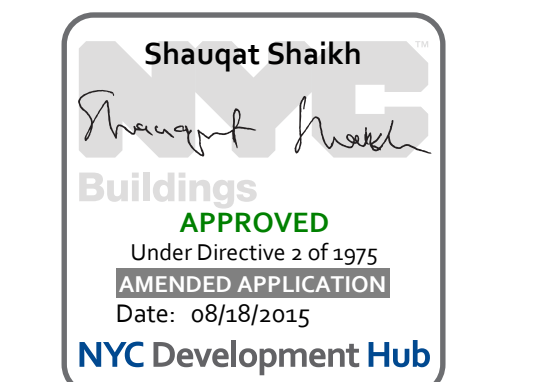
STAIR B LEVELS 9-11 PLAN 1/4" = 1'-0" 9



STAIR B LEVEL 5 PLAN 1/4" = 1'-0" 5



STAIR B GROUND PLAN 1/4" = 1'-0" 1

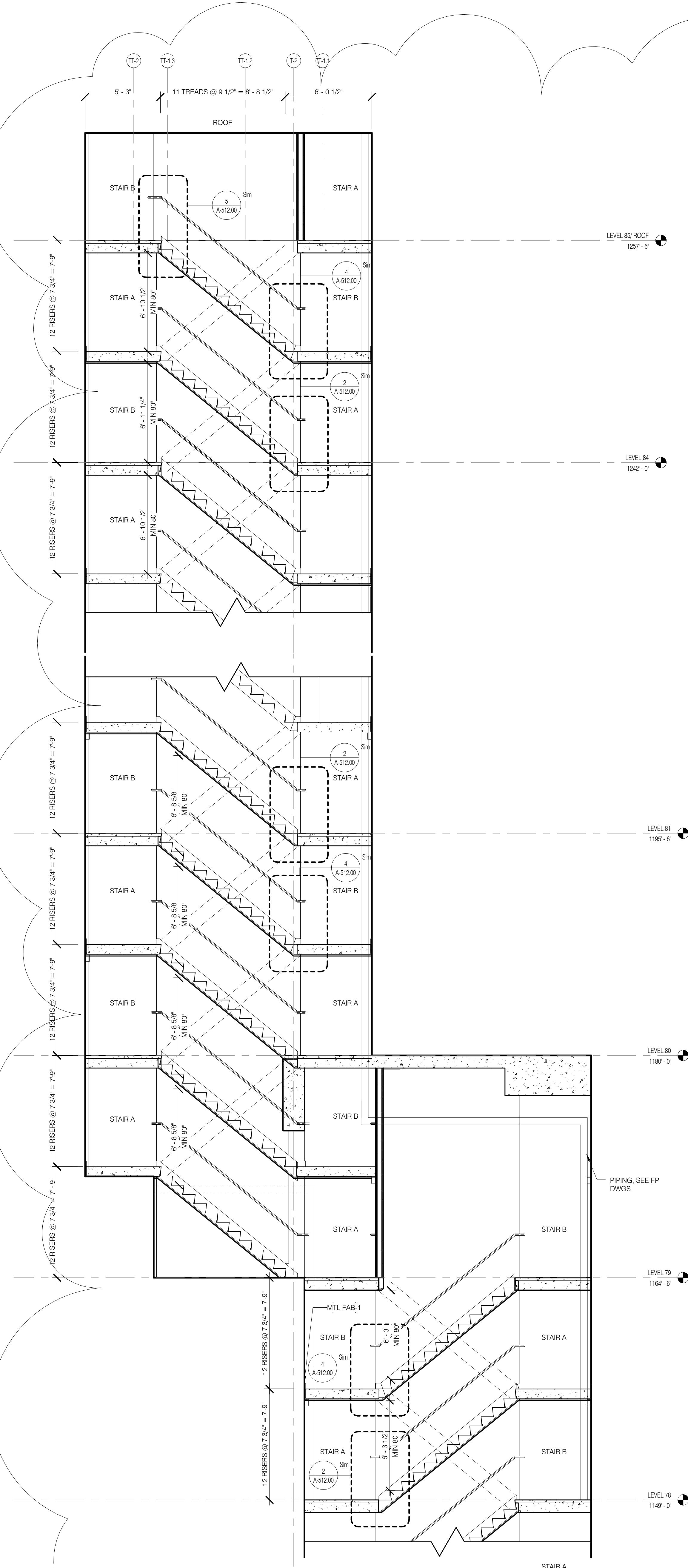
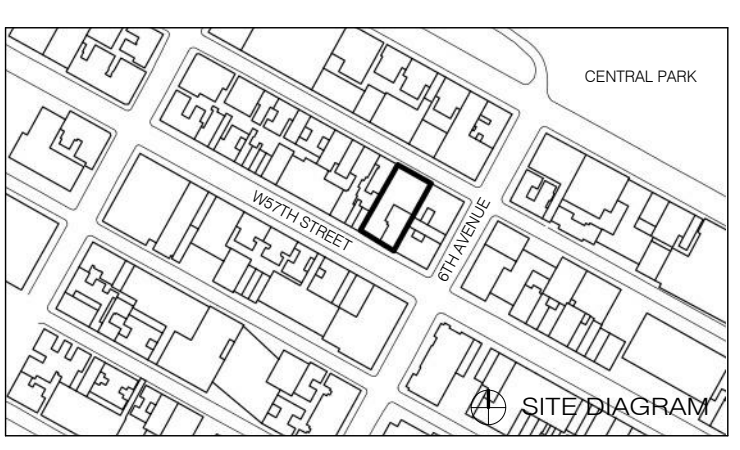
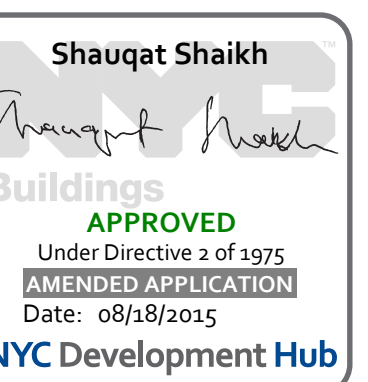


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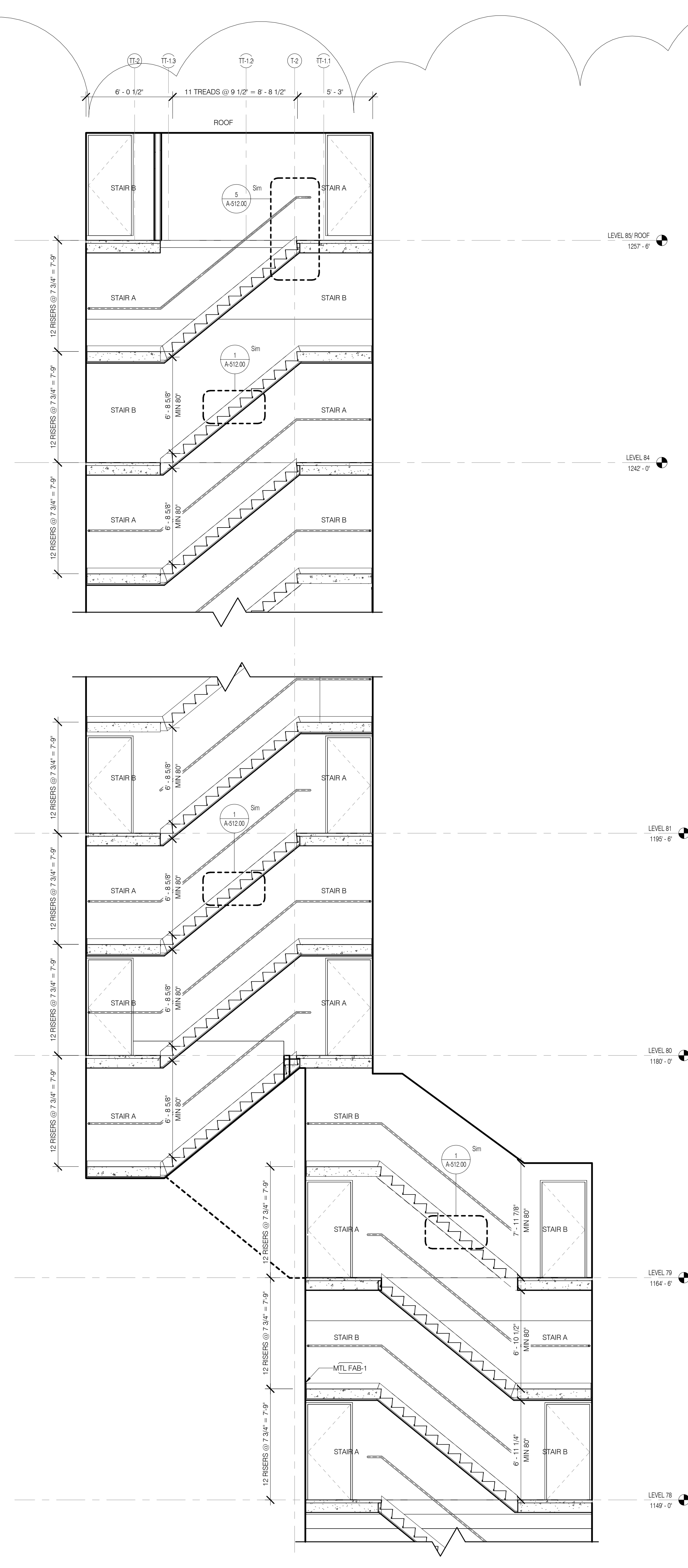
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**STAIR B ENLARGED PLANS**

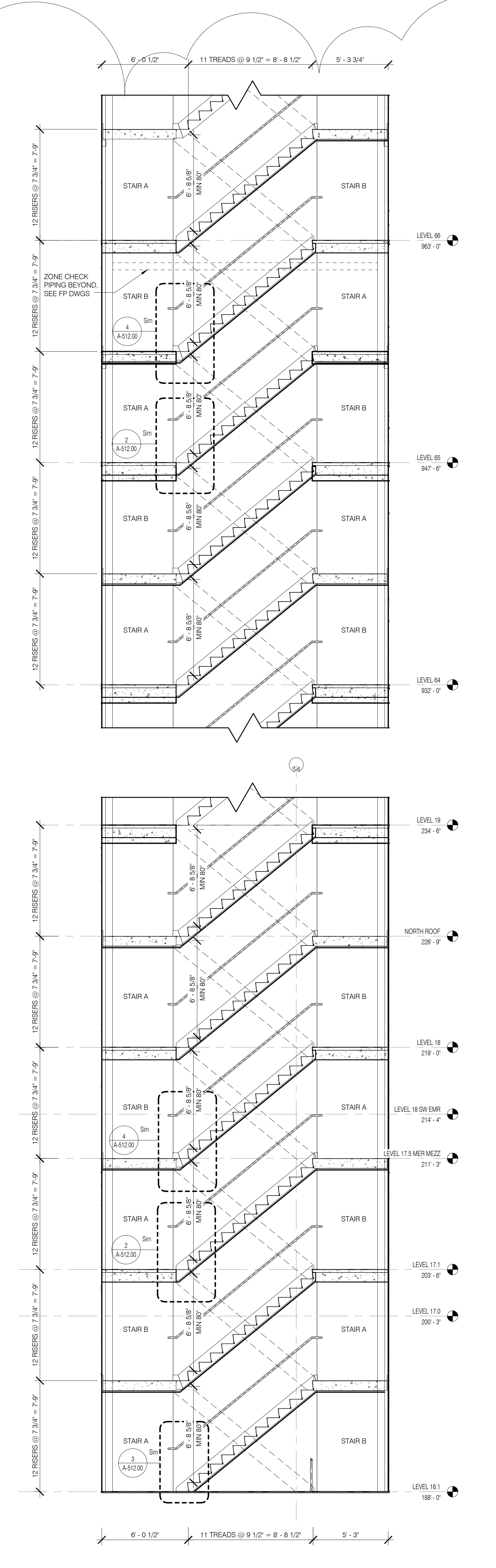
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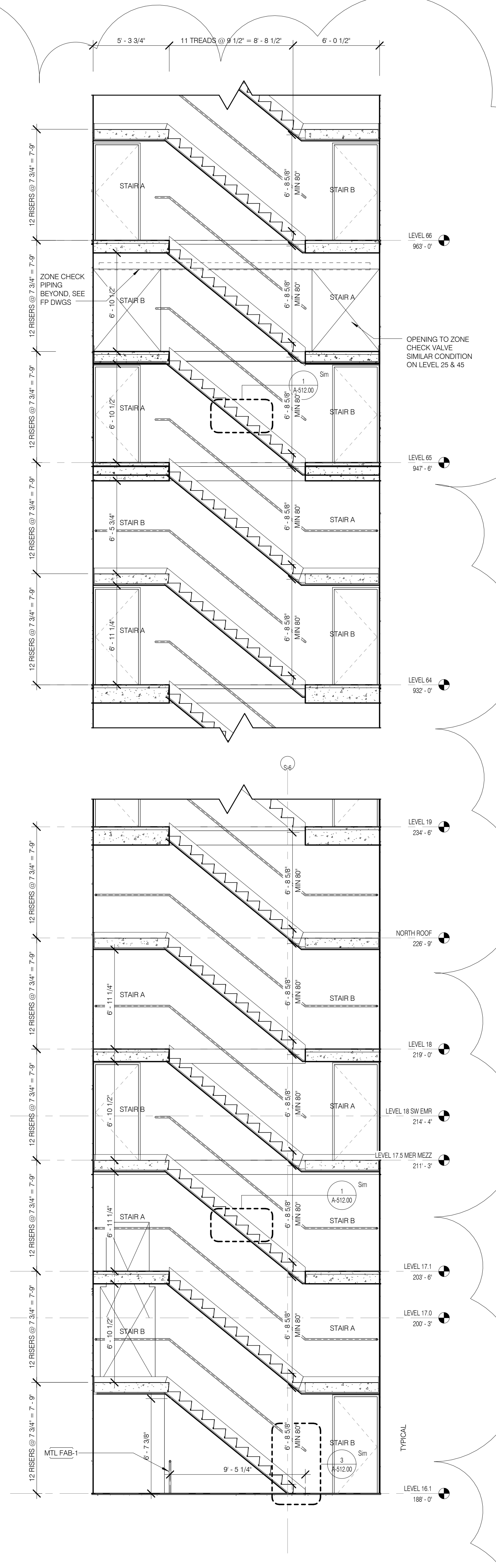
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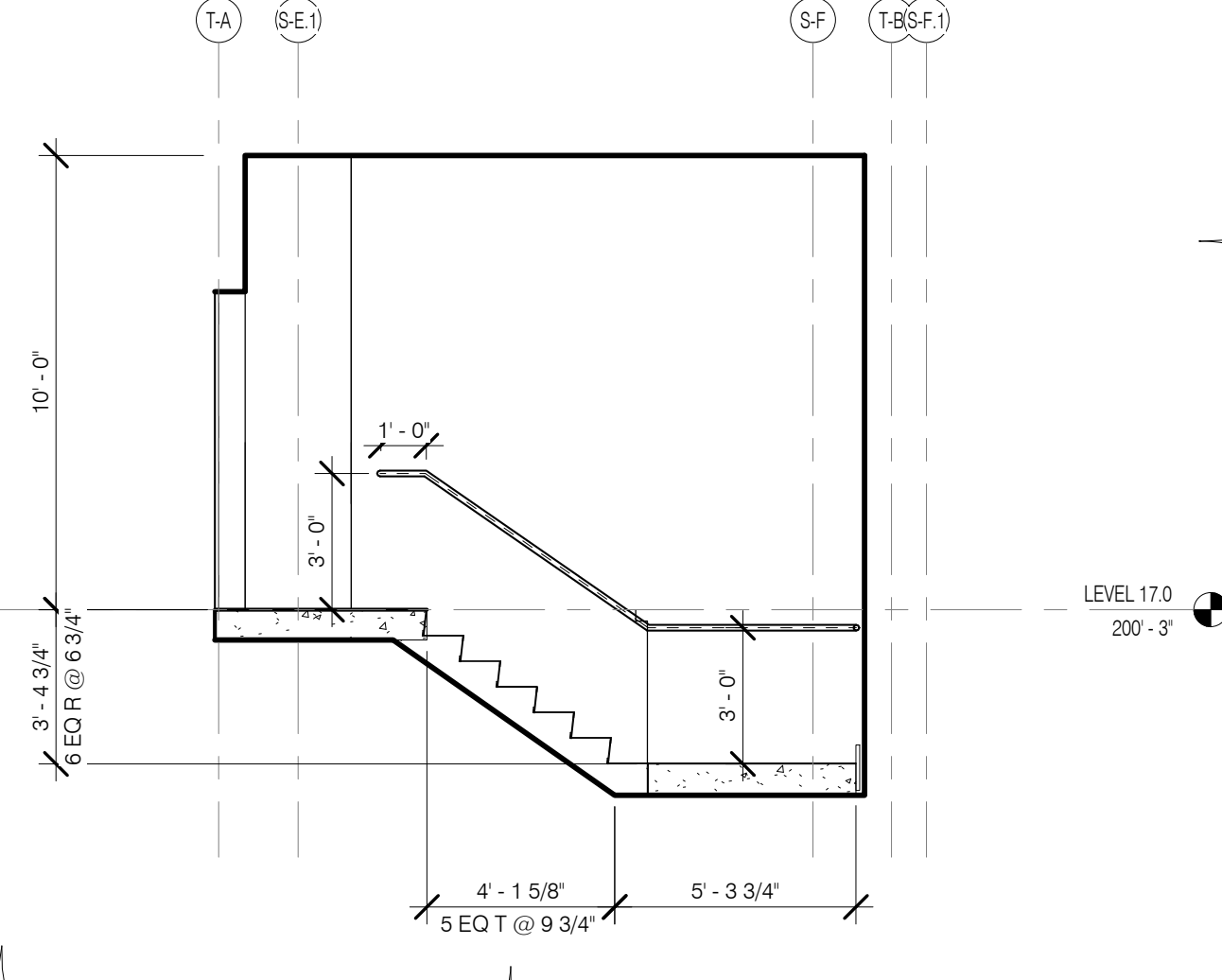
TOWER STAIR SECTION - 2A - LEVEL 77 - ROOF 1/4" = 1'-0" 3



TOWER STAIR SECTION - 1B - LEVEL 16 - 66 1/4" = 1'-0" 2



TOWER STAIR SECTION - 1A - LEVEL 16 - 66 1/4" = 1'-0" 1



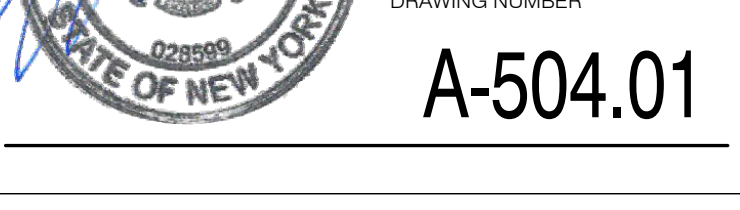
STAIR A/B TRANSFER LEVEL 17 1/4" = 1'-0" 5

1	5.27.15	DOB PAA
2	5.11.14	DOB FILING SET
NO.	DATE	REVISION

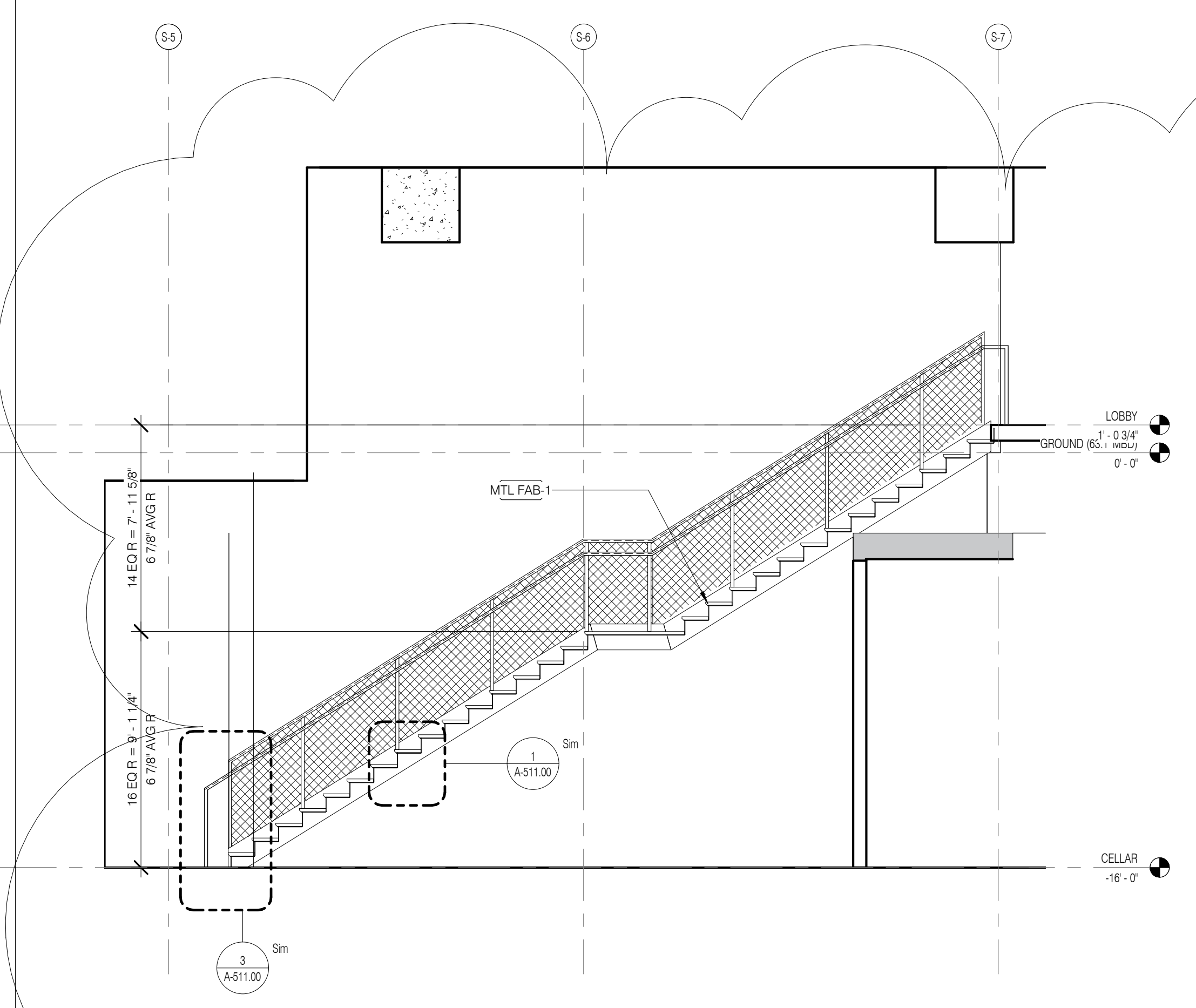
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DRAWING TITLE  
**STAIR A/B TOWER SECTIONS**

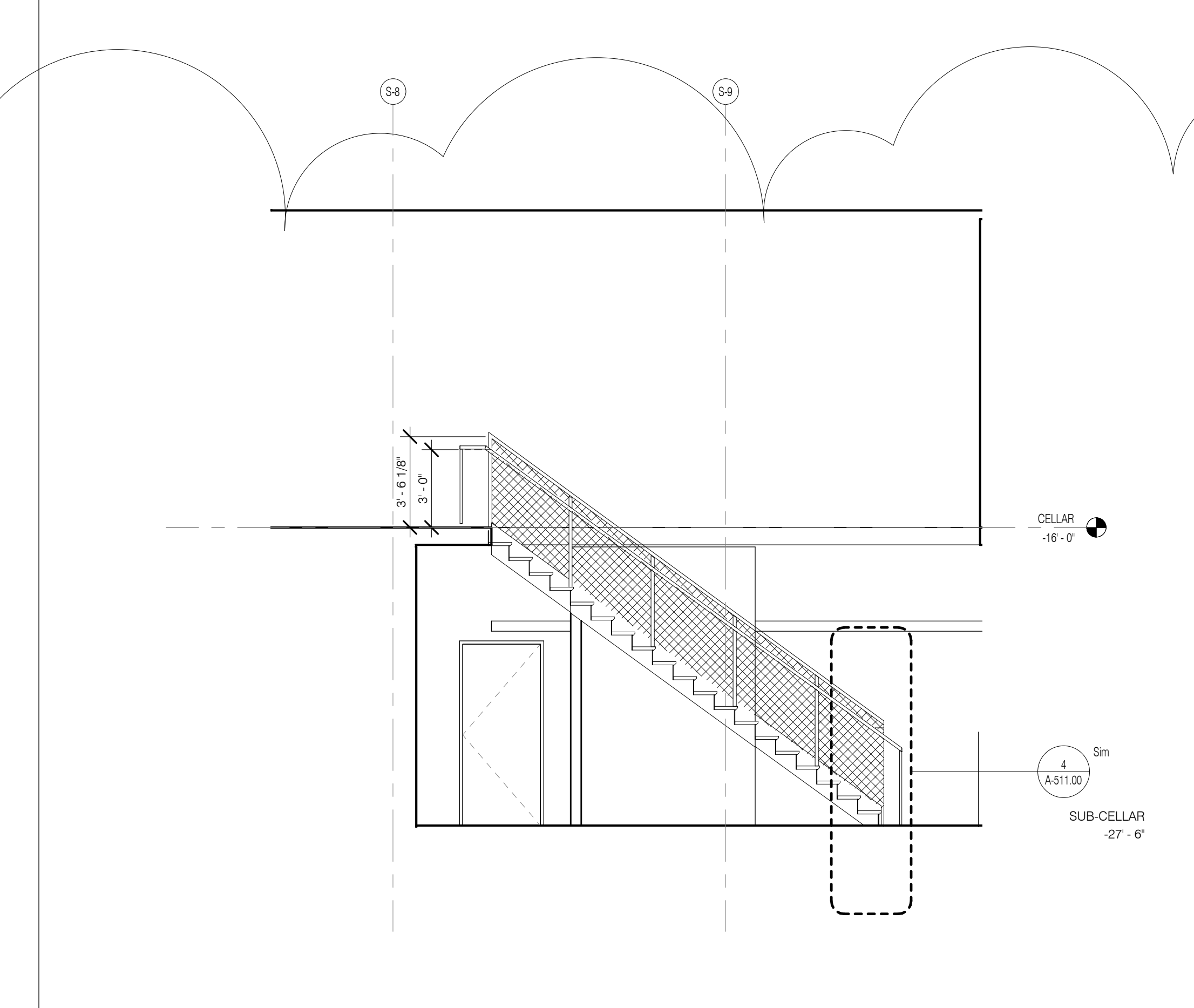
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PROJECT NO.	130907	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DATE	12.18.2008	
DRAWING NUMBER		



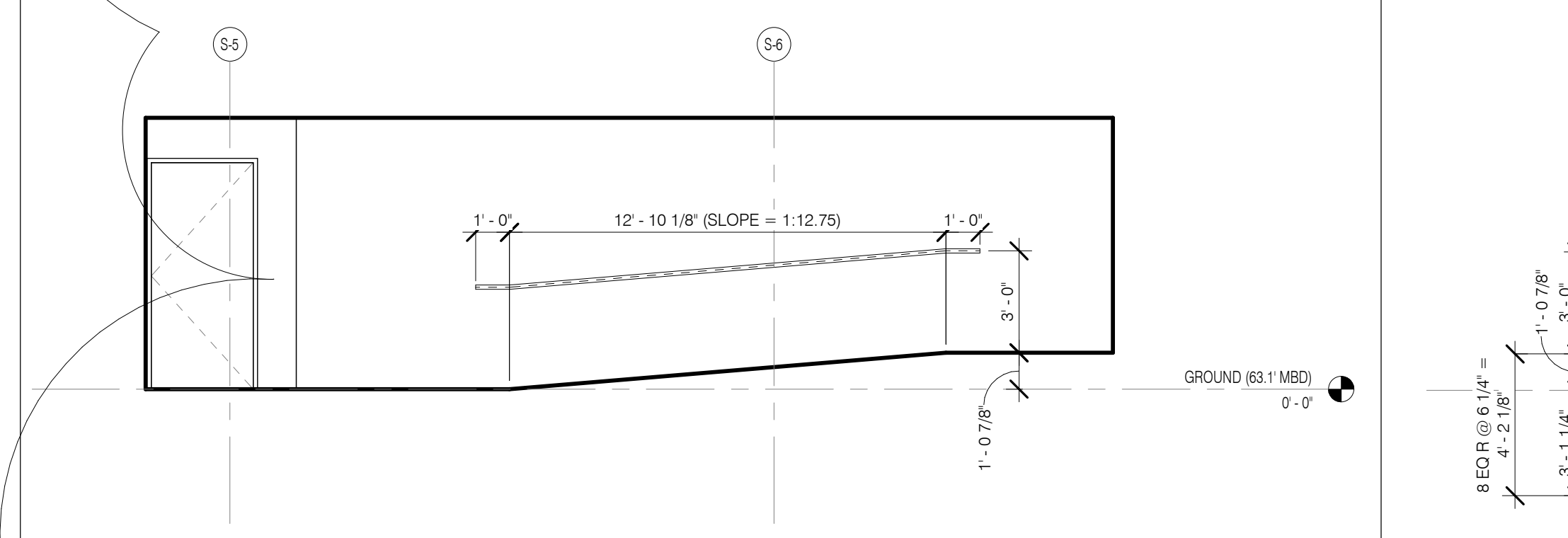




STAIR D - SECTION 2 1/4" = 1'-0" 10



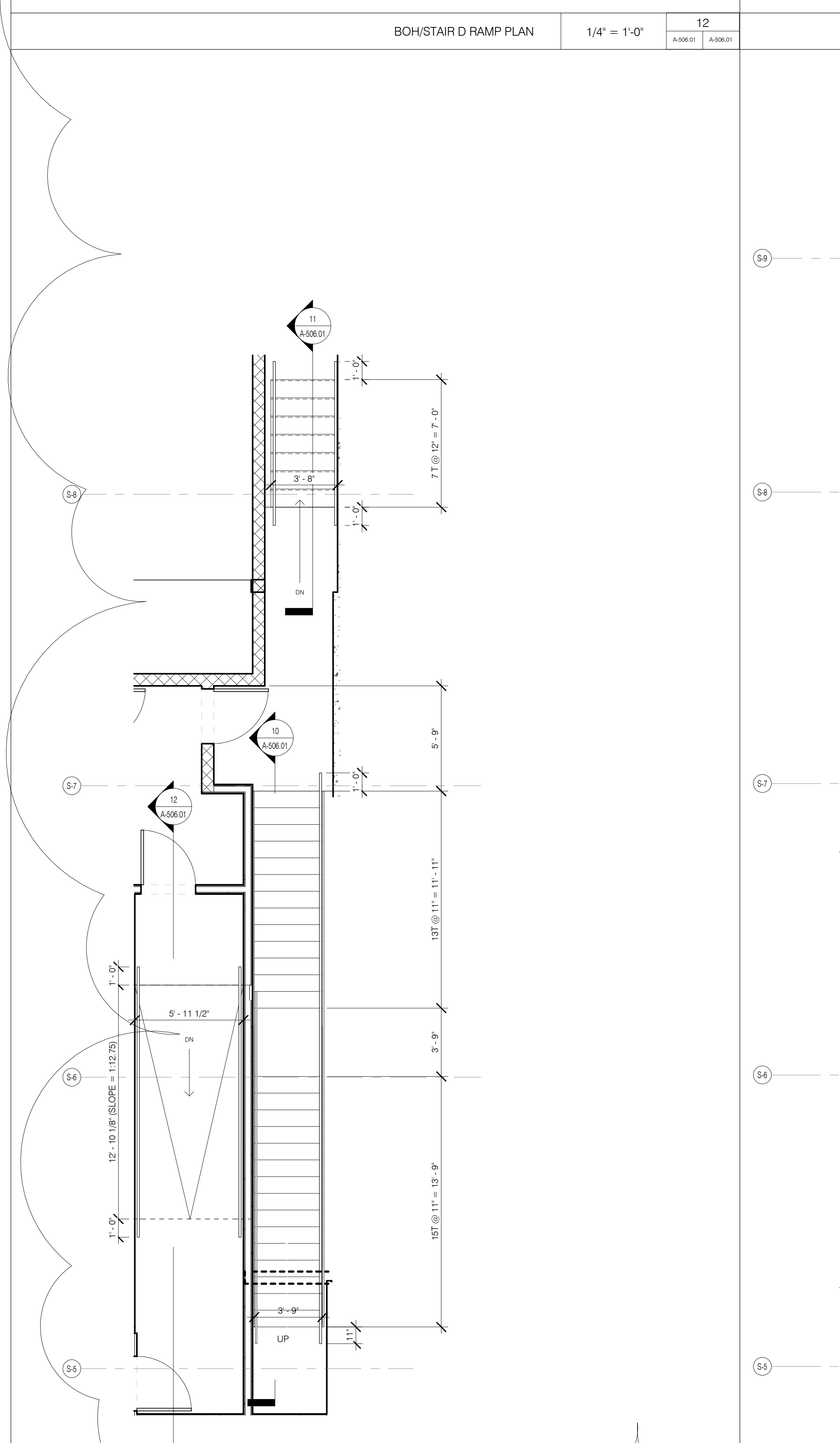
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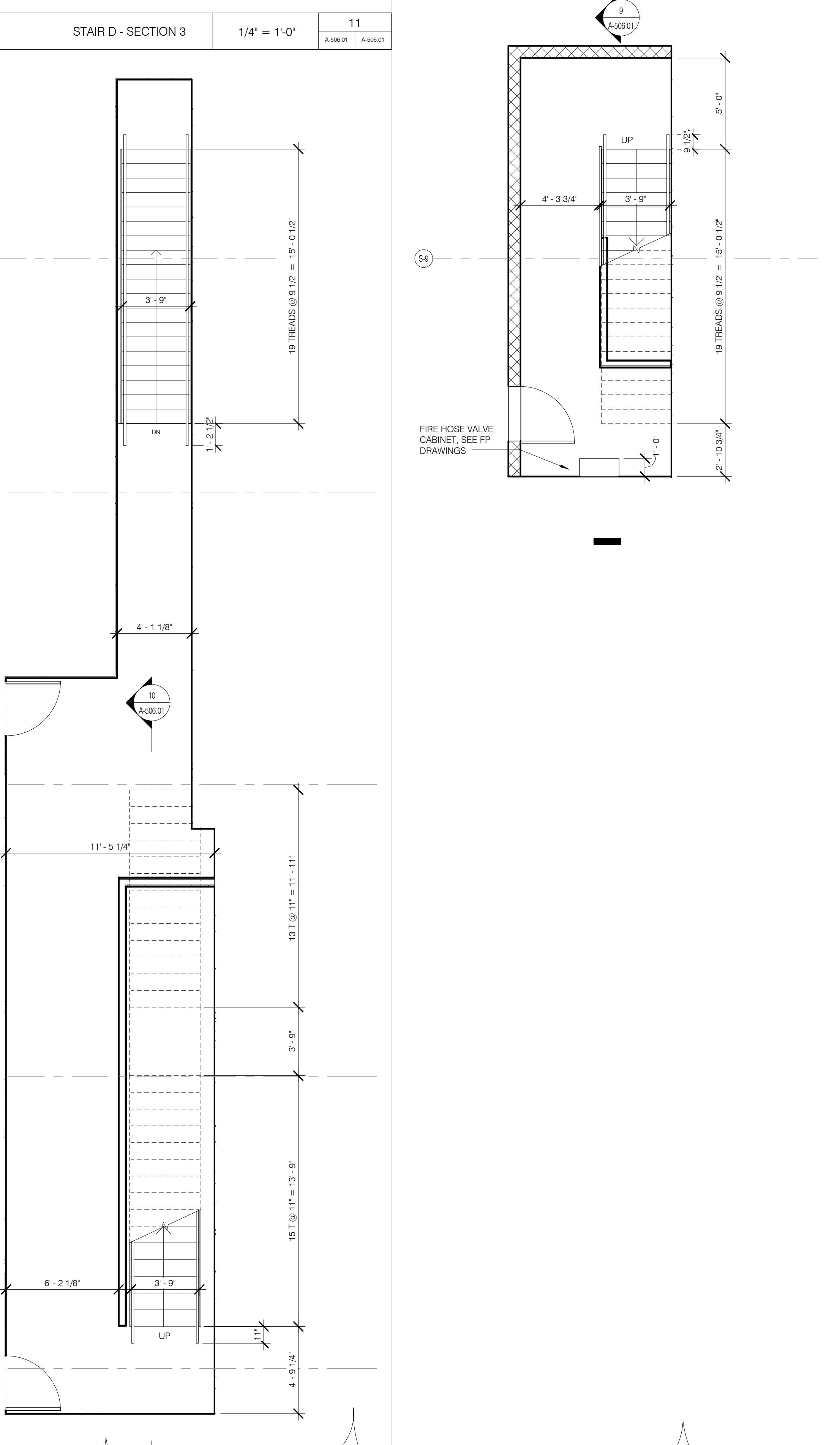
BOH/STAIR D RAMP PLAN 1/4" = 1'-0" 12



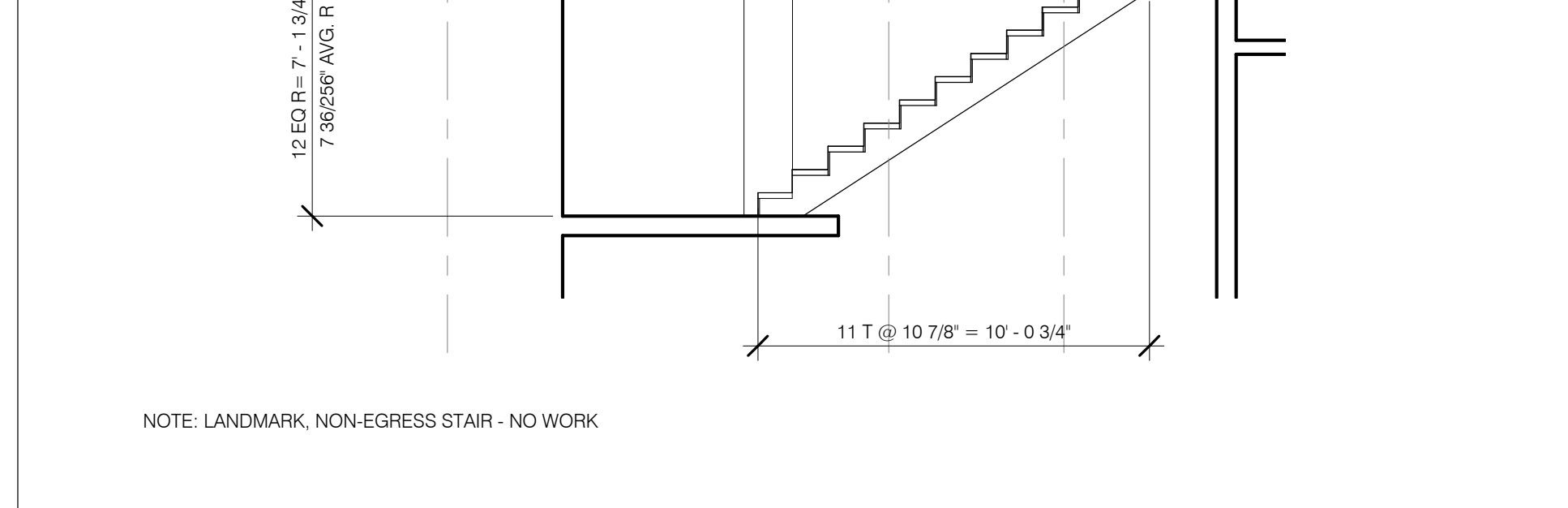
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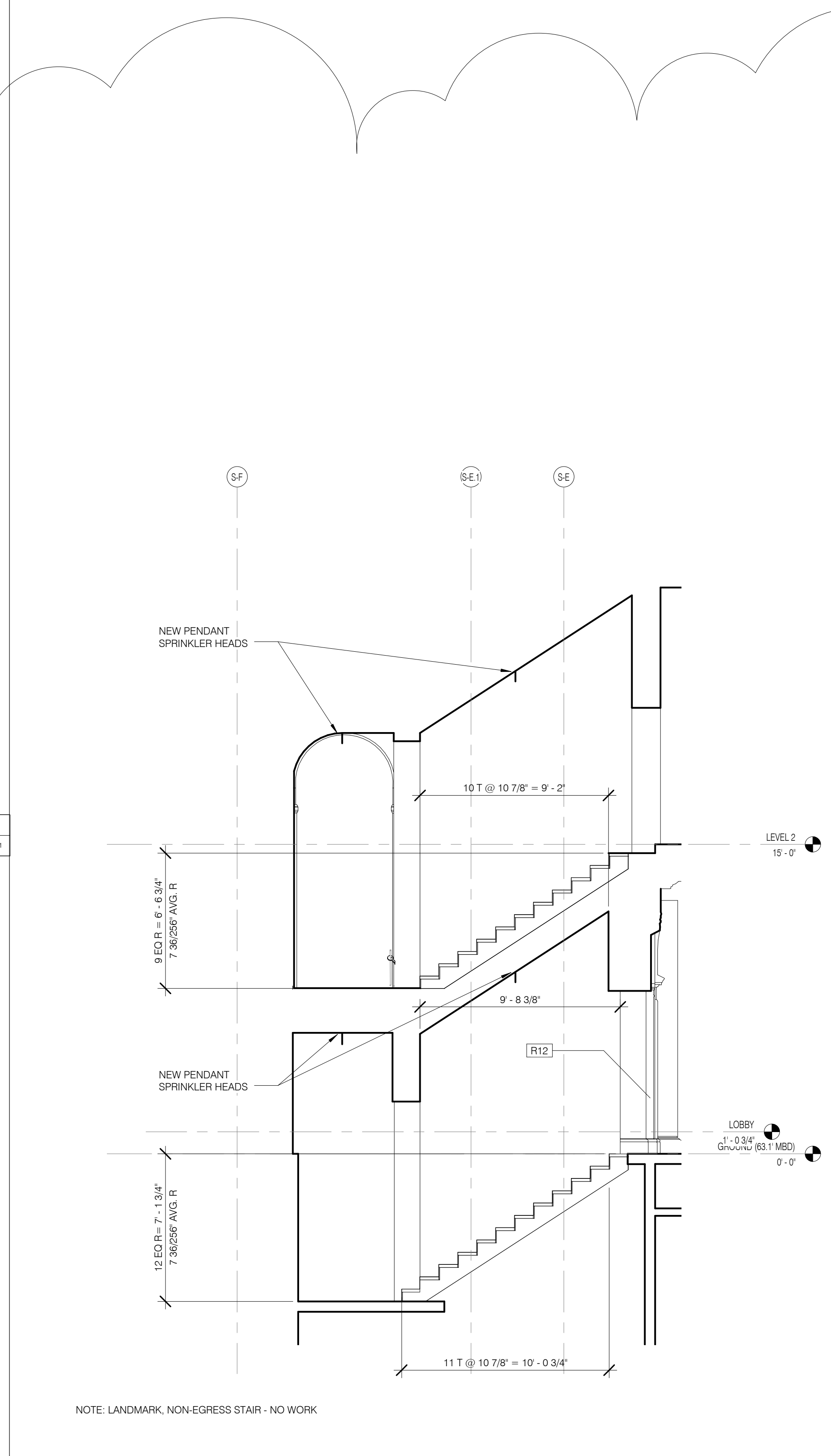
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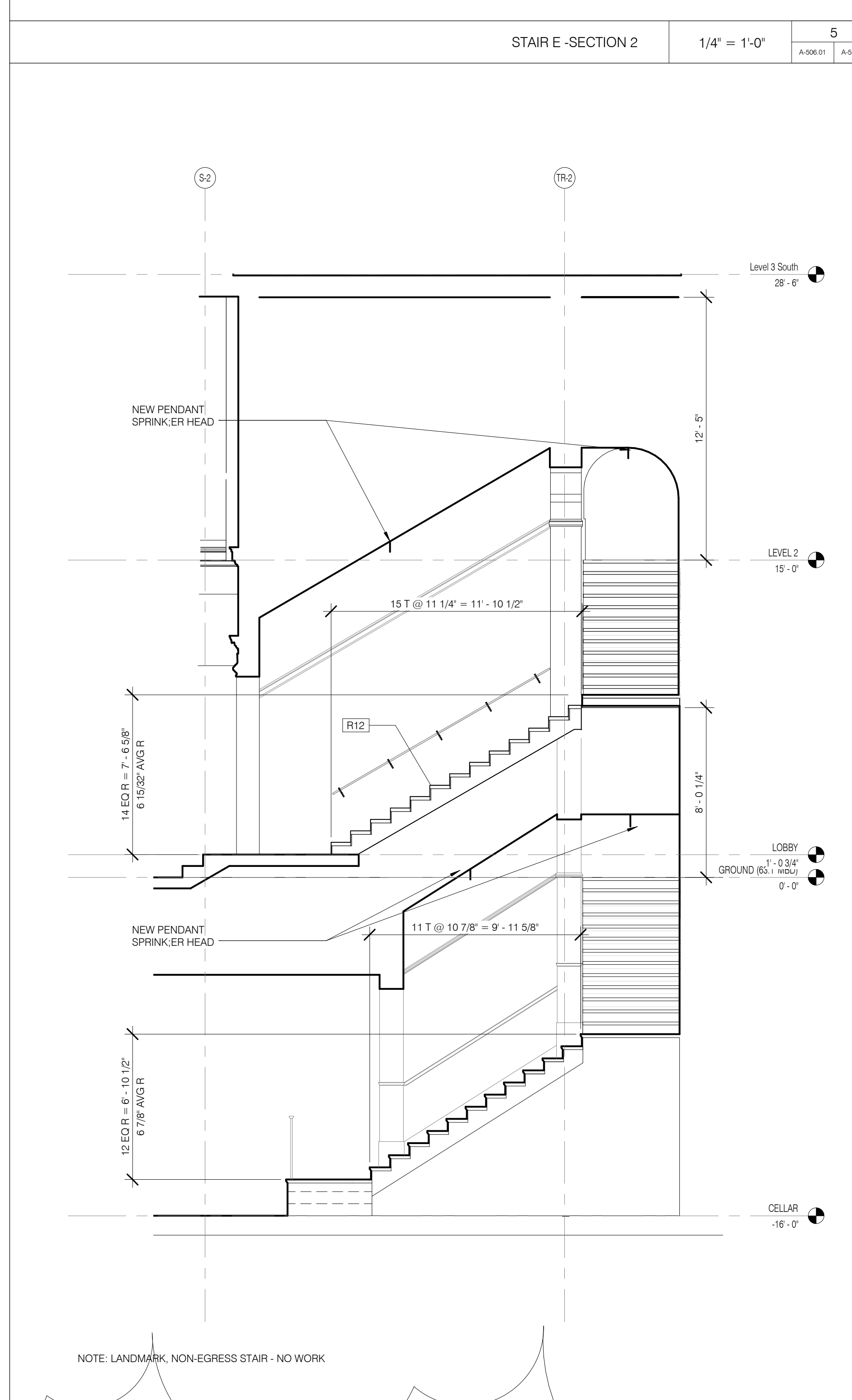
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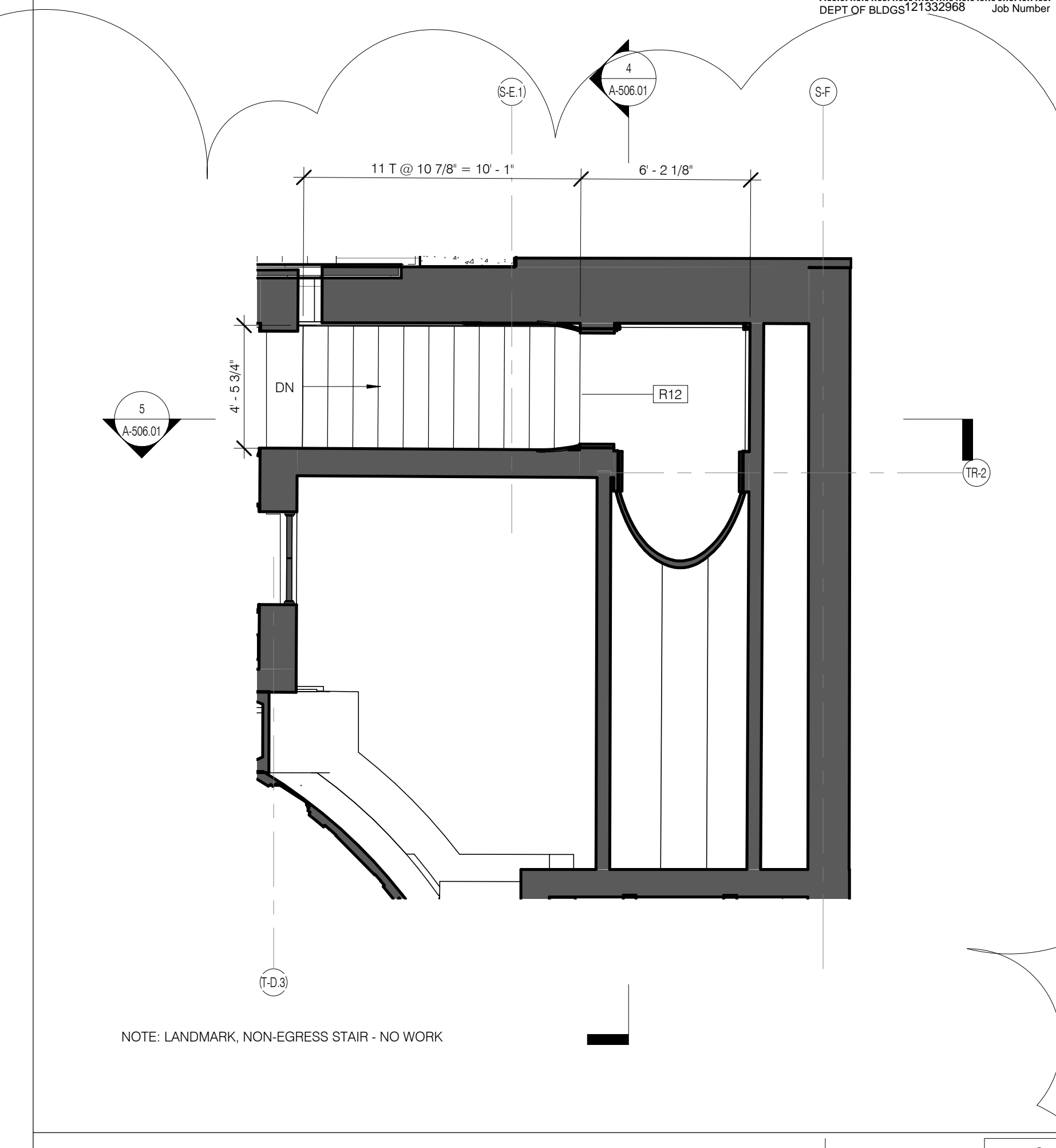
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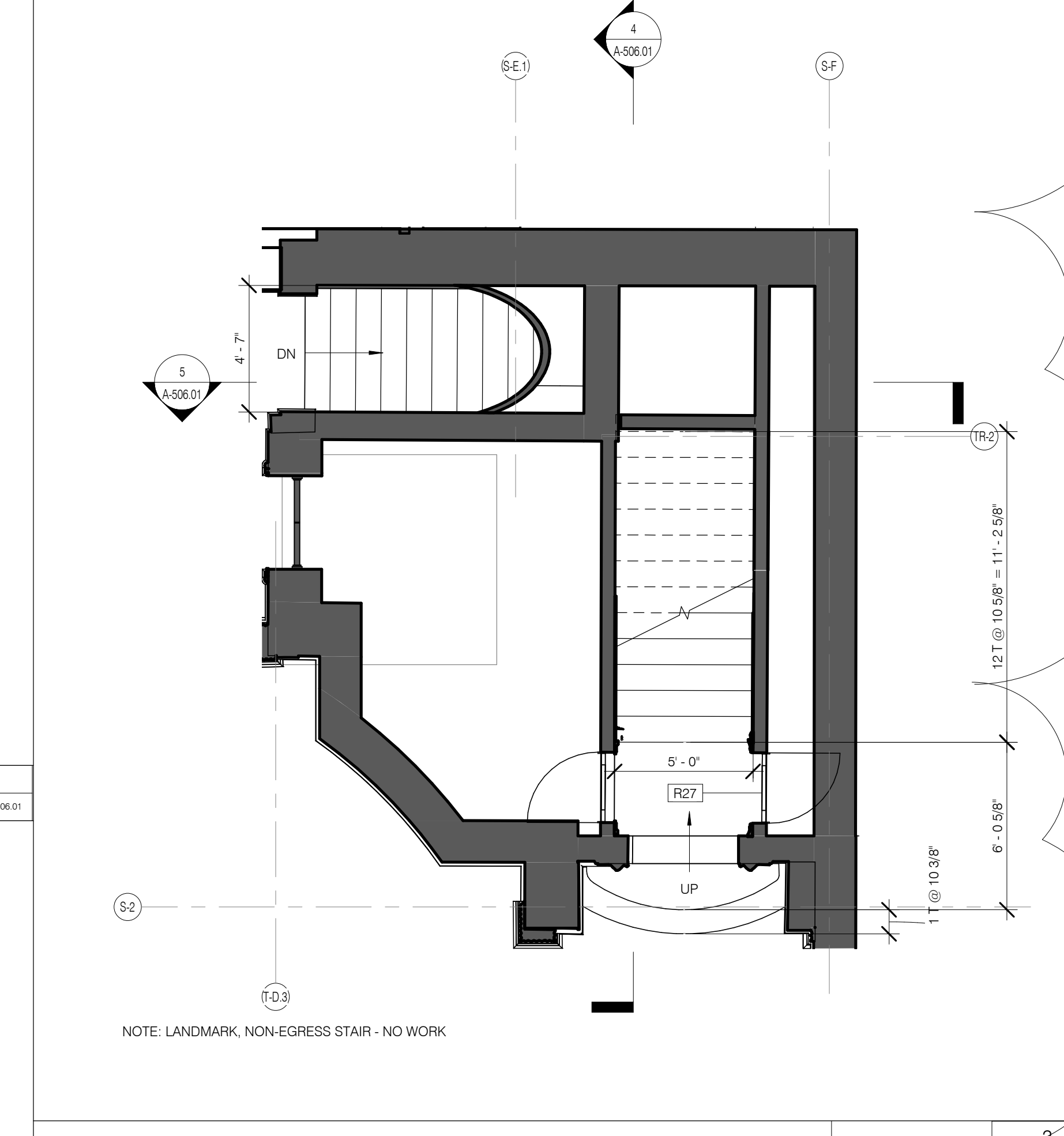
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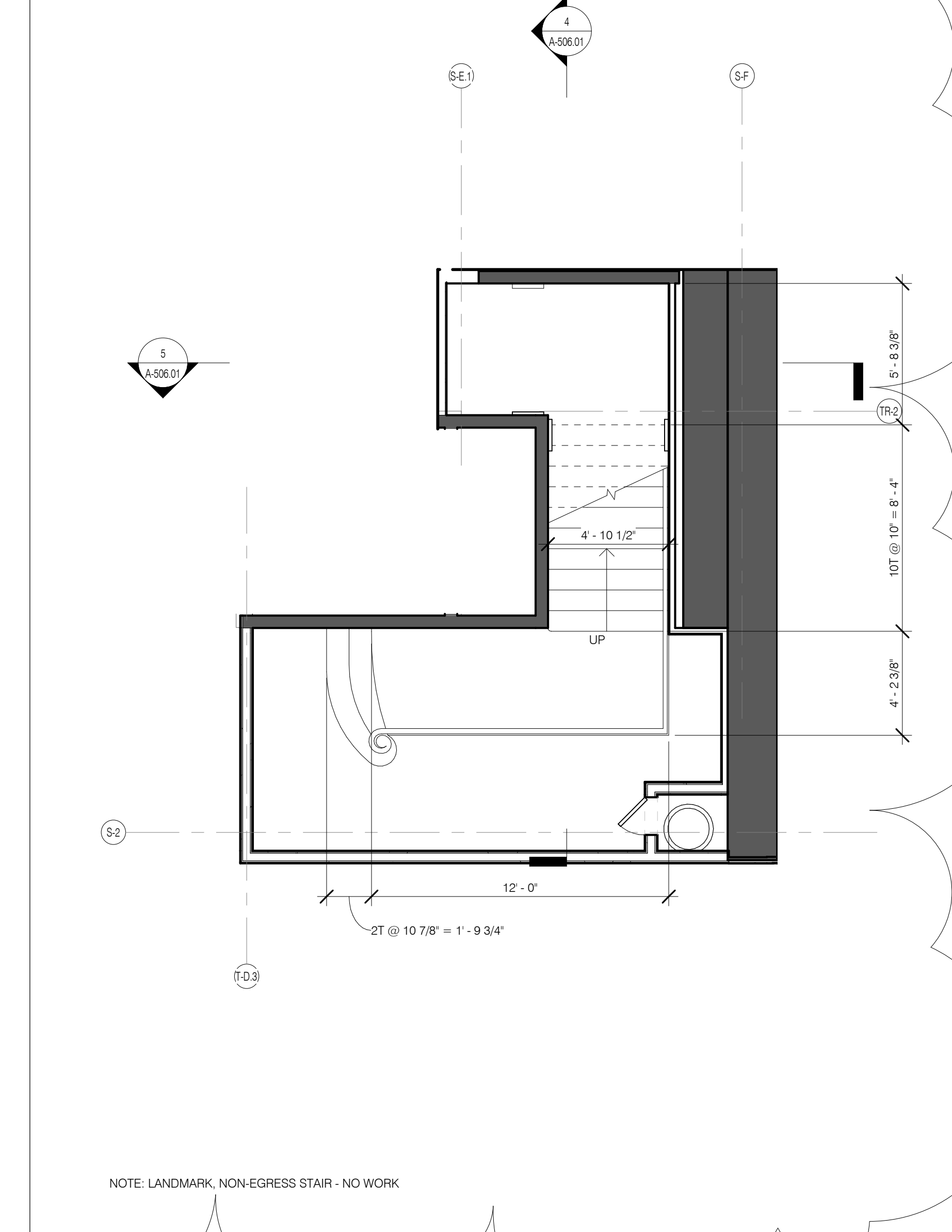
STAIR E - SECTION 2 1/4" = 1'-0" 5



STAIR E LEVEL 2 PLAN 1/4" = 1'-0" 3



STAIR E GROUND PLAN 1/4" = 1'-0" 2



STAIR E CELLAR PLAN 1/4" = 1'-0" 1

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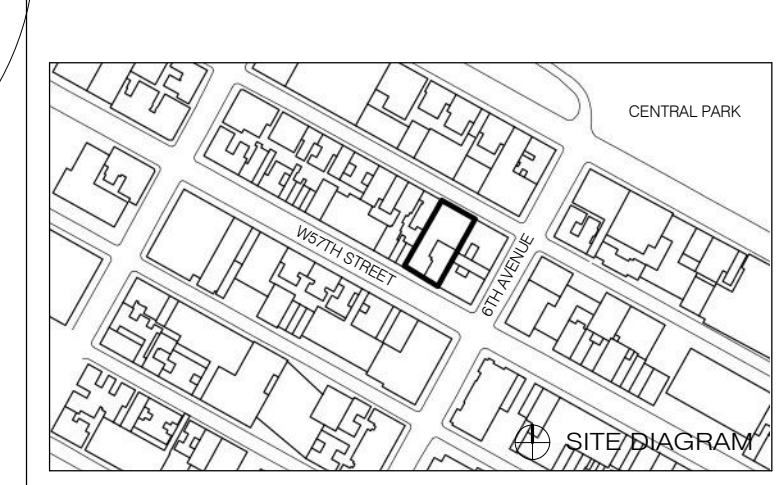


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**STAIR D & STAIR E PLANS AND SECTIONS**

DATE: 3/27/15  
PROJECT NO: 130607  
DESIGNED BY: SHAP  
CHECKED BY: SHAP  
DRAWN BY: SHAP  
SCALE: AS SHOWN  
DRAWING NUMBER: 131320368  
DRAWING REVISION: A-506.01

ARCHITECT  
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 235 WEST 57TH STREET, 8TH FLOOR  
 NEW YORK, NY 10019  
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STRUCTURAL ENGINEER  
 WSP PARTNER BENJIK  
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 NEW YORK, NY 10017  
 TEL: 212.693.8838

MEP ENGINEER  
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RESTORATION  
 JAMES WOOD FORD & ASSOCIATES  
 10 WEST 57TH STREET, FLOOR 50A  
 NEW YORK, NY 10019  
 TEL: 212.238.6462

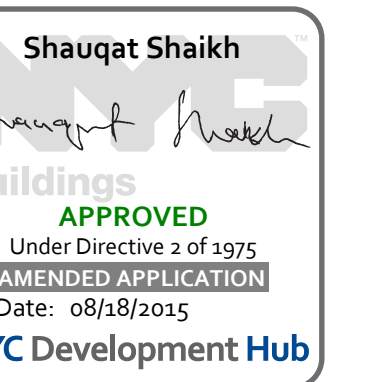
GEOTECH  
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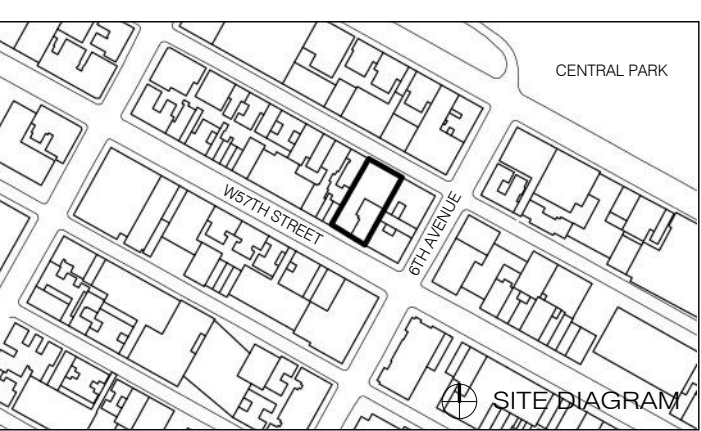


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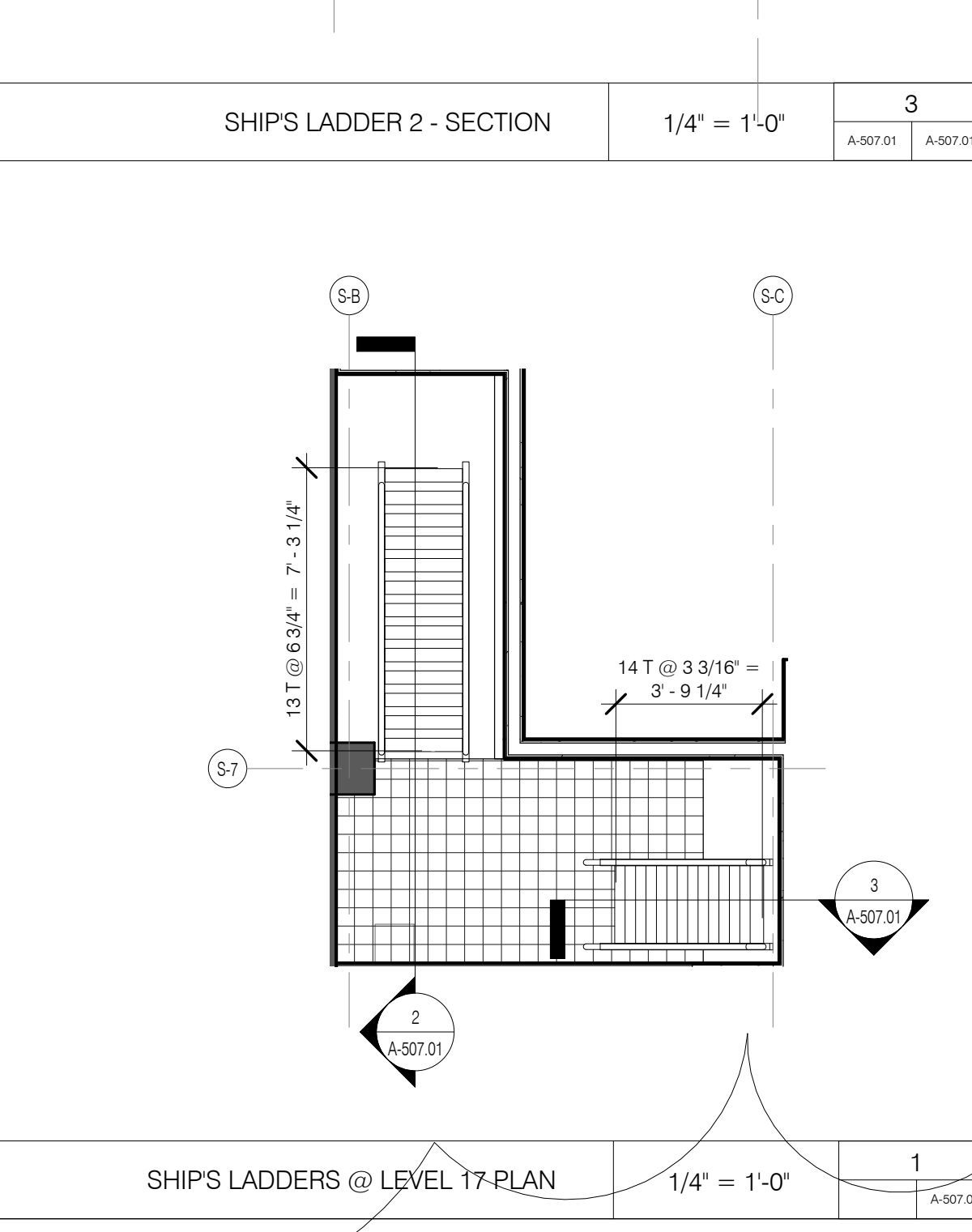
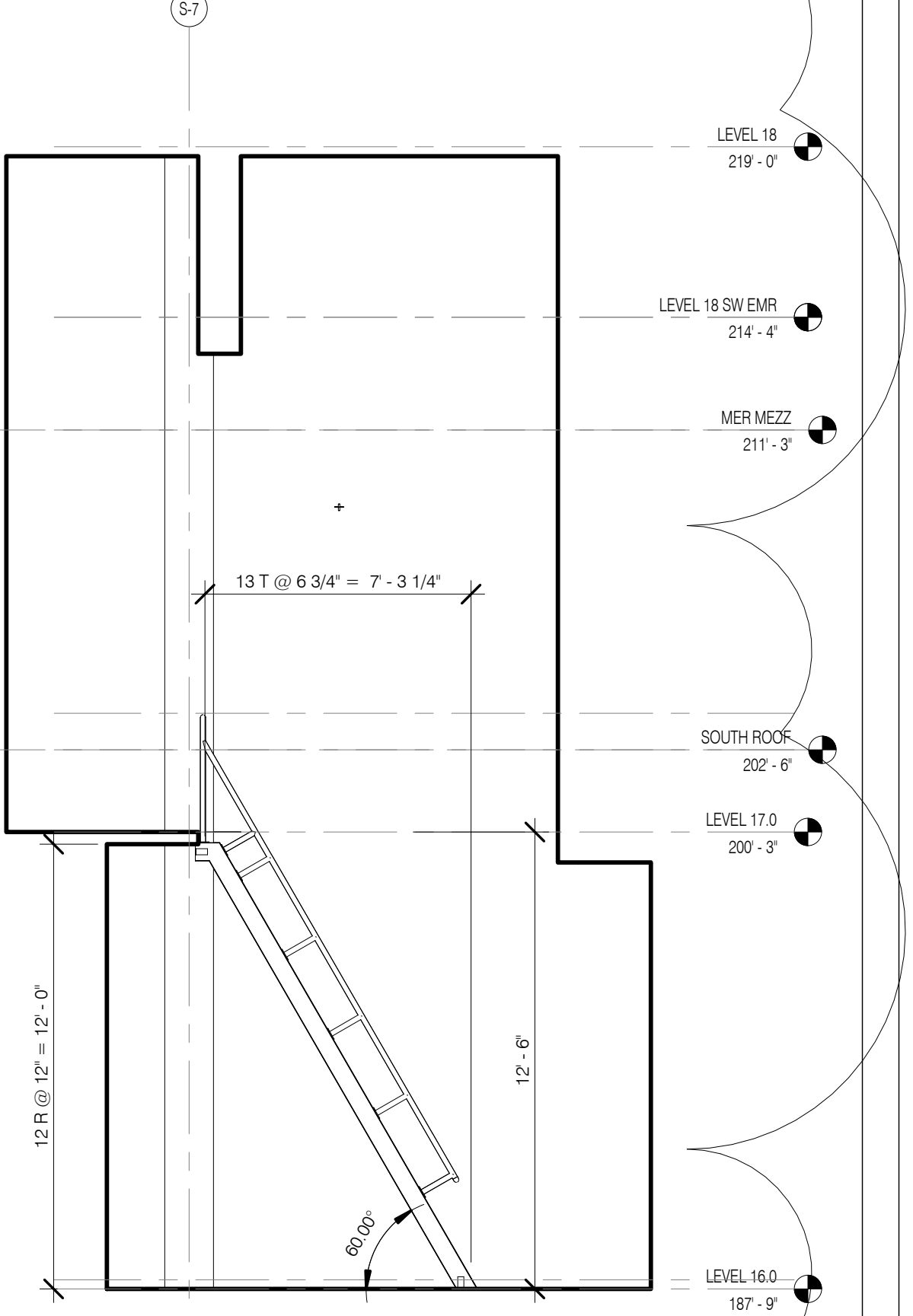
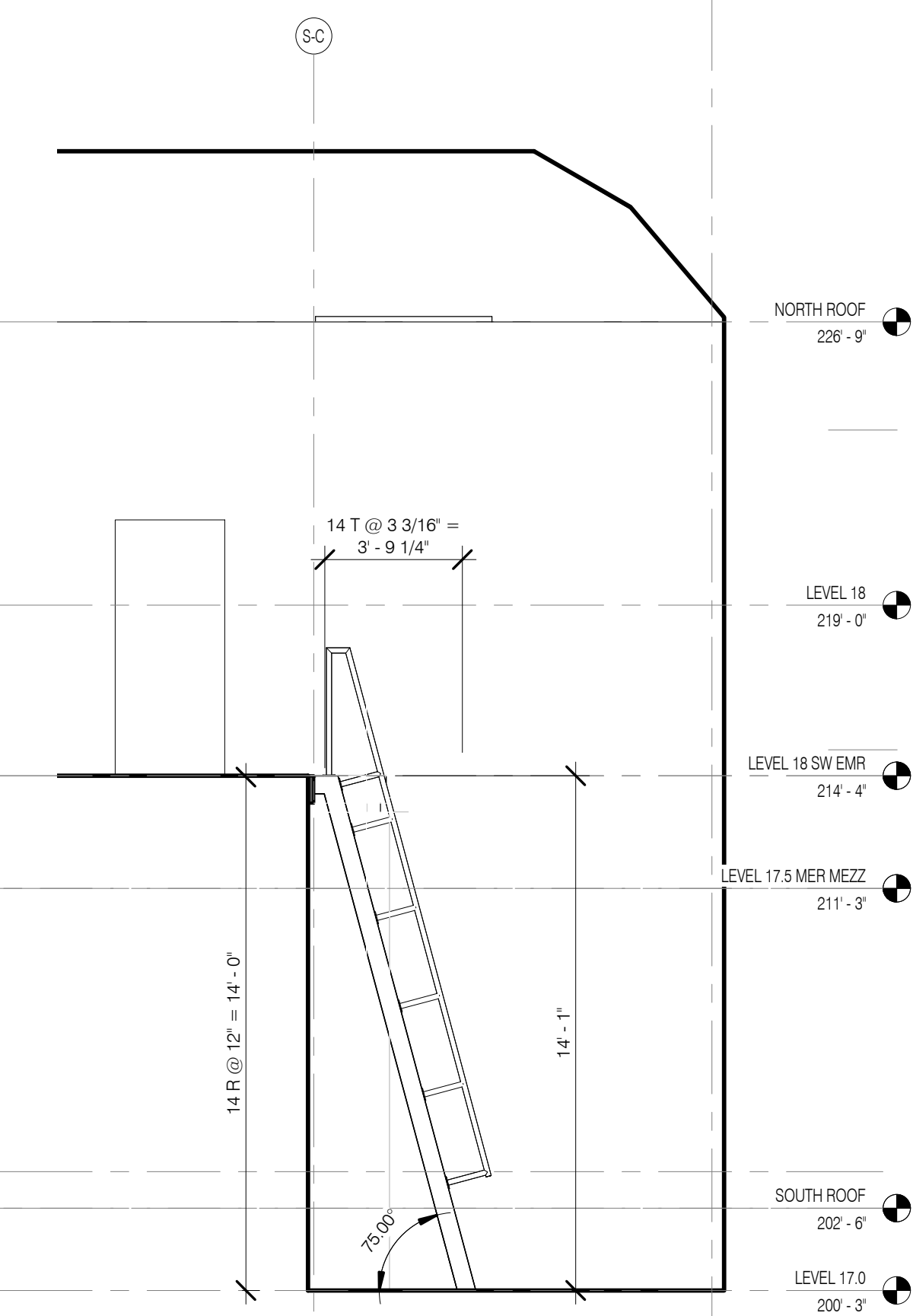
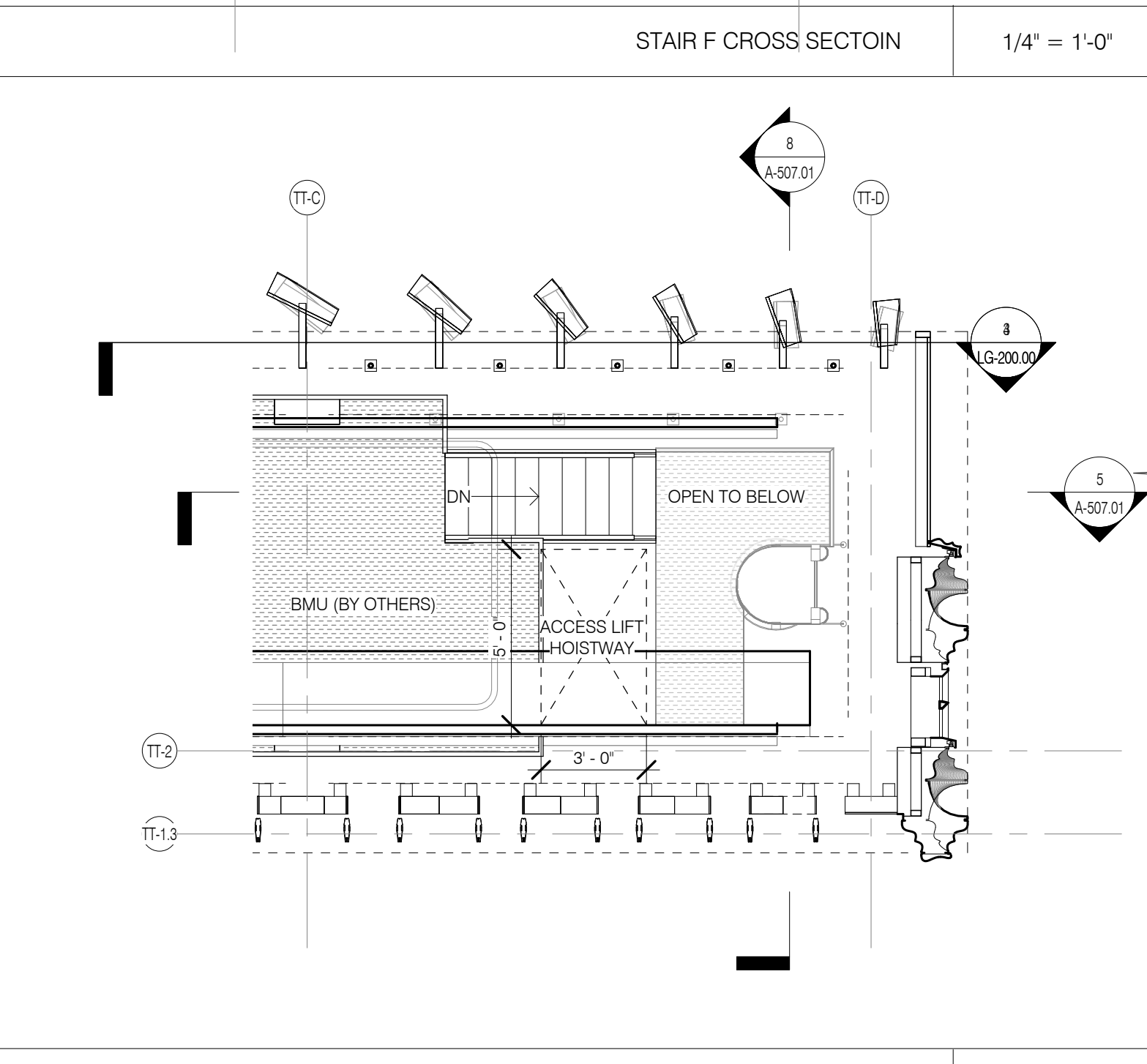
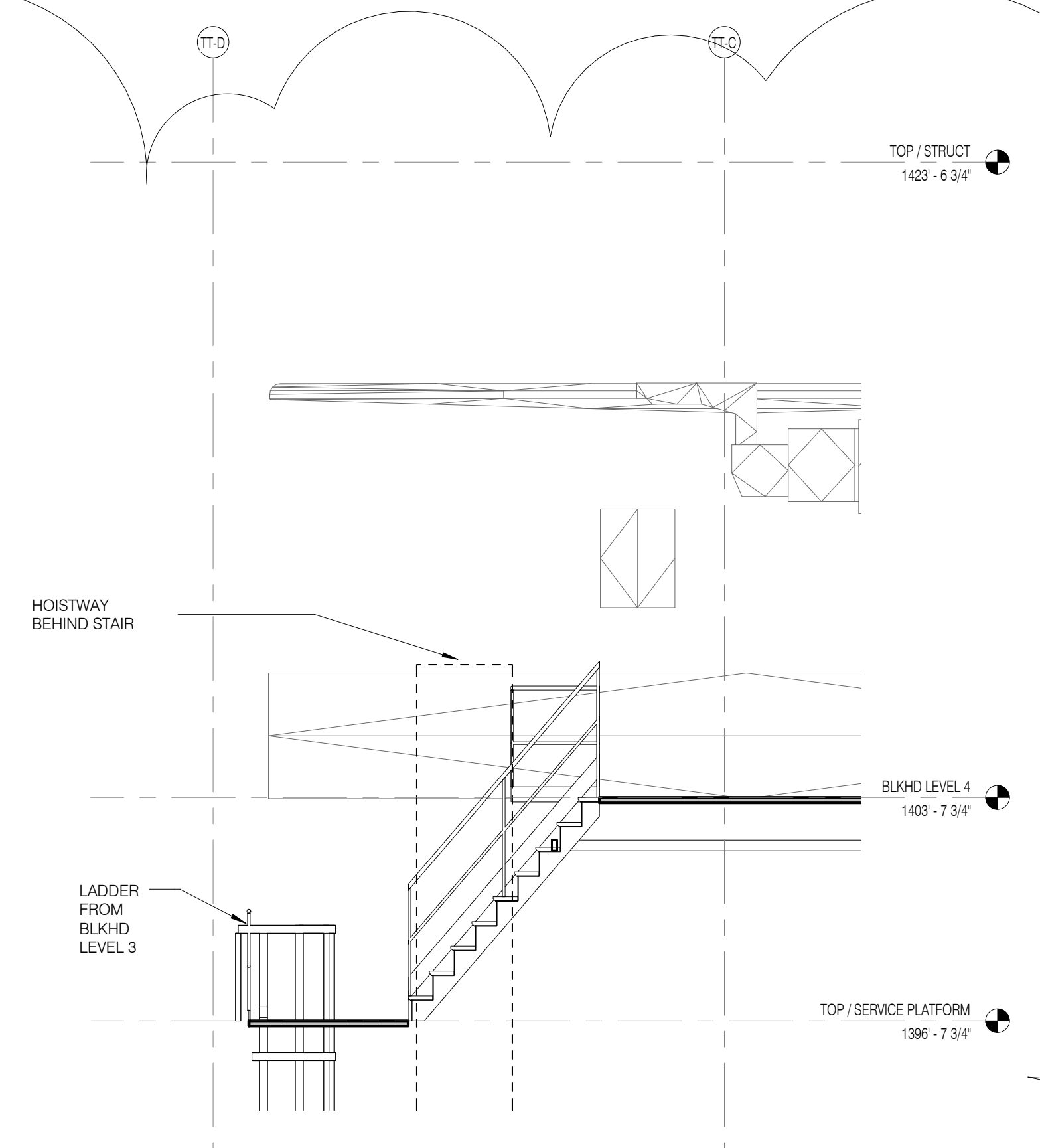


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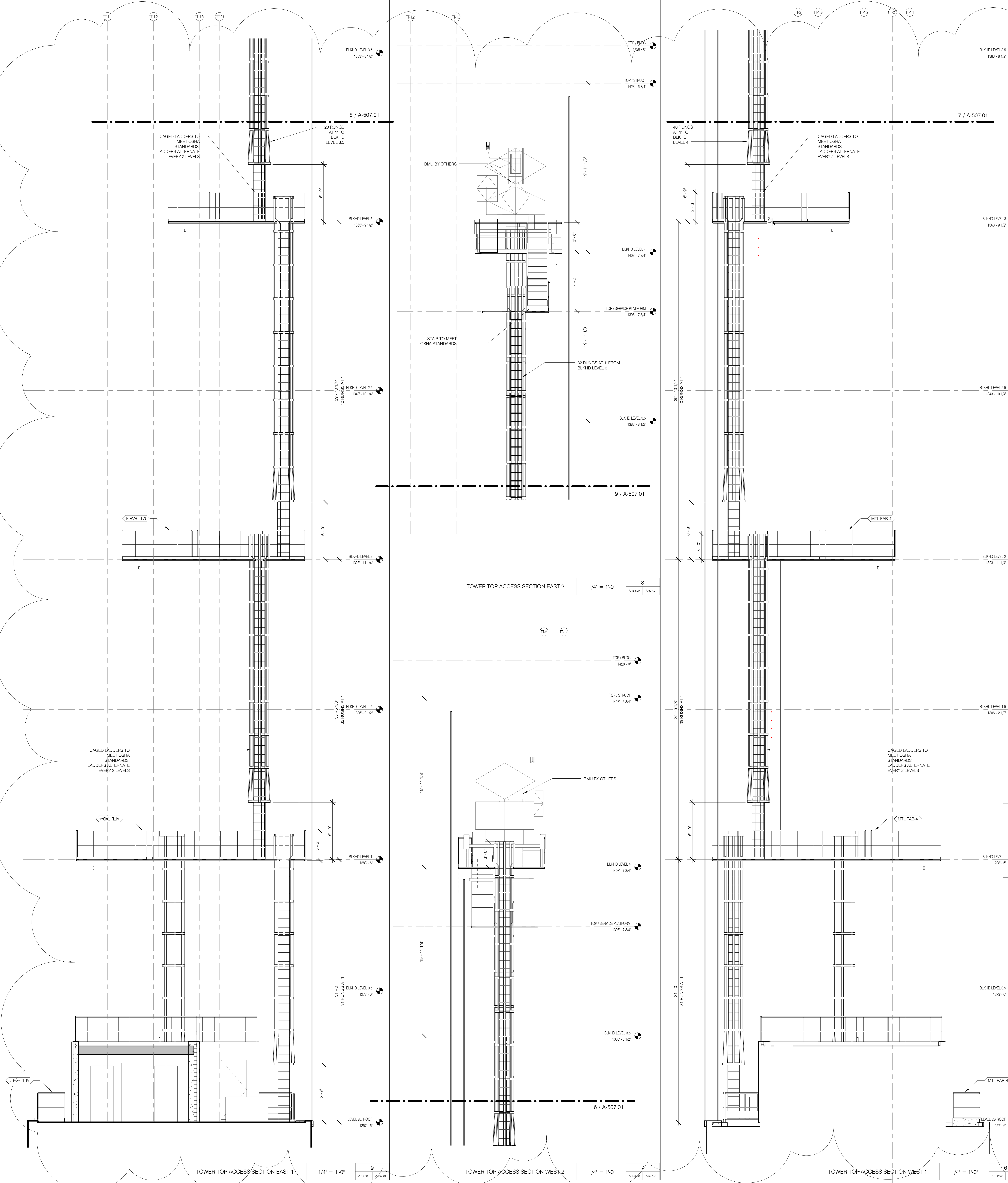
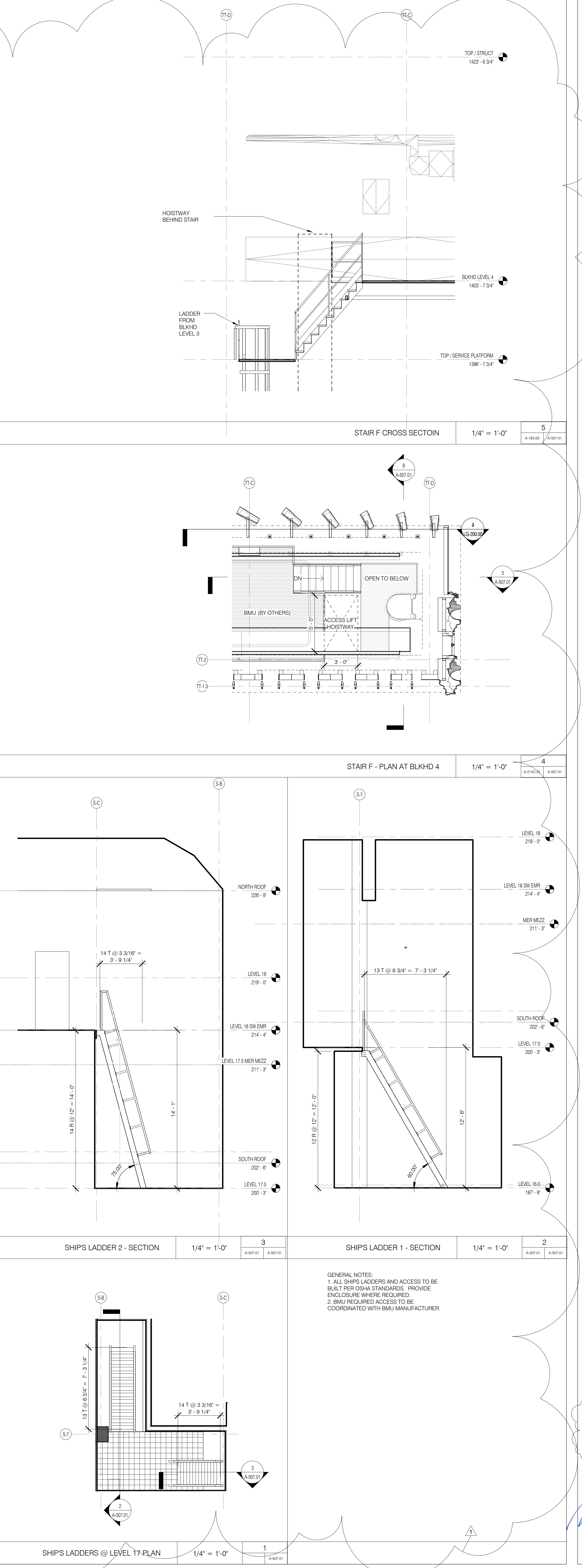
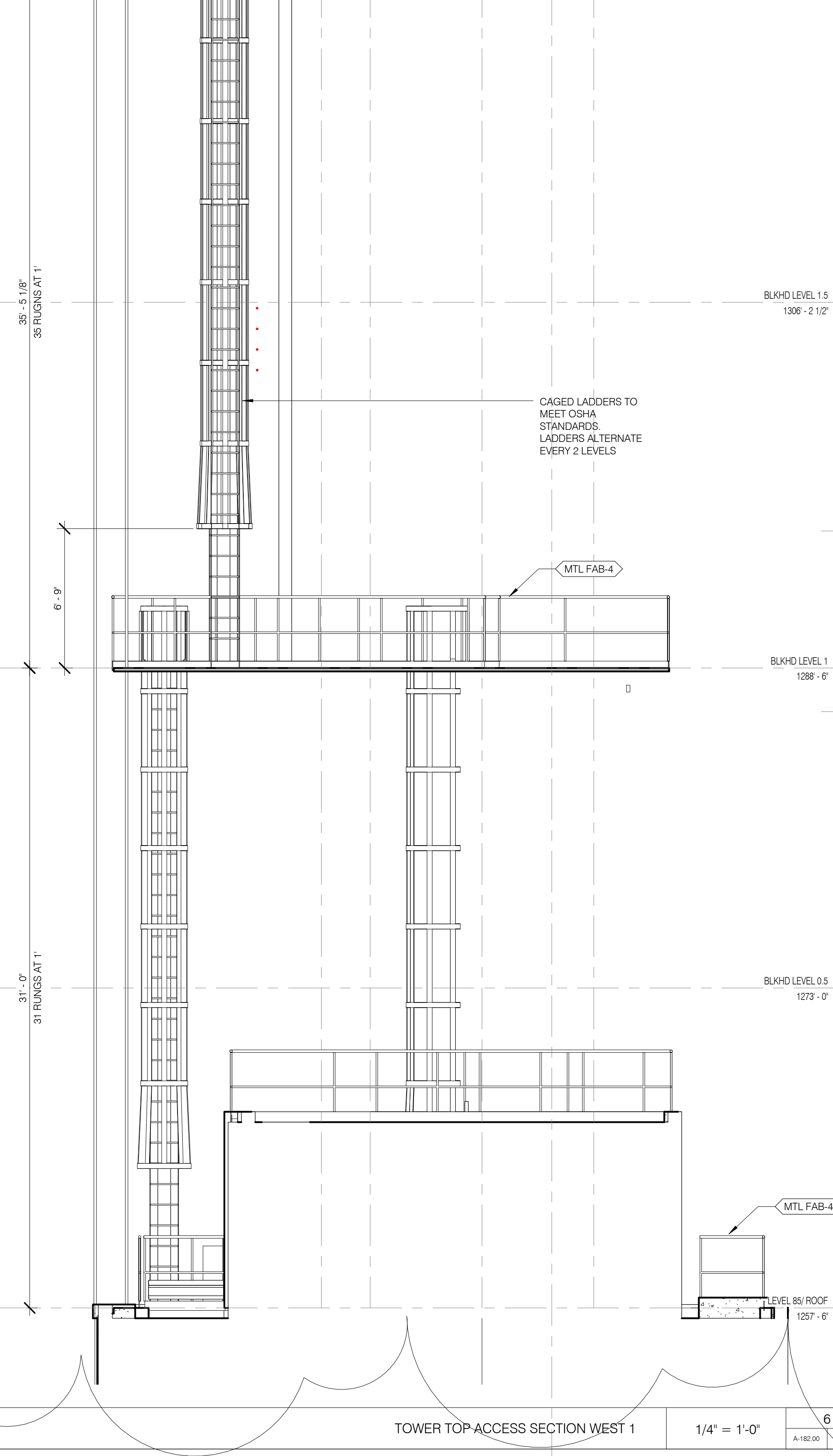
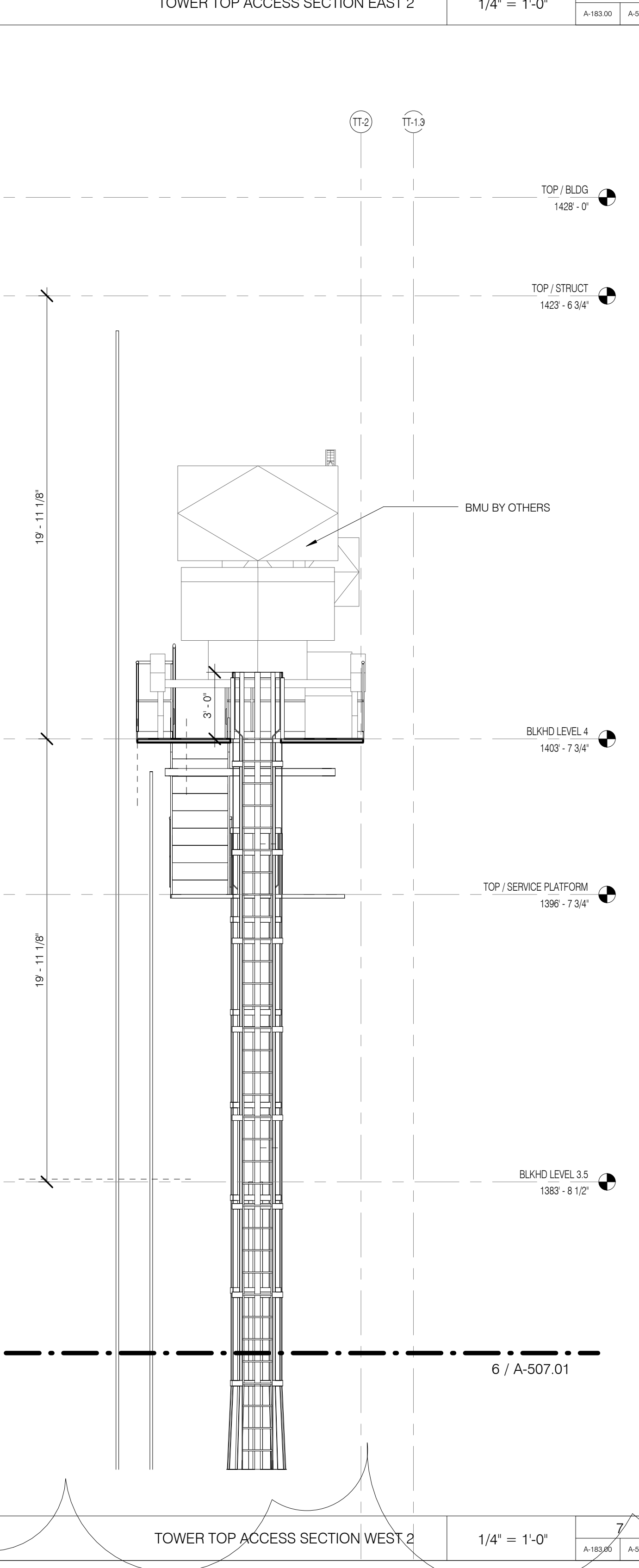
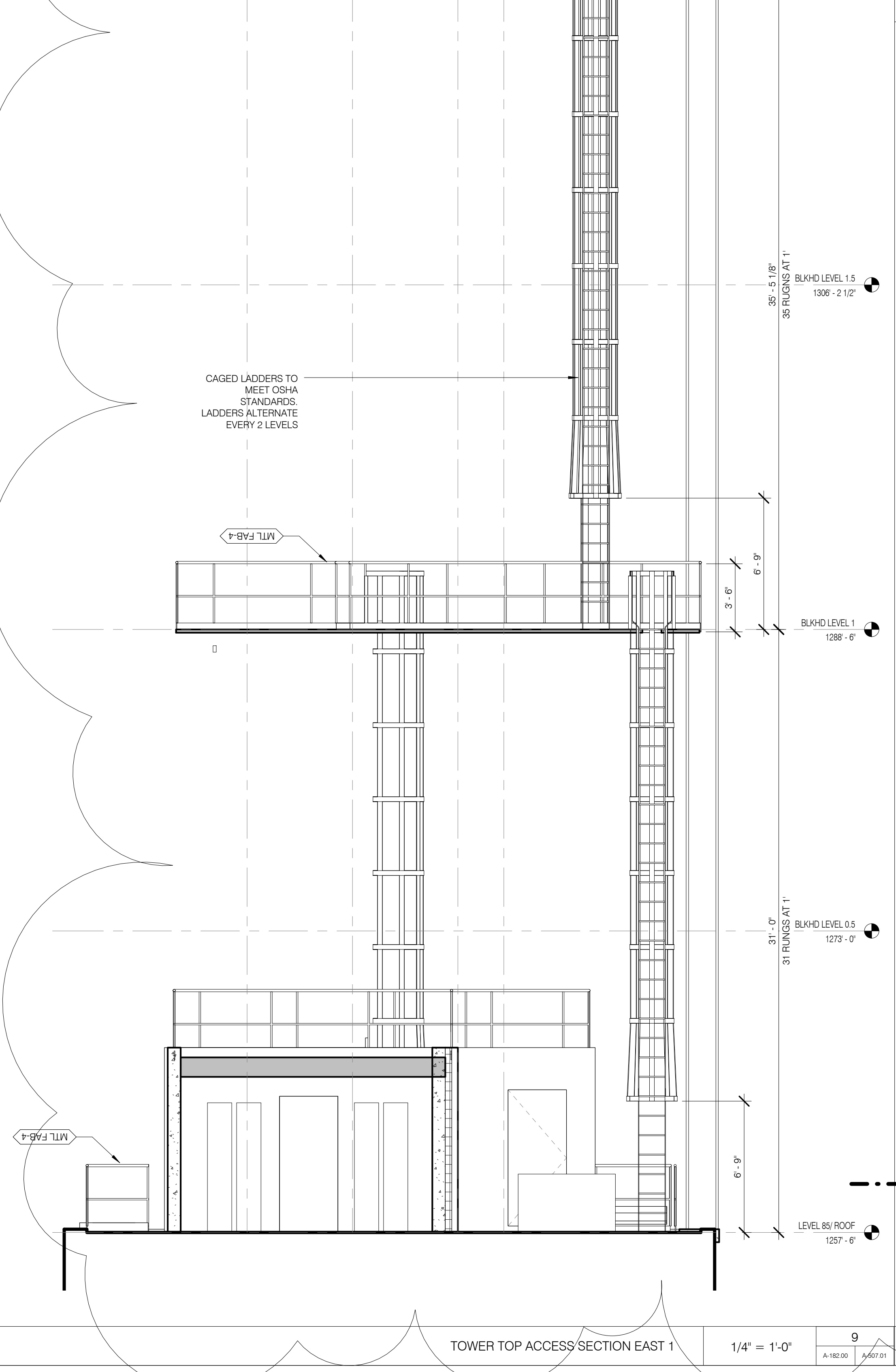
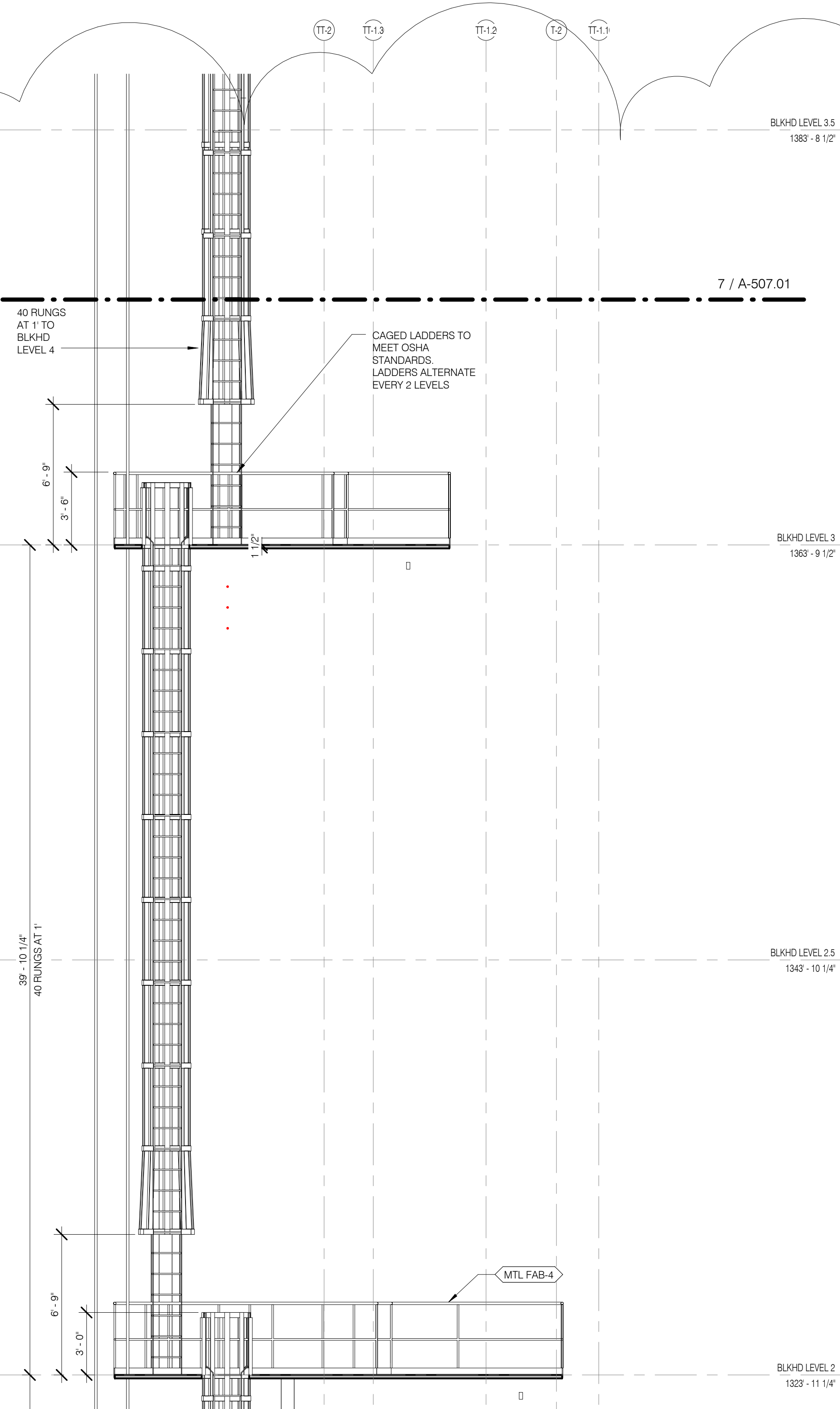
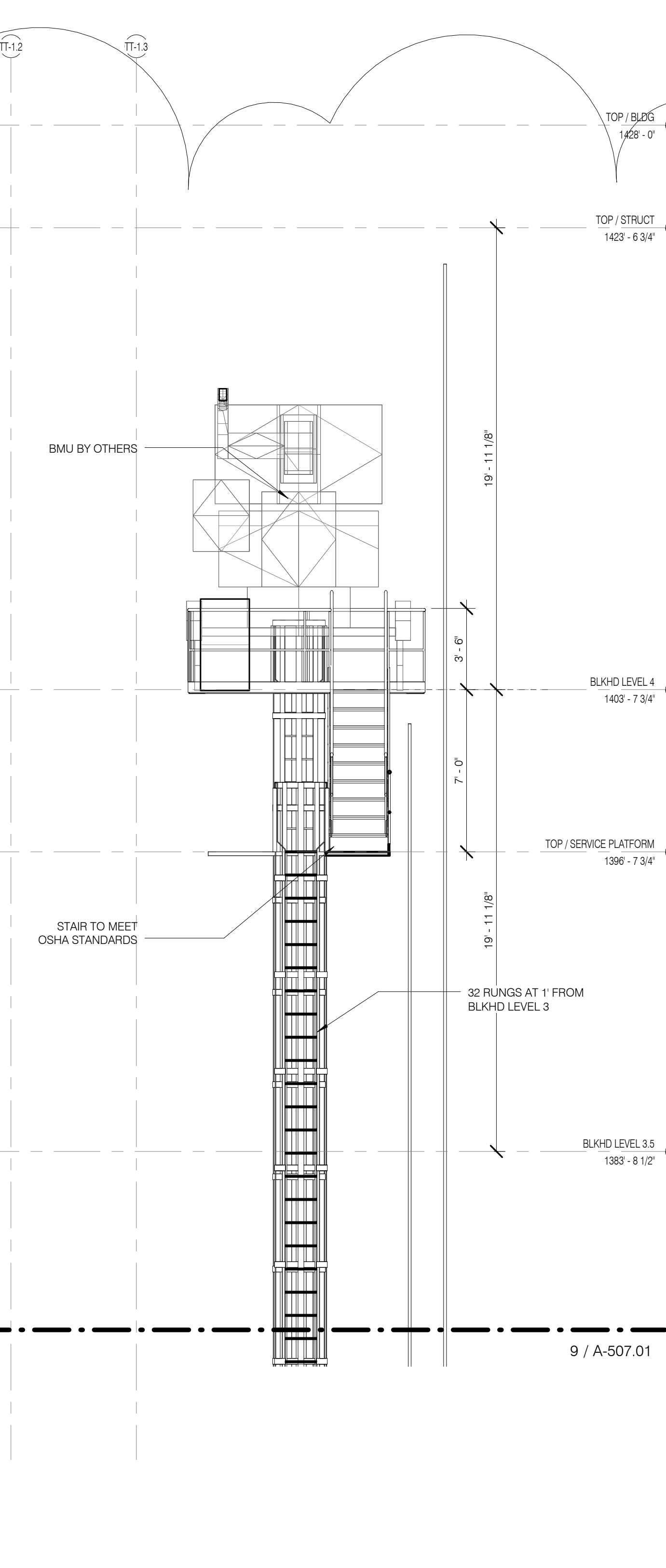
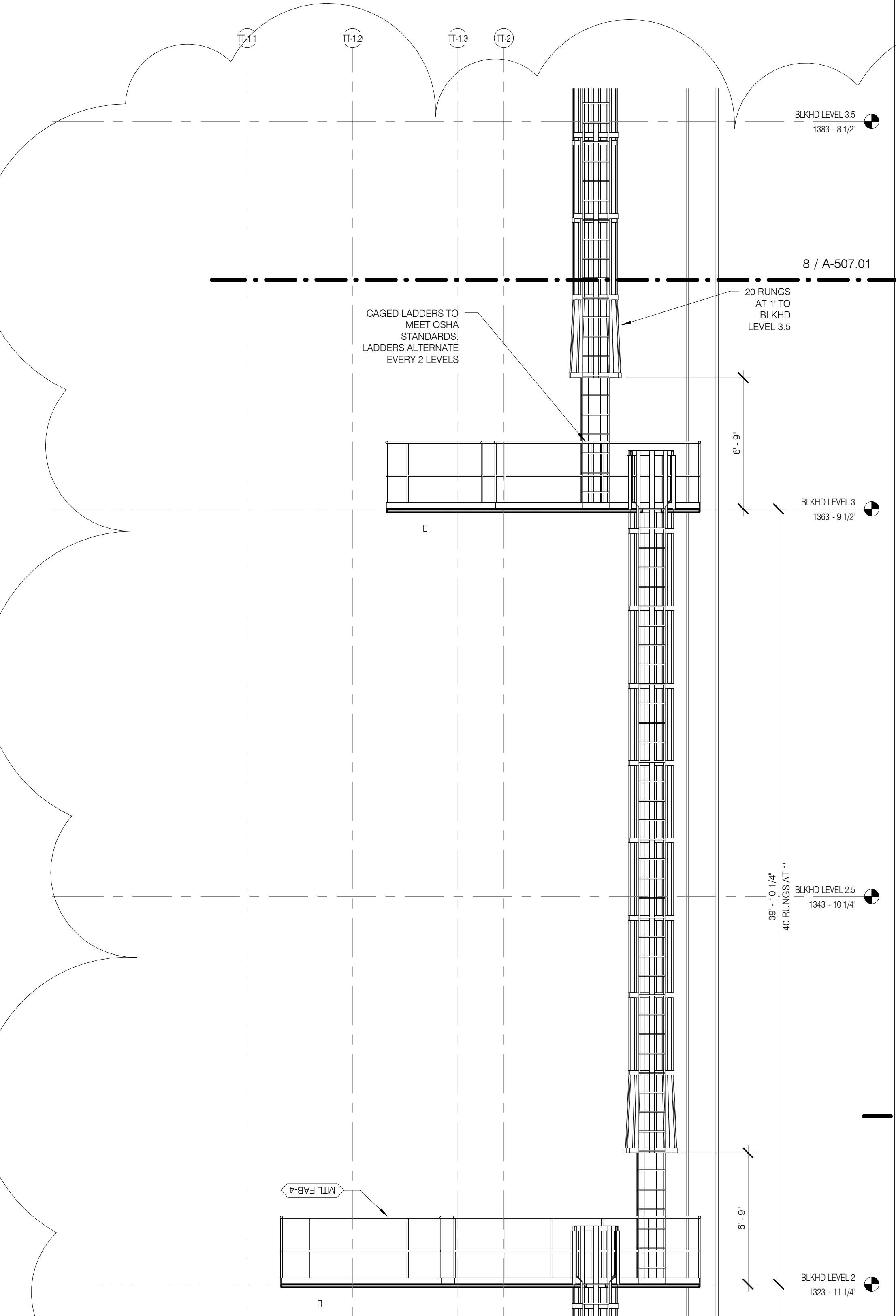
DRAWING TITLE  
**TOWER TOP, BMU & EMR ACCESS STAIRS**

DATE	3.27.15
PROJECT NO.	1309097
DESIGNED BY	SHIP
CHECKED BY	SHIP
DRAWING NUMBER	1211323098
DRAWING NUMBER	

**A-507.01**



GENERAL NOTES:  
 1. ALL SHIPS LADDERS AND ACCESS TO BE BUILT PER OSHA STANDARDS. PROVIDE ENCLOSURE WHERE REQUIRED.  
 2. BMU REQUIRED ACCESS TO BE COORDINATED WITH BMU MANUFACTURER.





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PROPERTY MARKETS GROUP  
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NEW YORK, NY 10022  
212.611.2000

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019

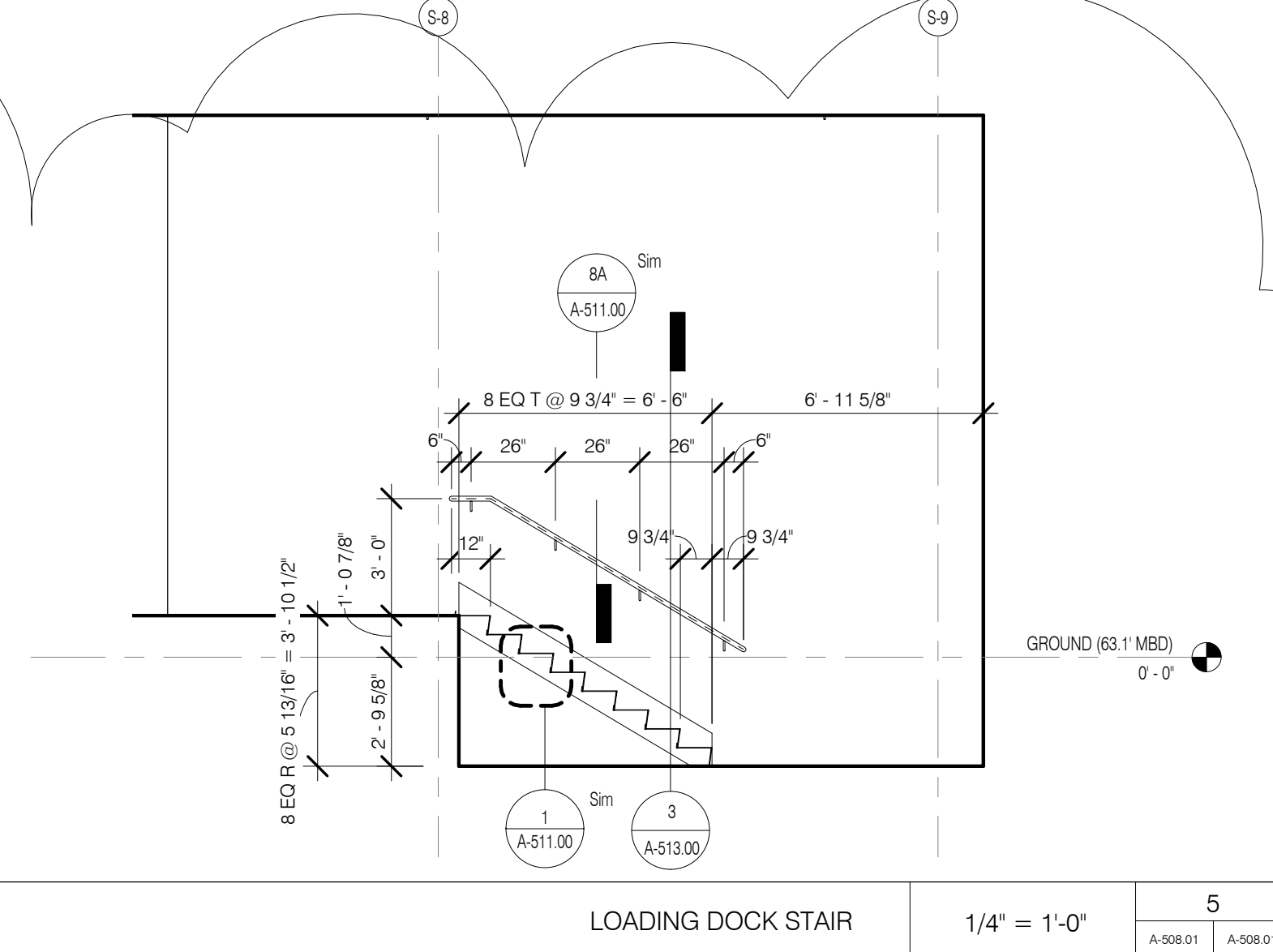


NO.	DATE	REVISION
1	3.27.15	DOB PAA

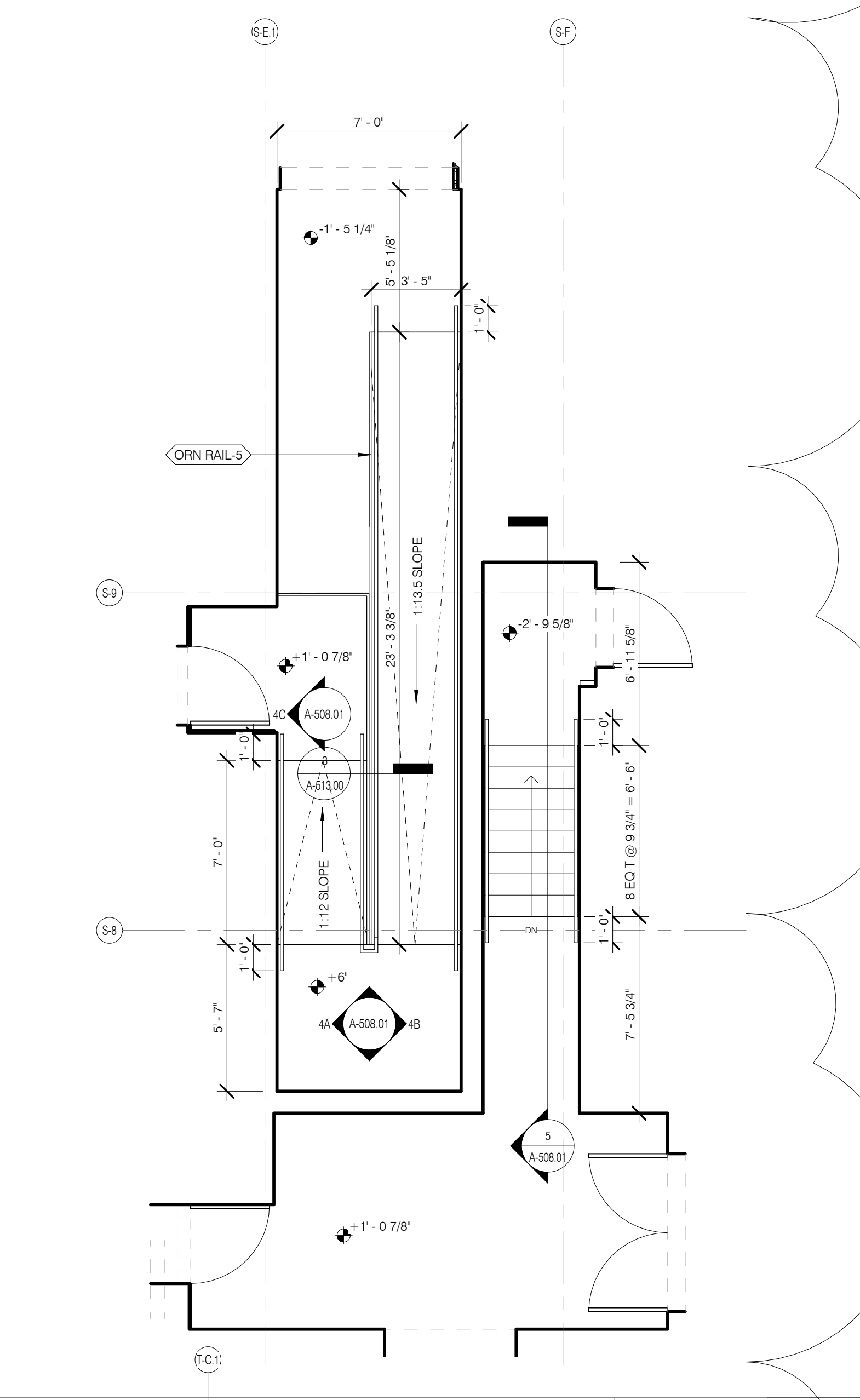
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**STAIR PLANS & SECTIONS**

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PROJECT NO.	130907
DESIGNED BY	SHAP
CHECKED BY	SHAP
DRAWN BY	121329396
DRAWING NUMBER	

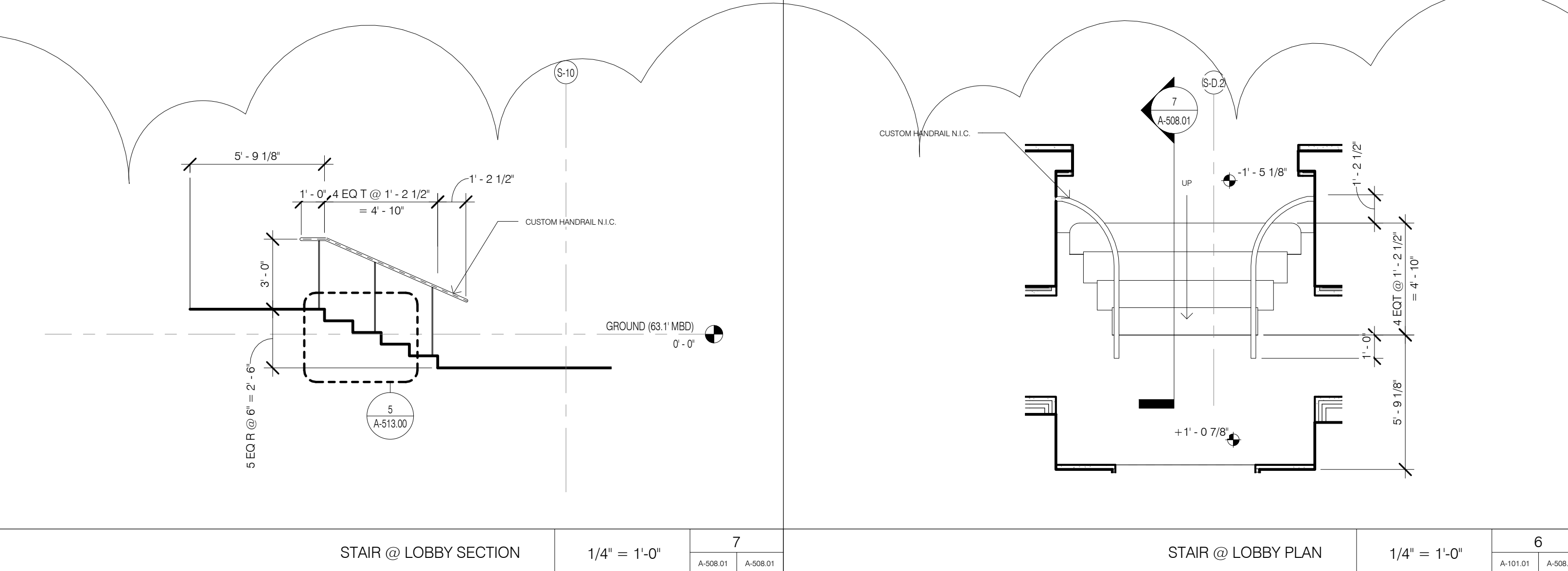
REGISTERED ARCHITECT  
STATE OF NEW YORK  
**A-508.01**



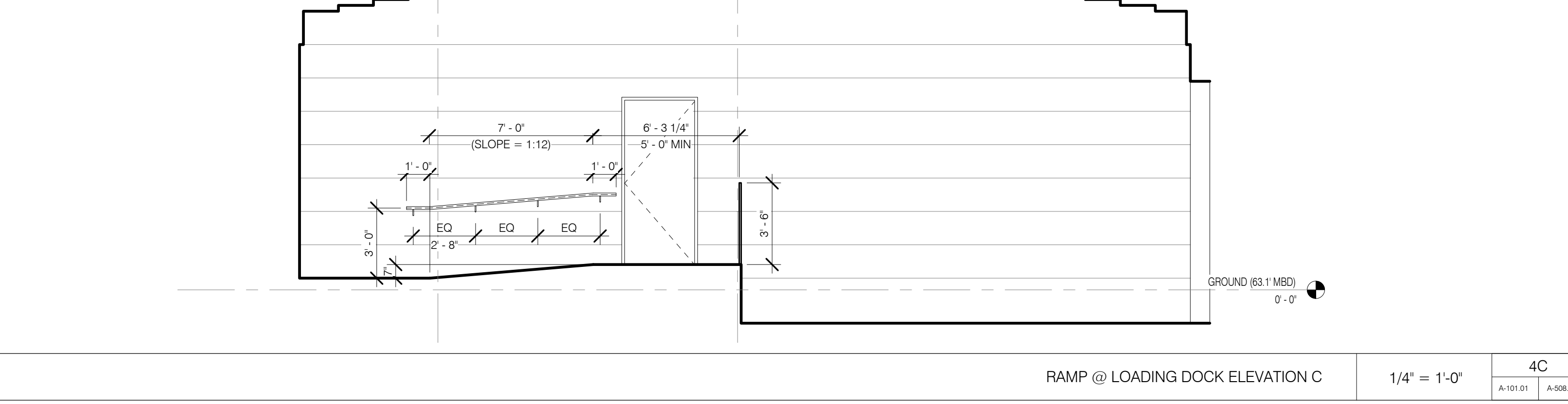
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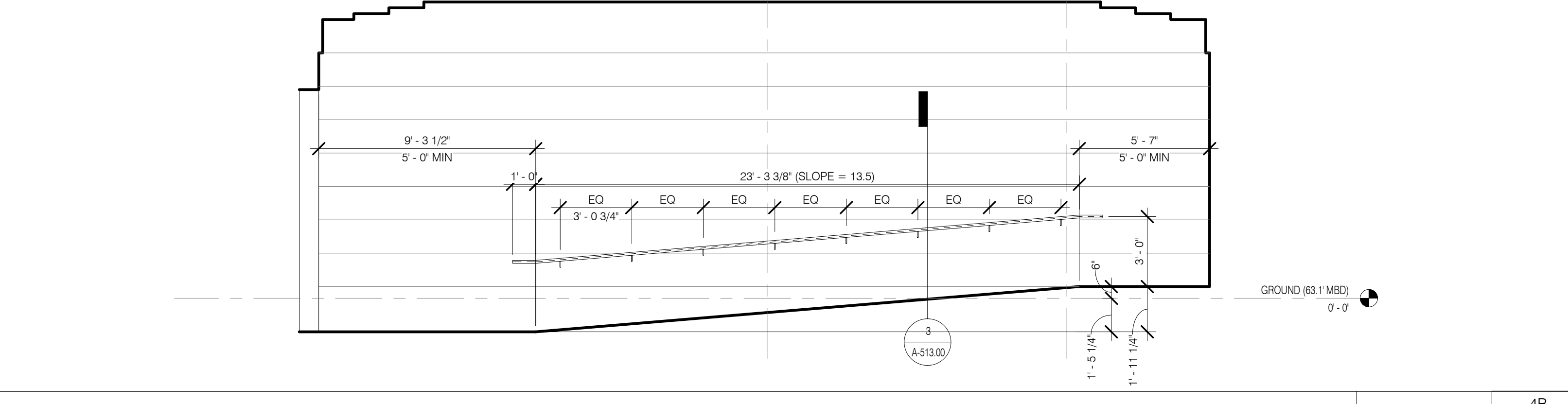
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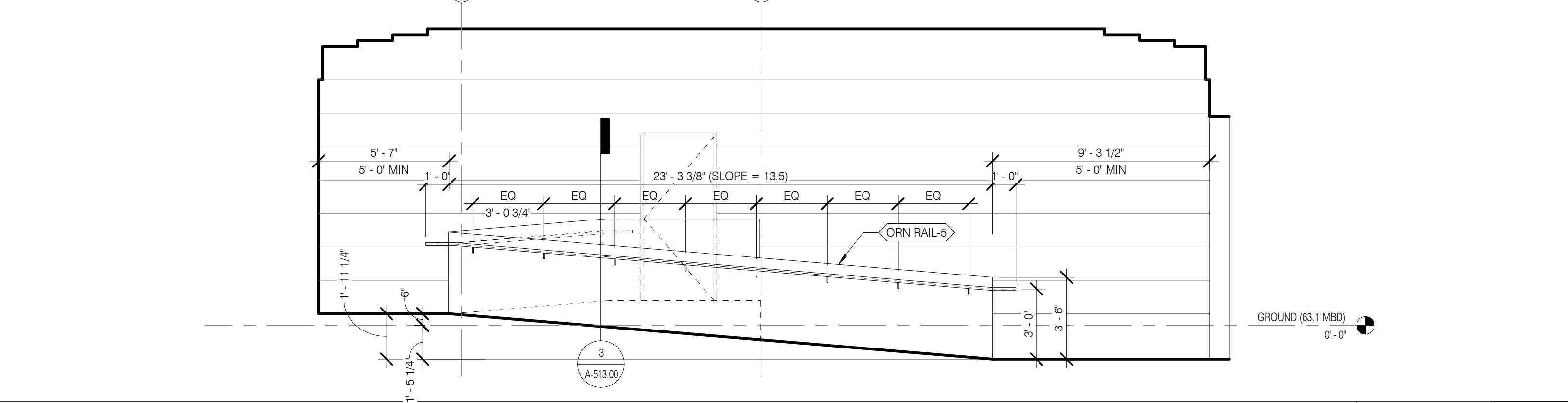
STAIR @ LOBBY SECTION 1/4" = 1'-0" 7



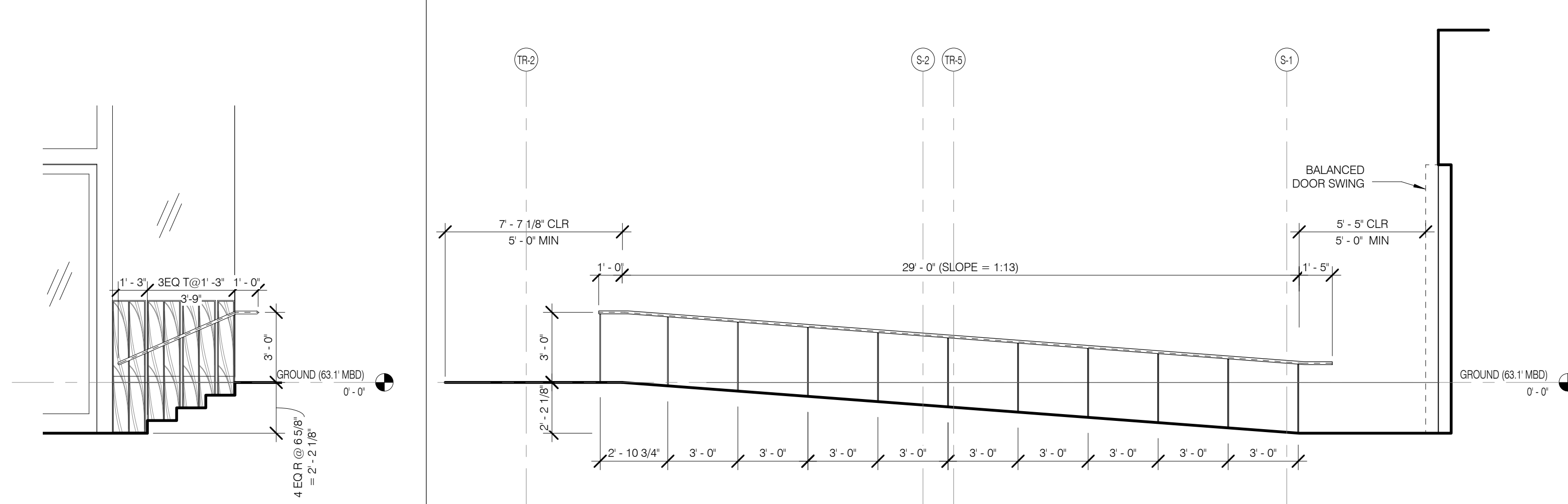
RAMP @ LOADING DOCK ELEVATION C 1/4" = 1'-0" 4C



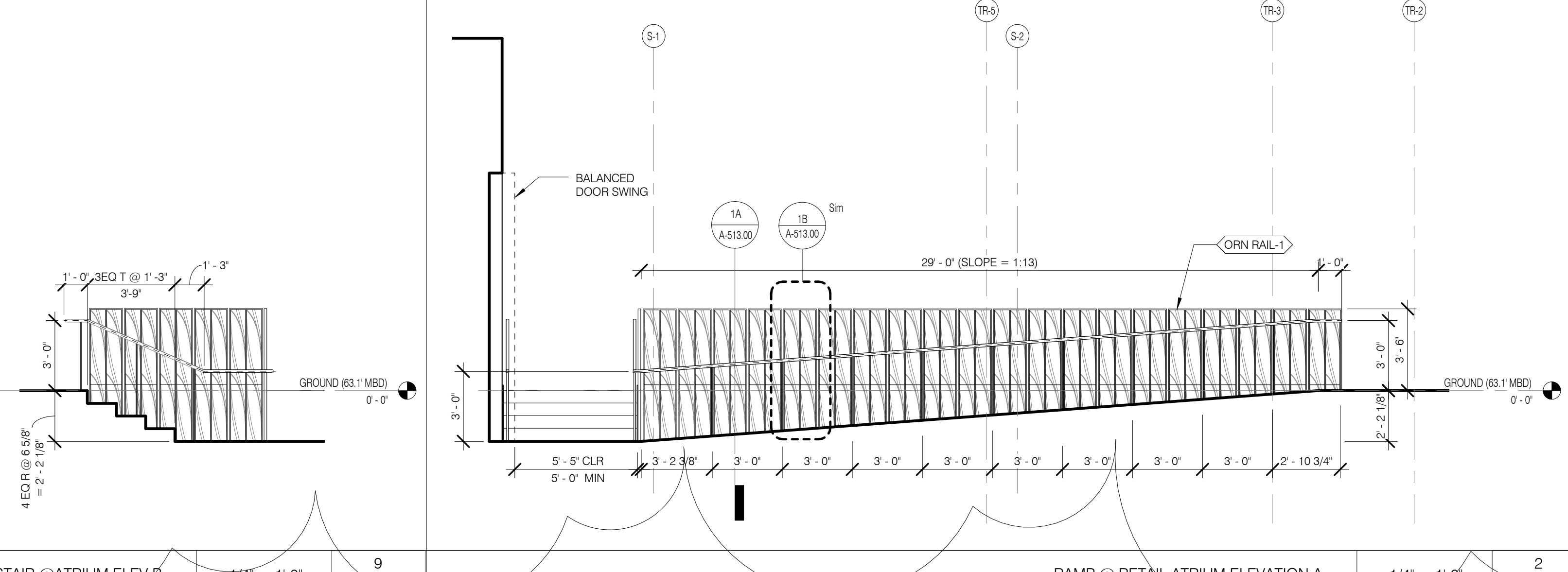
RAMP @ LOADING DOCK ELEVATION B 1/4" = 1'-0" 4B



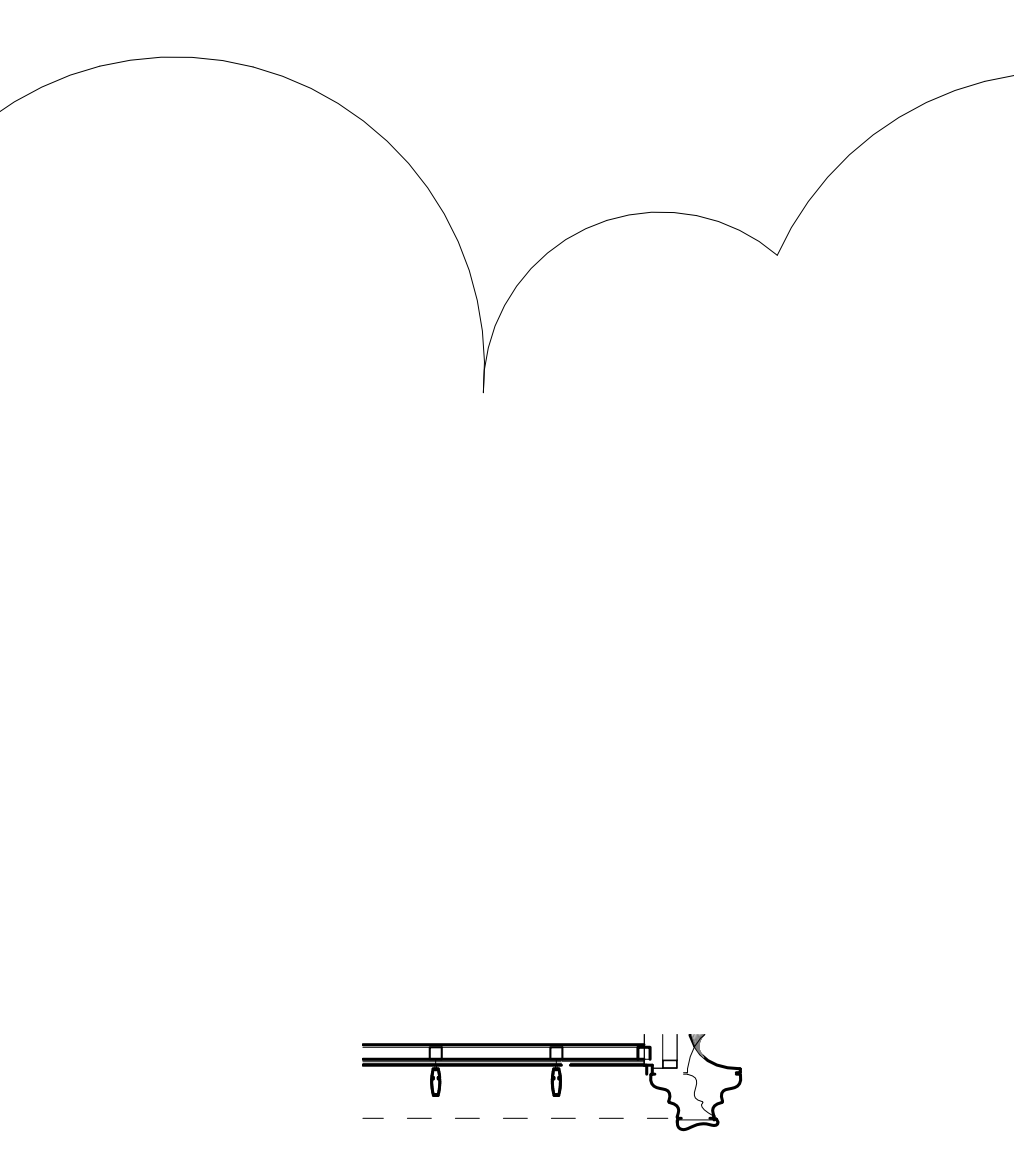
RAMP @ LOADING DOCK ELEVATION A 1/4" = 1'-0" 4A



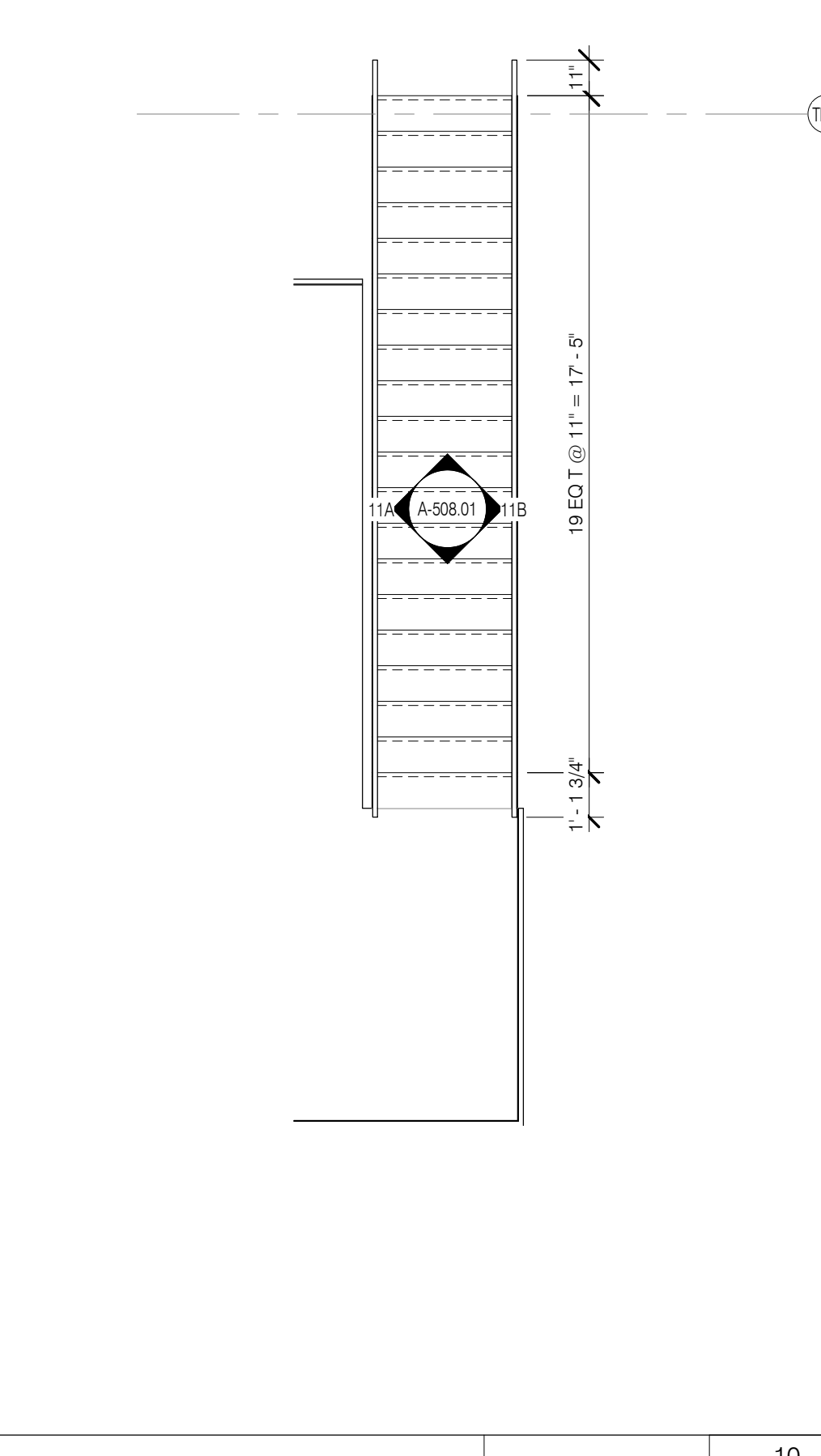
STAIR @ ATRIUM ELEV B 1/4" = 1'-0" 4



RAMP @ RETAIL ATRIUM ELEVATION A 1/4" = 1'-0" 2



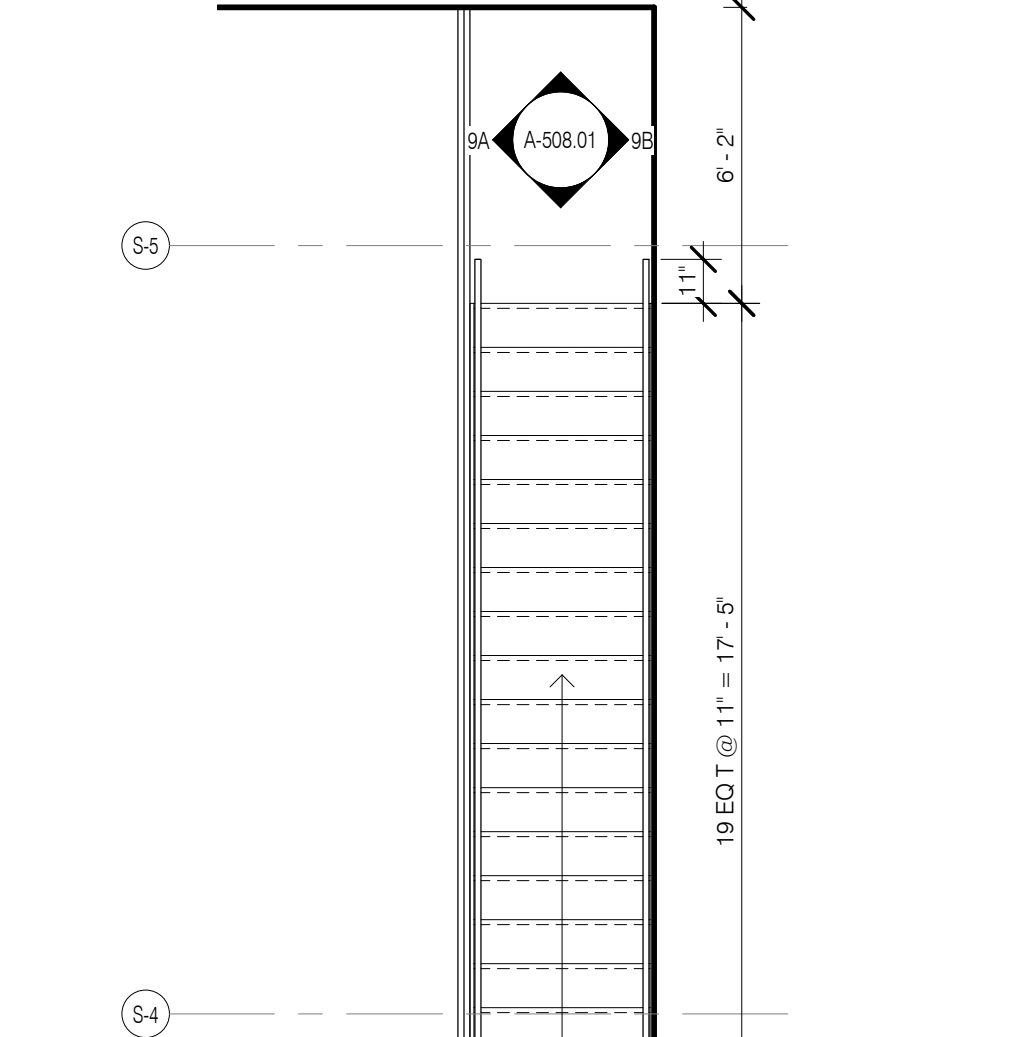
STAIR @ RESIDENTIAL FITNESS BALCONY ELEVATION B 1/4" = 1'-0" 11B



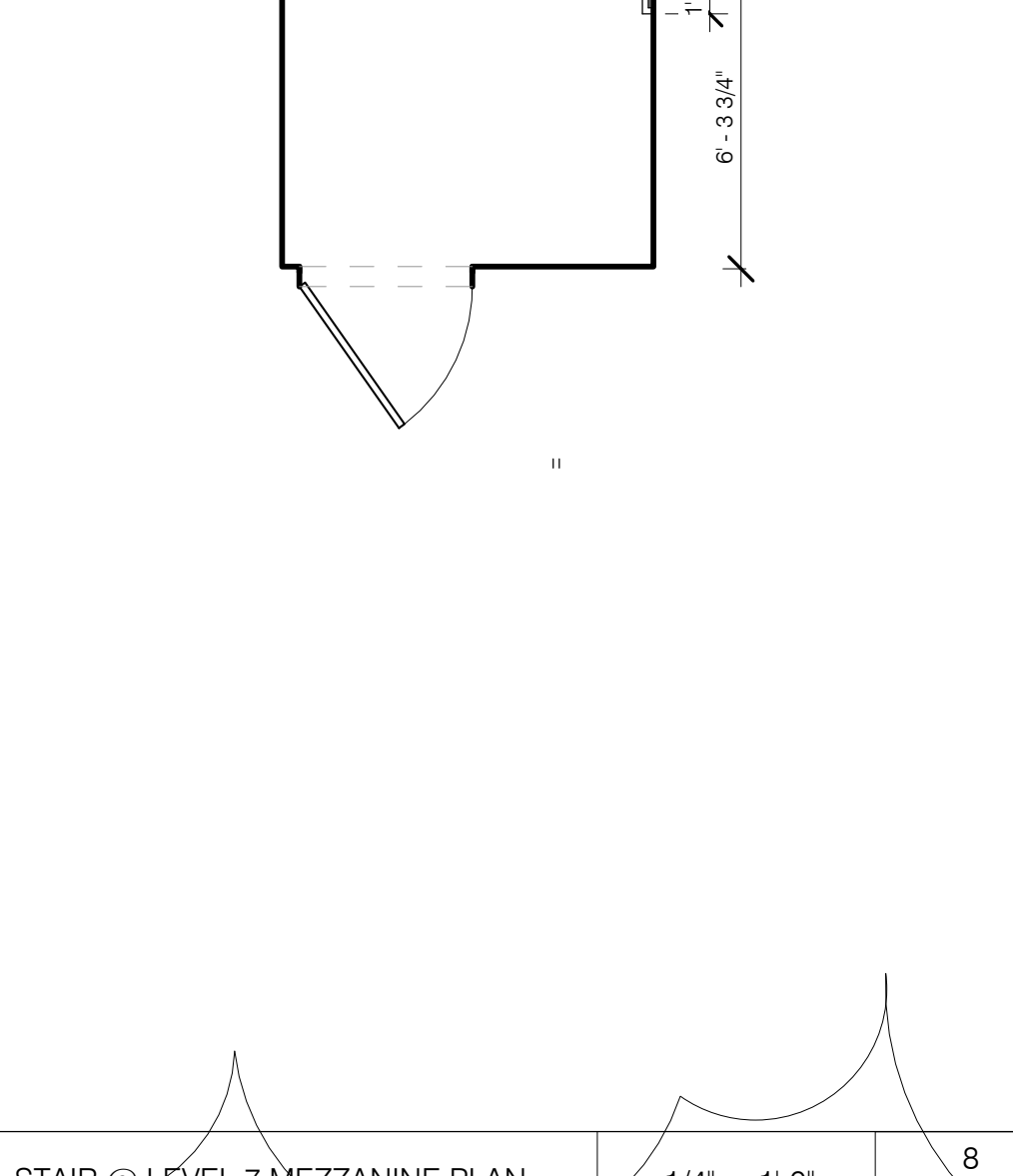
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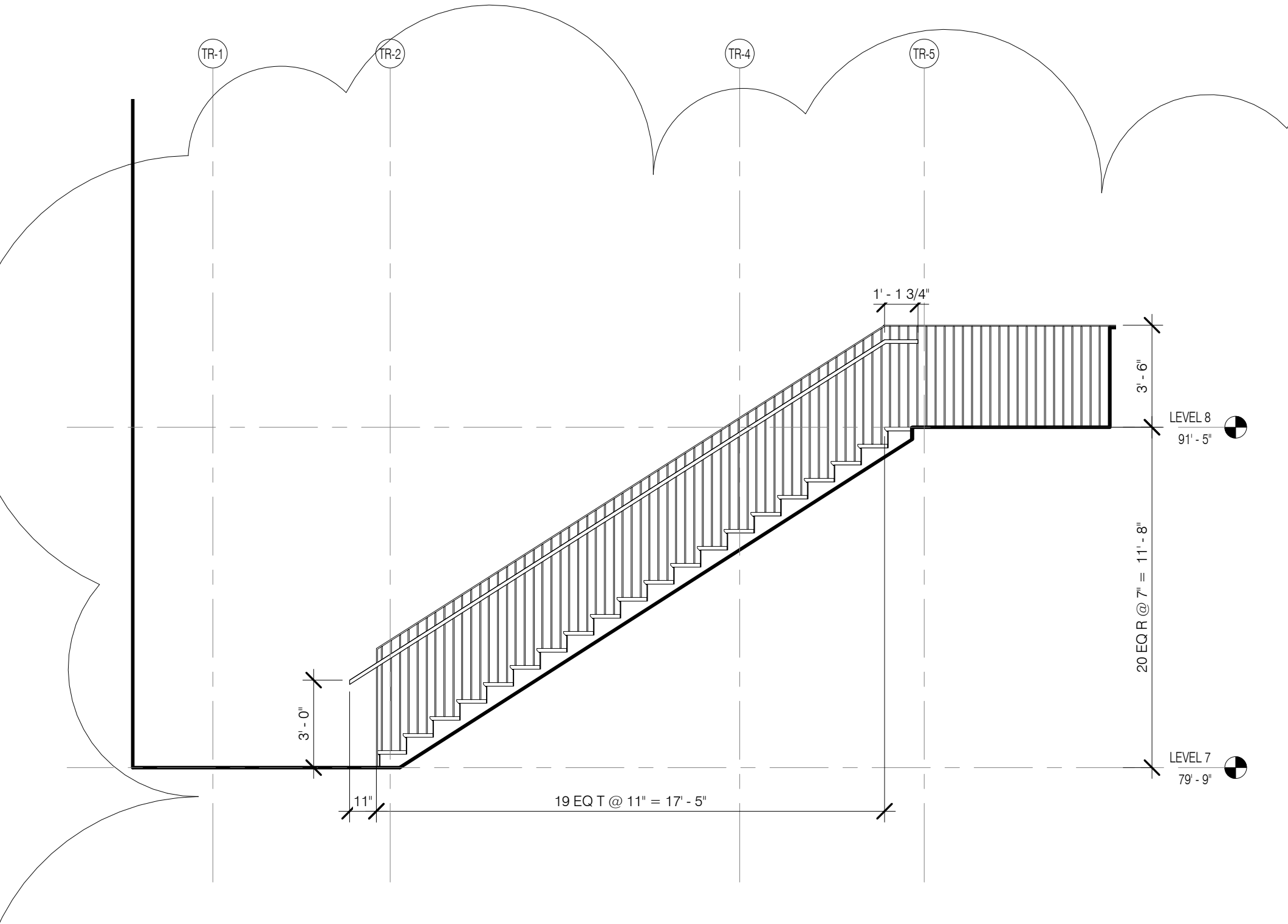
STAIR @ LEVEL 7 MEZZANINE ELEVATION B 1/4" = 1'-0" 9B



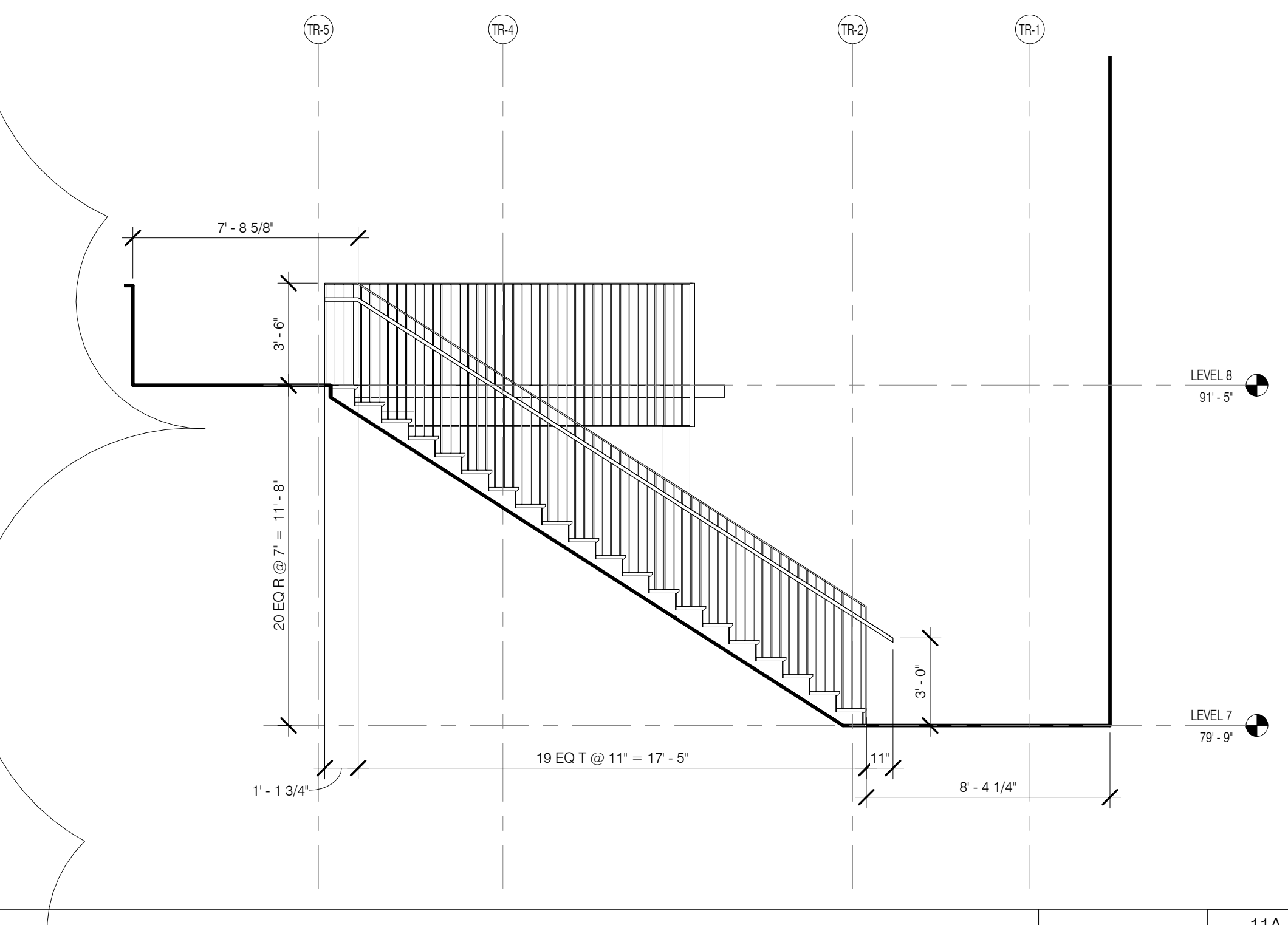
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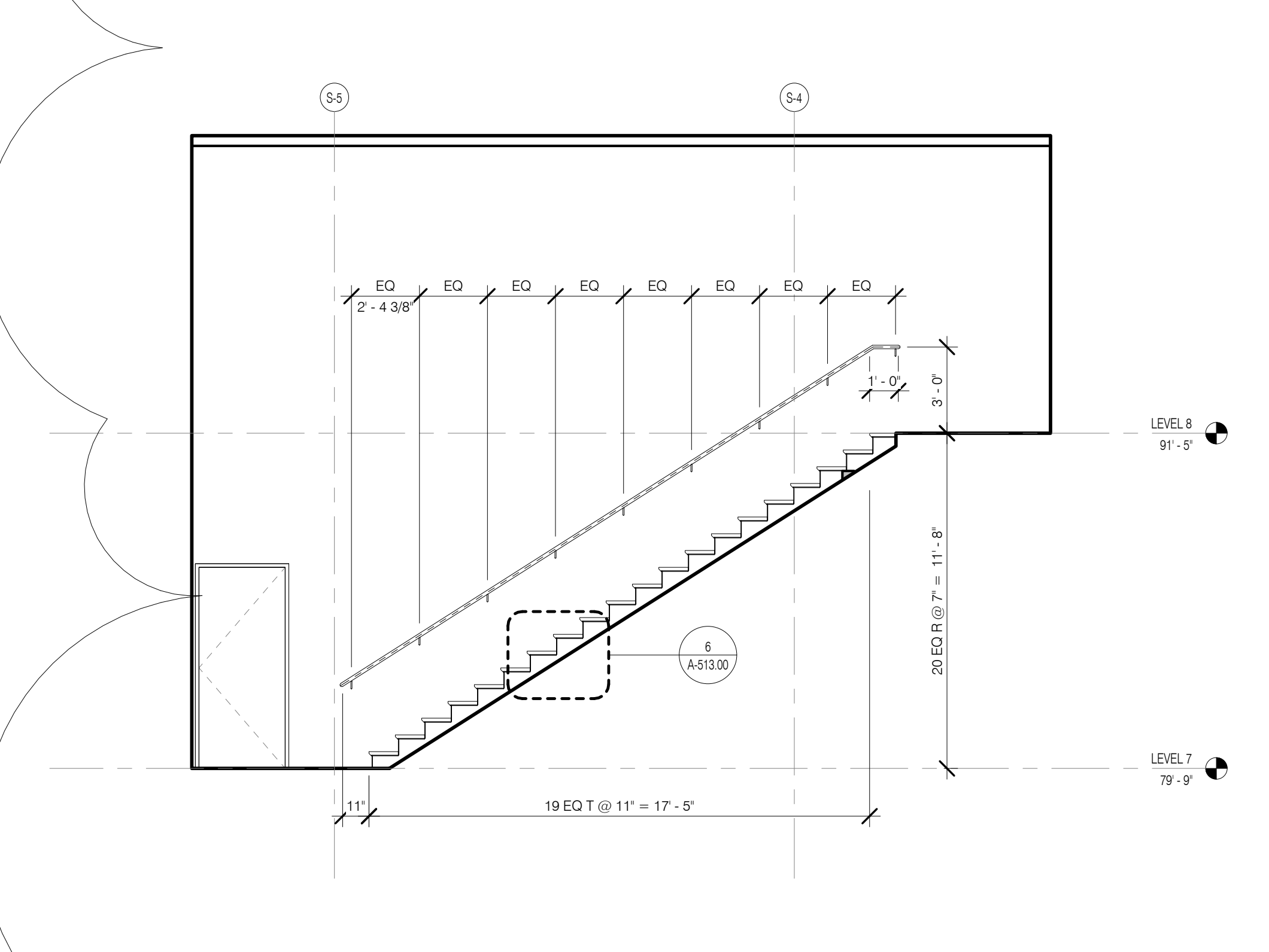
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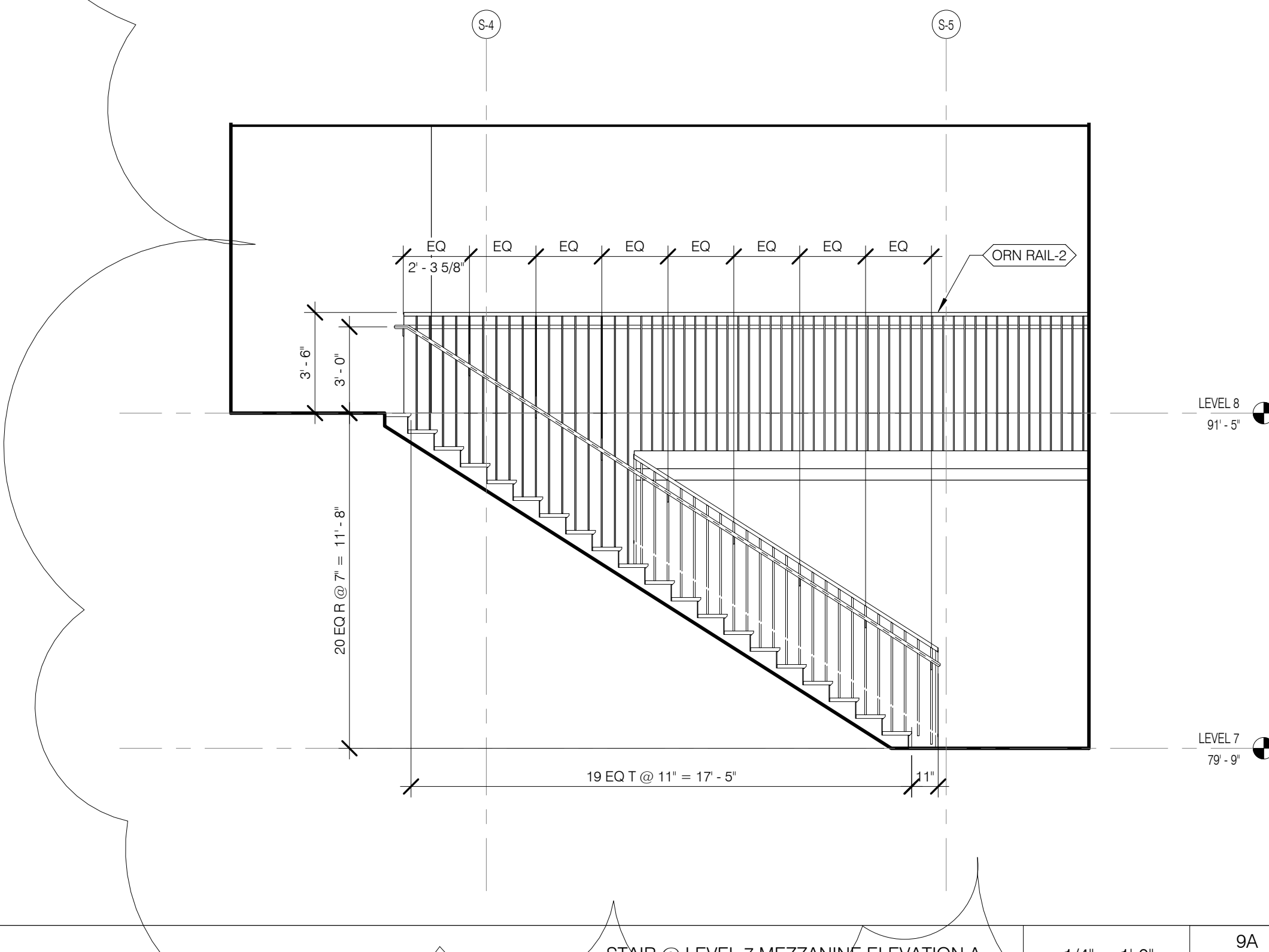
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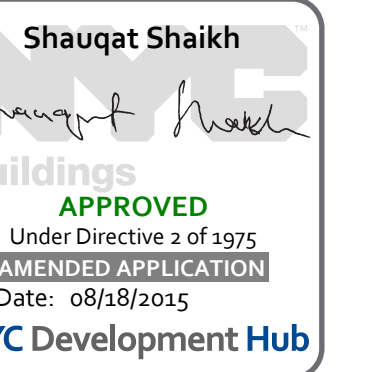
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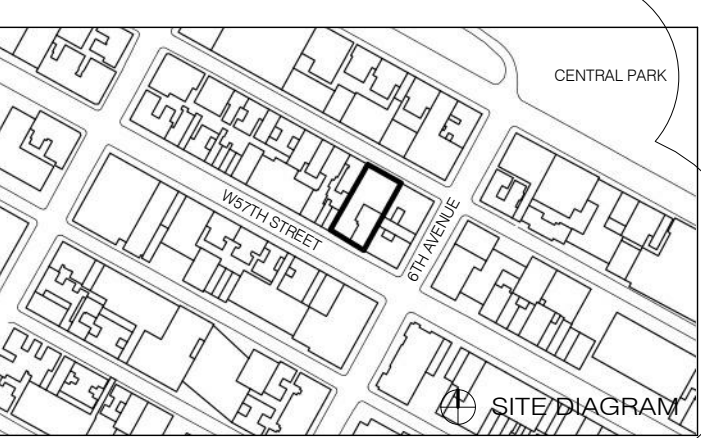
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STAIR @ LEVEL 7 MEZZANINE ELEVATION A 1/4" = 1'-0" 9A



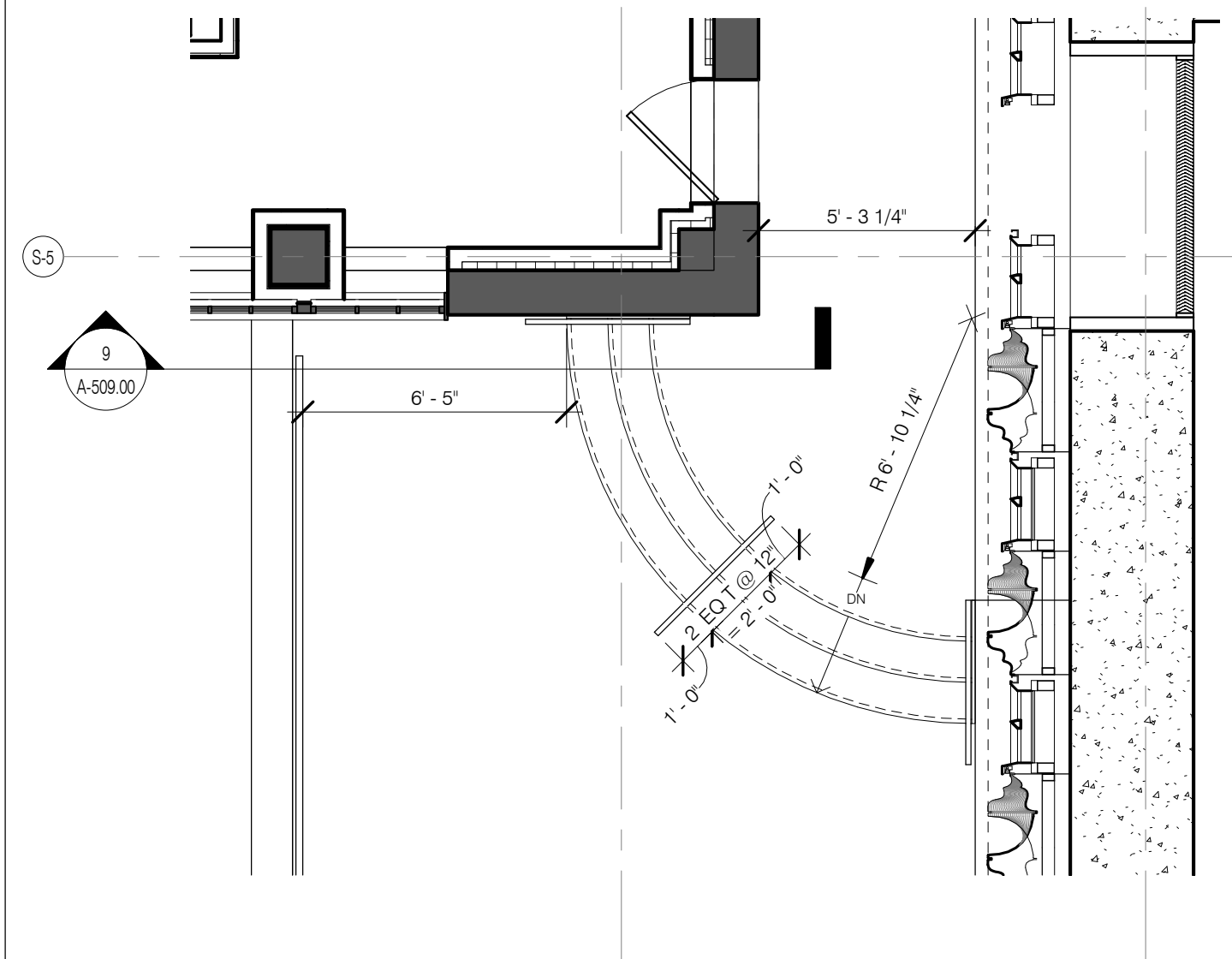
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



1	3/27/15	DOB PAA
NO.	DATE	REVISION
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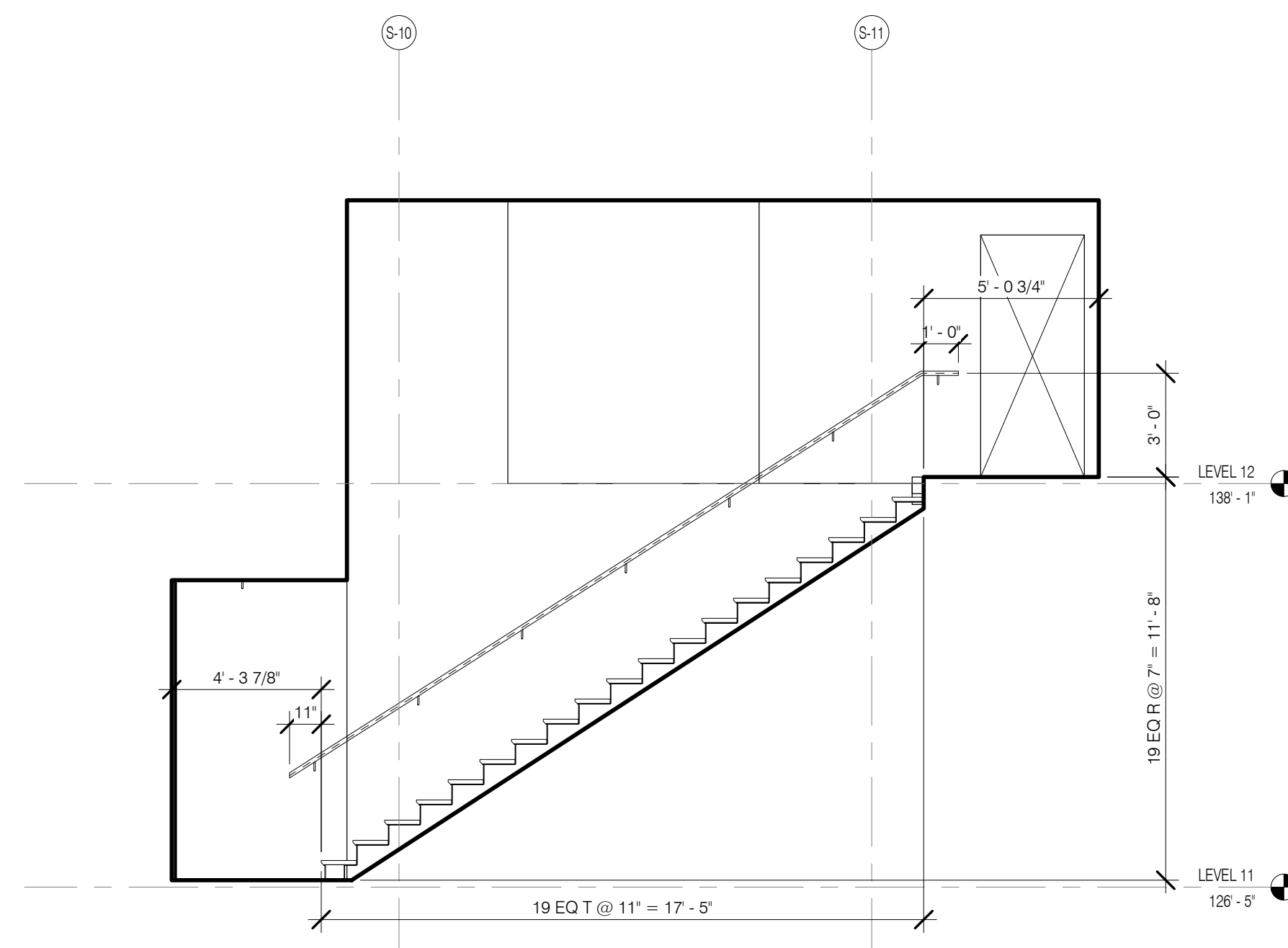
DRAWING TITLE  
**STAIR PLANS & SECTIONS**

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CHECKED BY	SHAP	
DATE NO.	12/18/2008	
DRAWING NUMBER		
<b>A-509.00</b>		

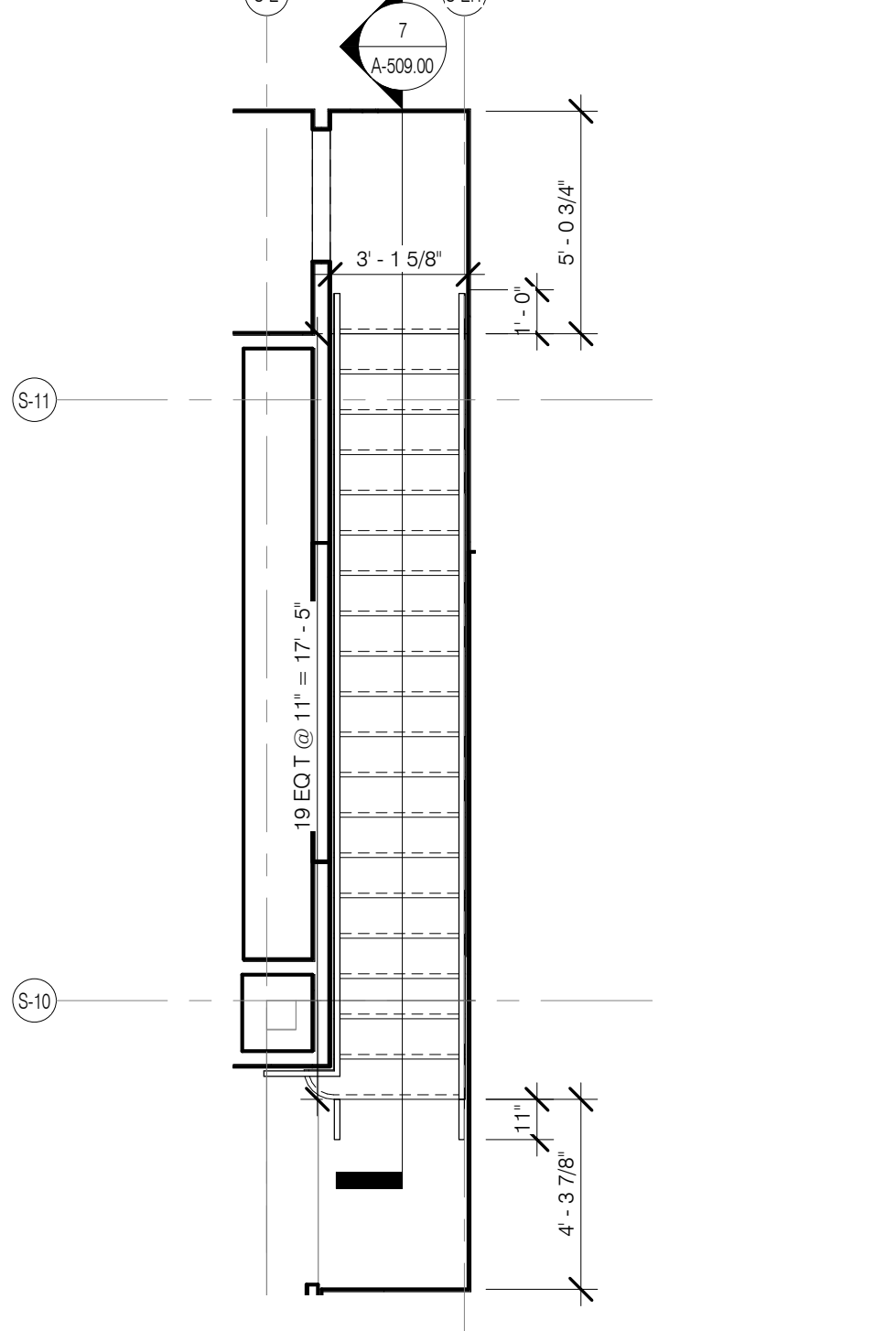


STAIR @ LEVEL 17 TERRACE SECTION 1/4" = 1'-0" 9

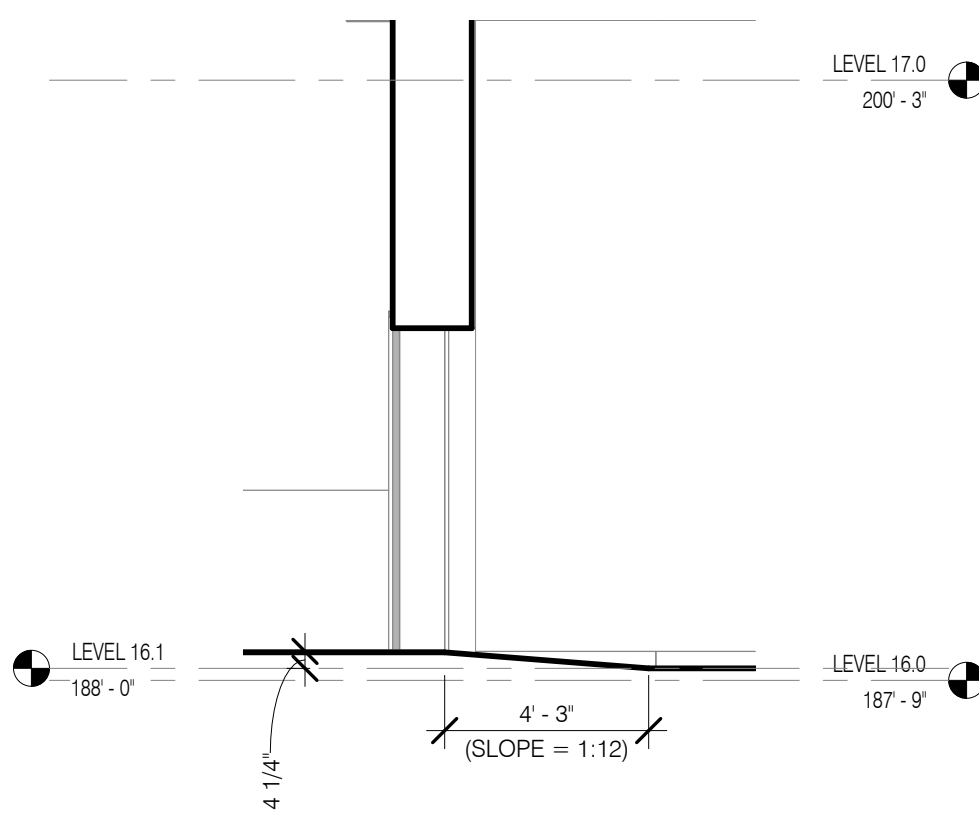
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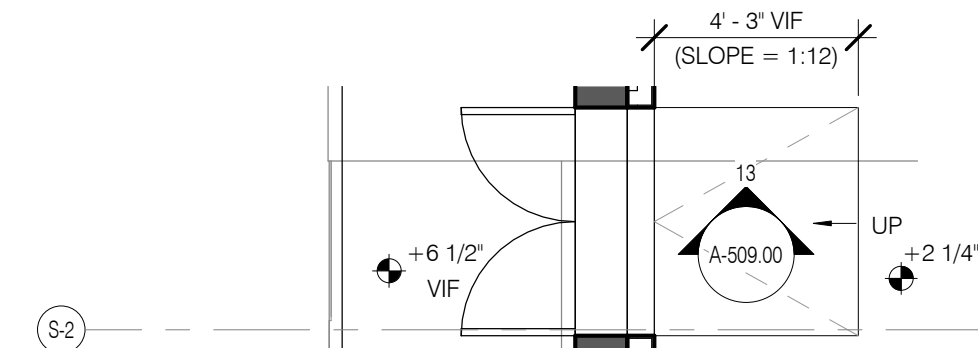
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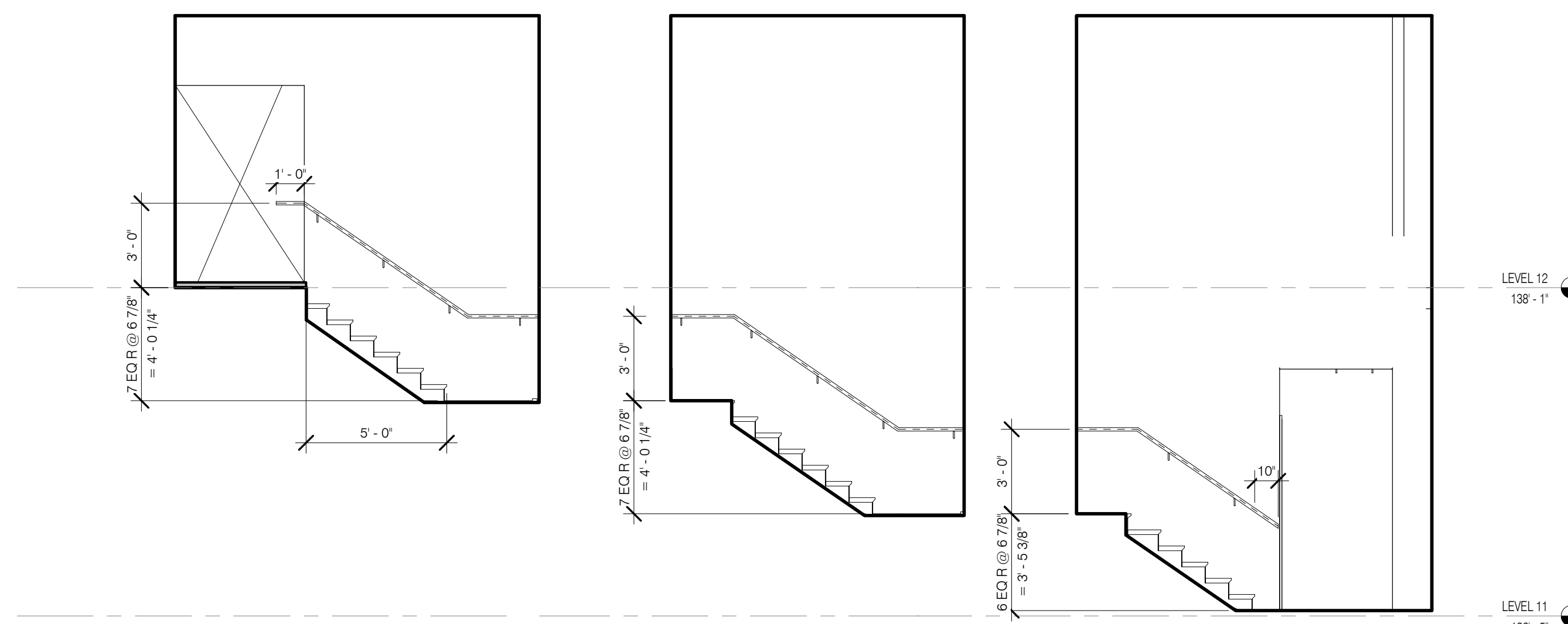
STAIR @ 1102 MEZZANINE PLAN 1/4" = 1'-0" 6



LEVEL 16 SOUTH TERRACE ACCESS RAMP SECTION 1/4" = 1'-0" 13



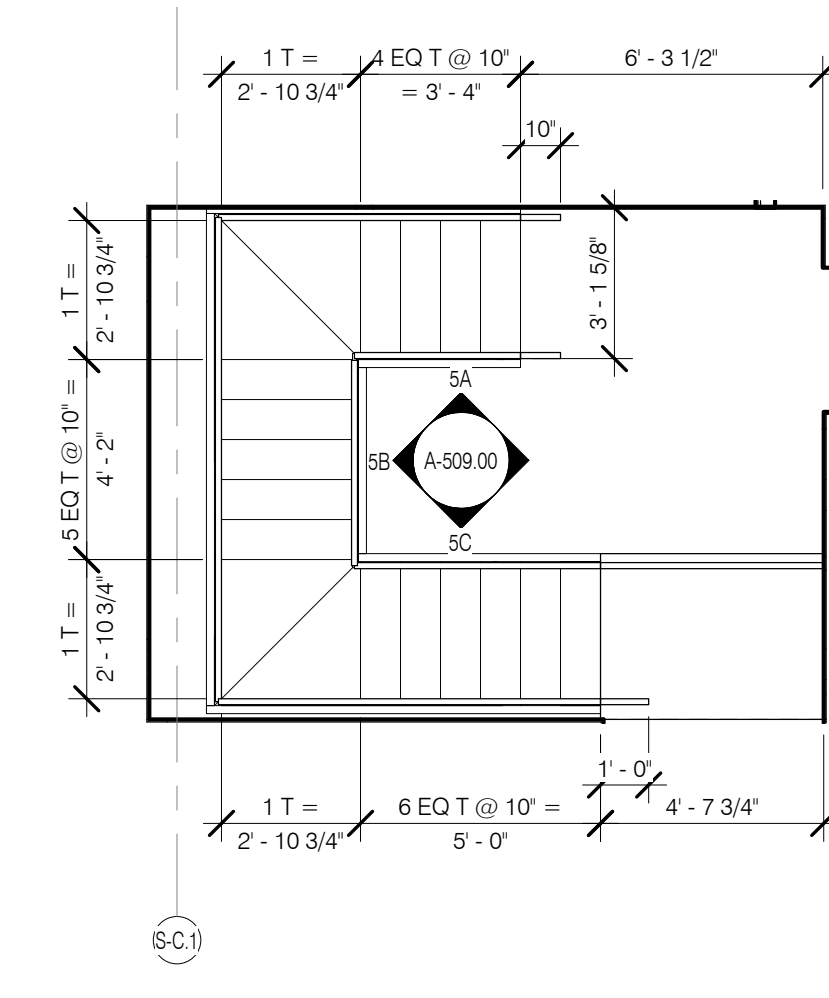
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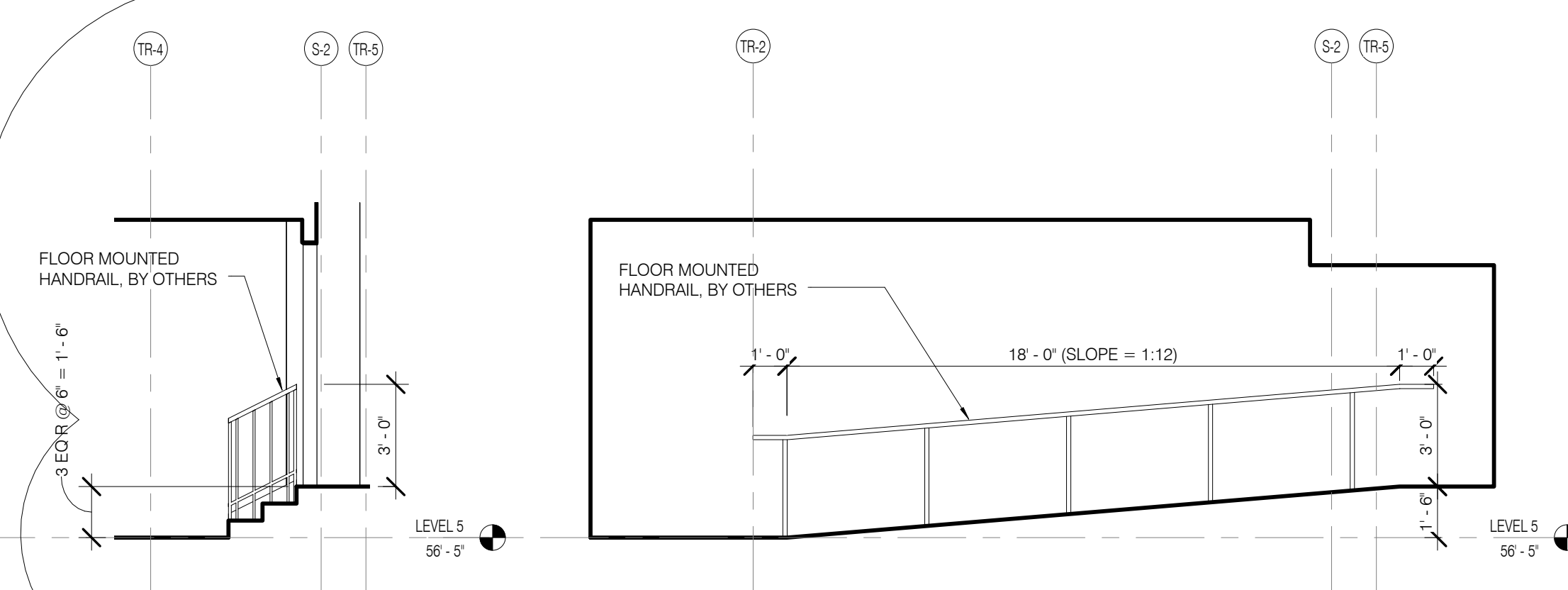
STAIR @ 1101 ELEVATION C 1/4" = 1'-0" 5C

STAIR @ 1101 ELEVATION B 1/4" = 1'-0" 5B

STAIR @ 1101 ELEVATION A 1/4" = 1'-0" 5A

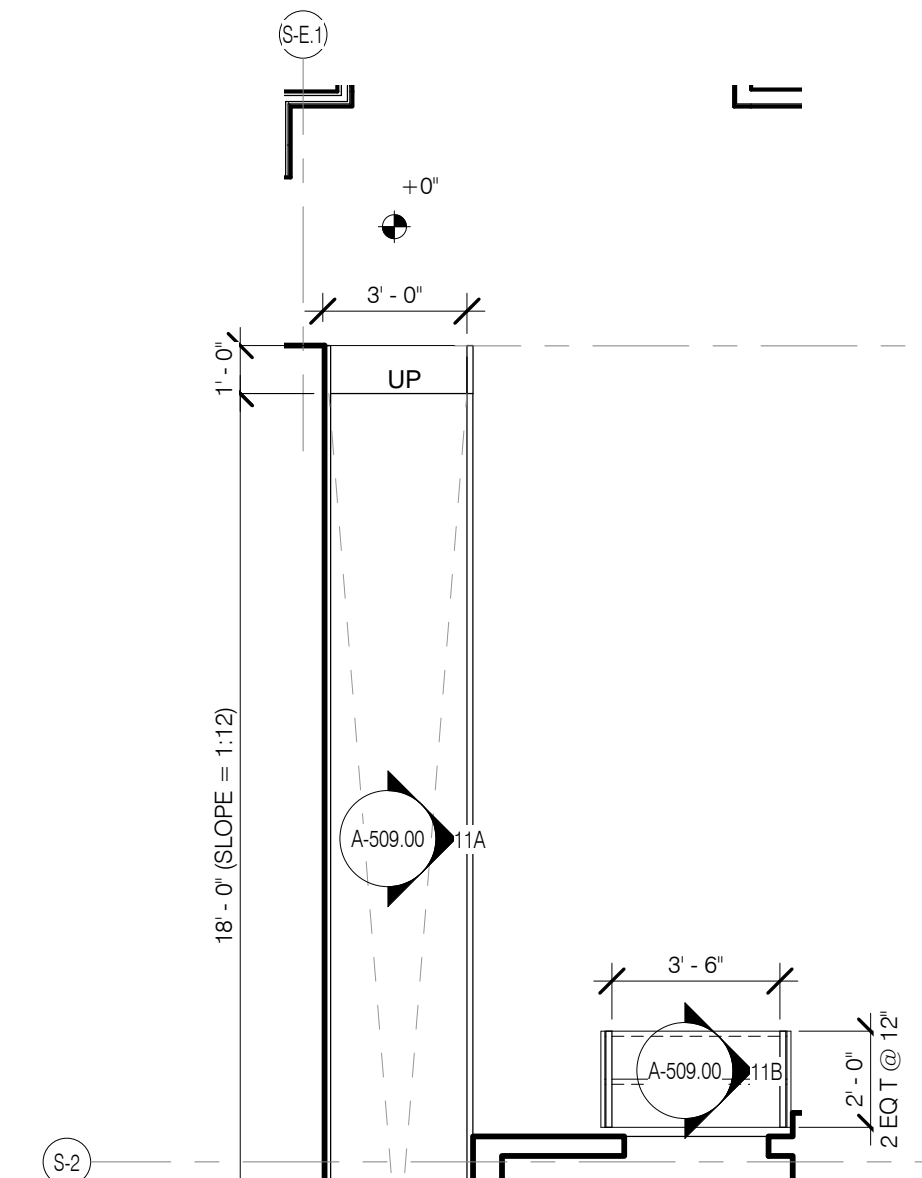


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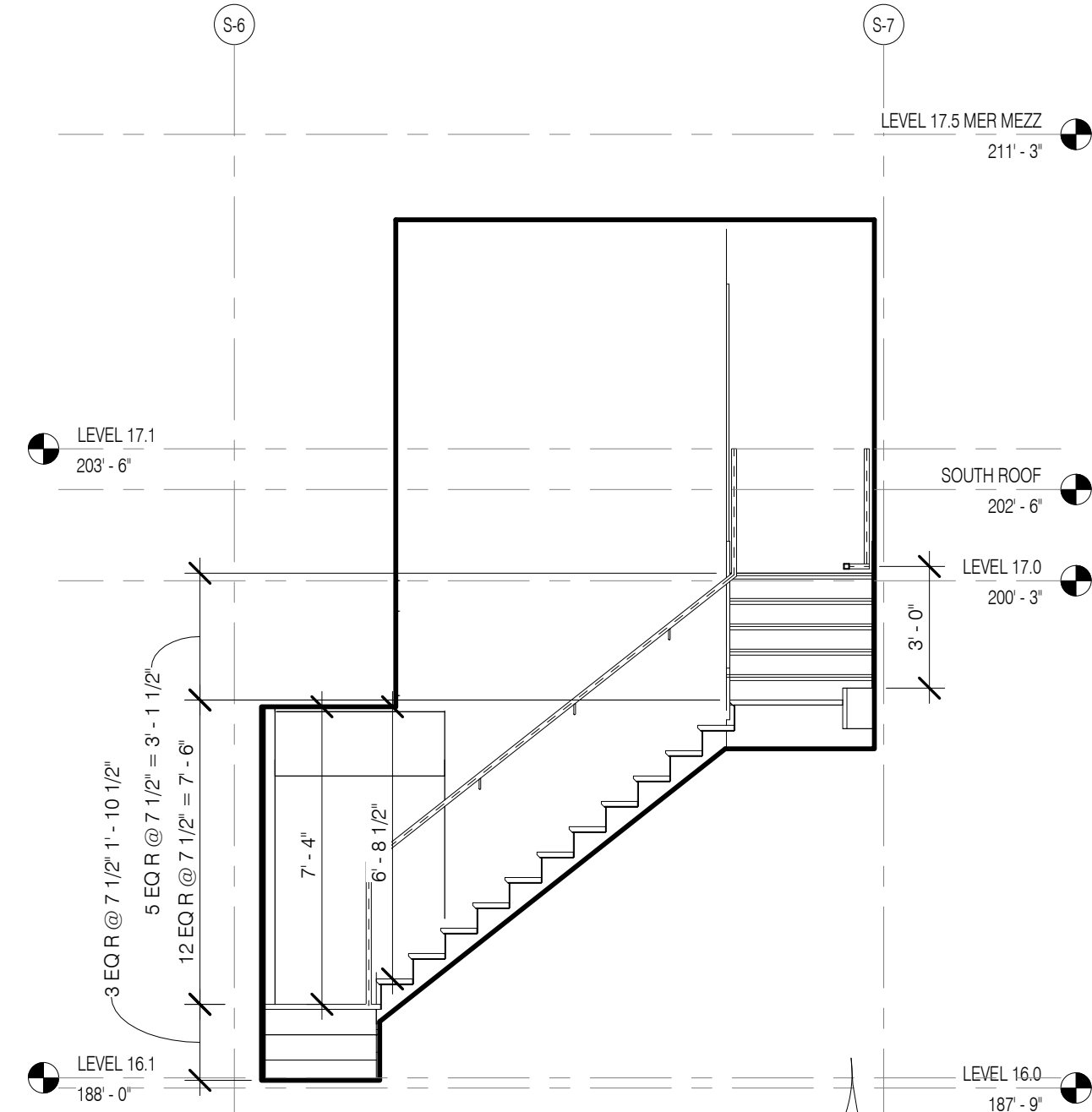


LEVEL 5 AMENITY STAIR SECTION 1/4" = 1'-0" 11B

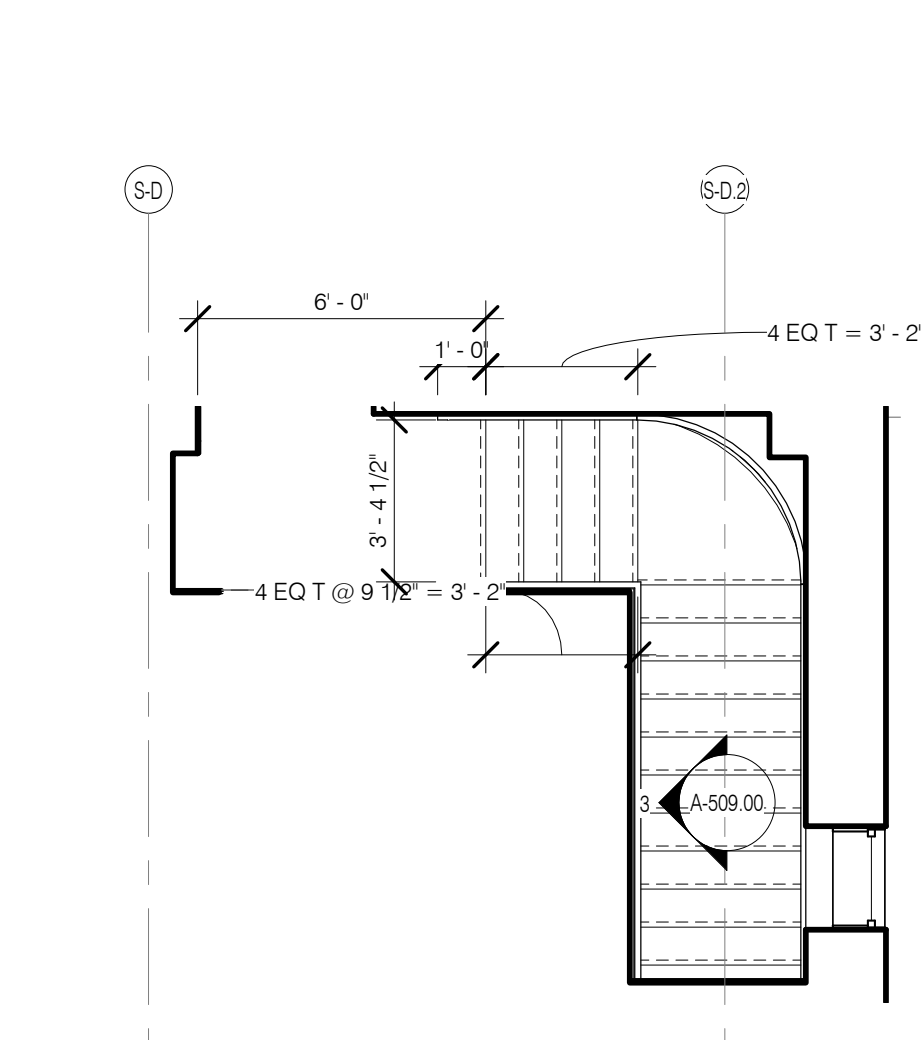
LEVEL 5 AMENITY RAMP SECTION 1/4" = 1'-0" 11A



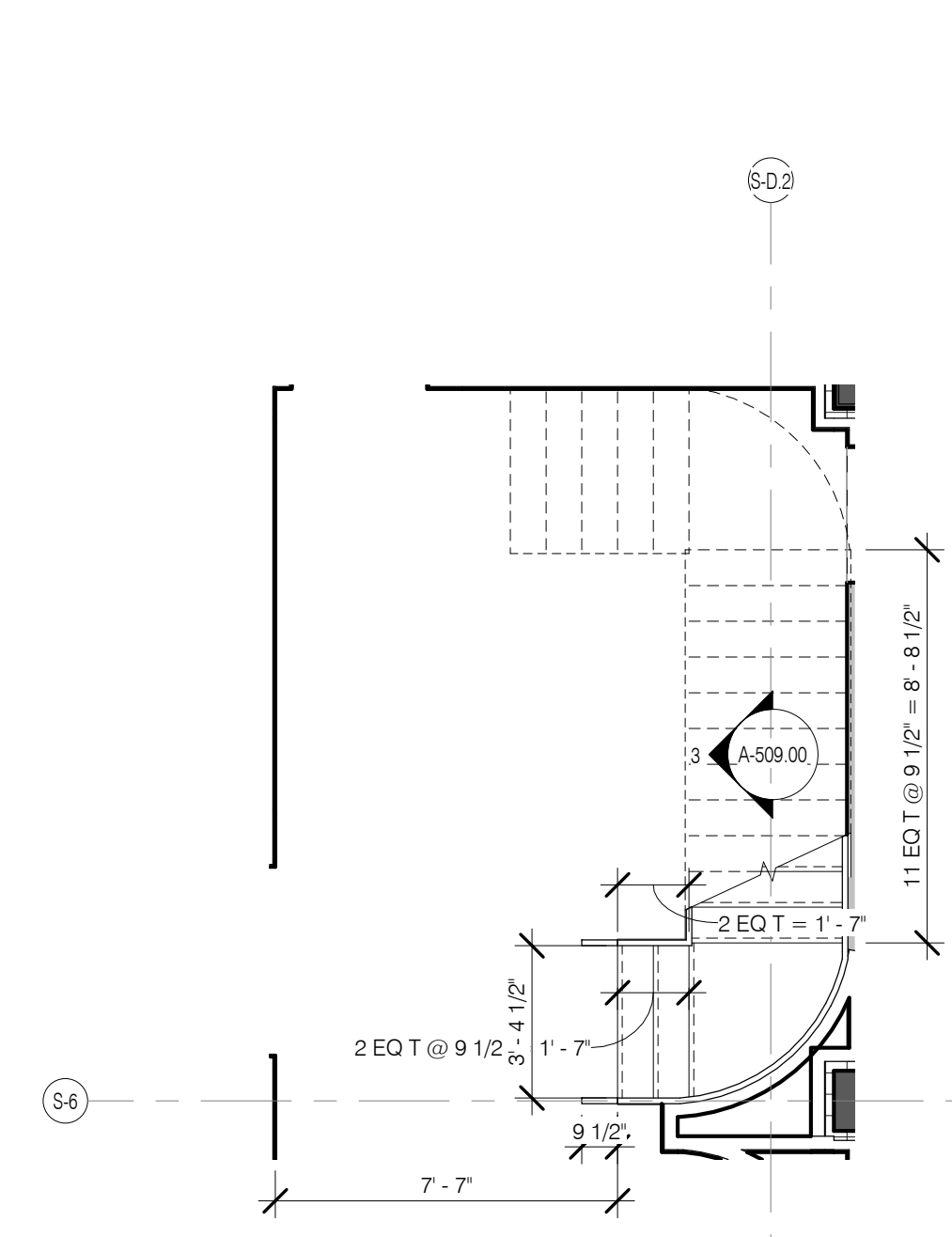
LEVEL 5 AMENITY RAMP PLAN 1/4" = 1'-0" 10



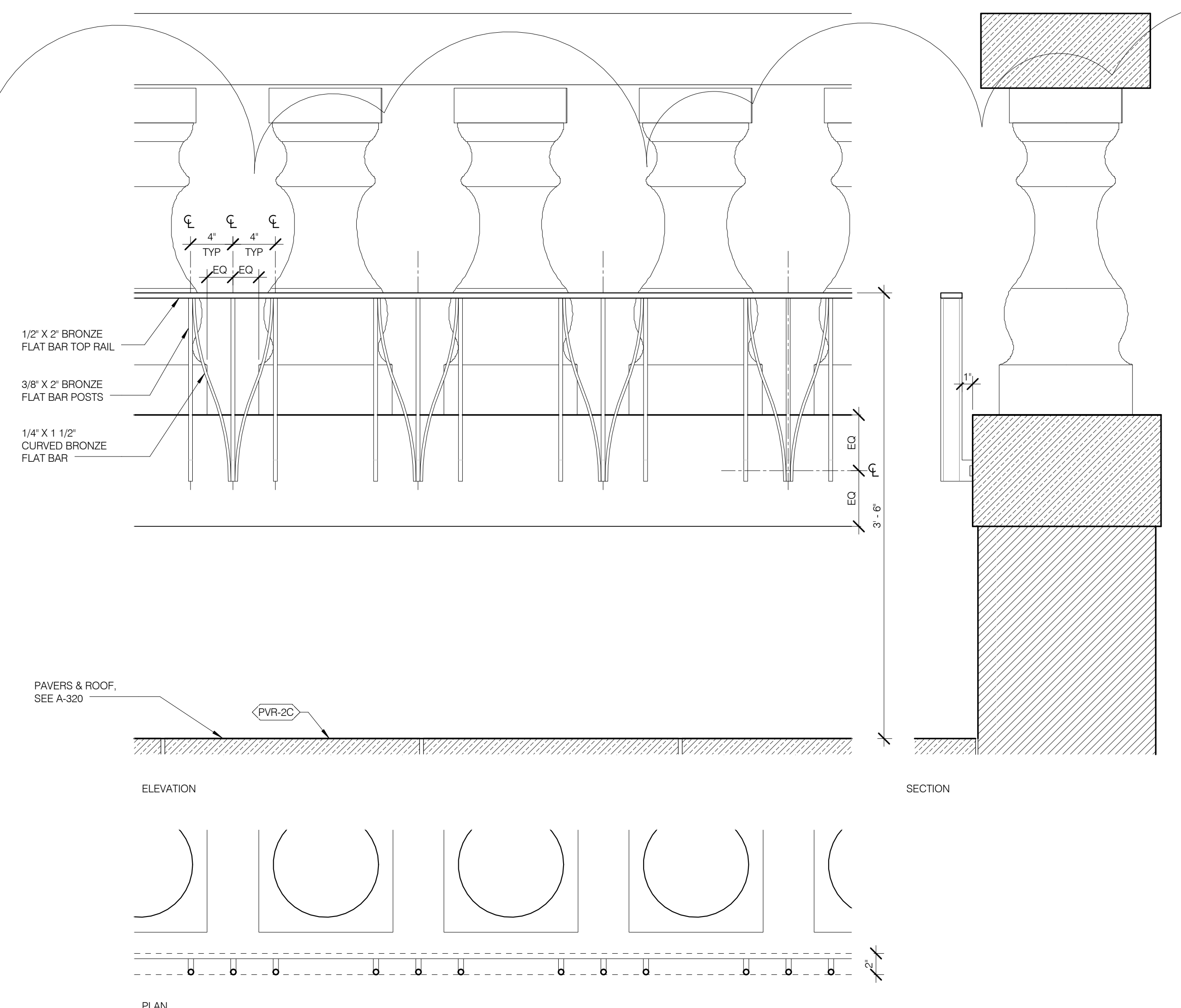
STAIR @ STEINWAY PENTHOUSE - LEVEL 16 SECTION 1/4" = 1'-0" 3



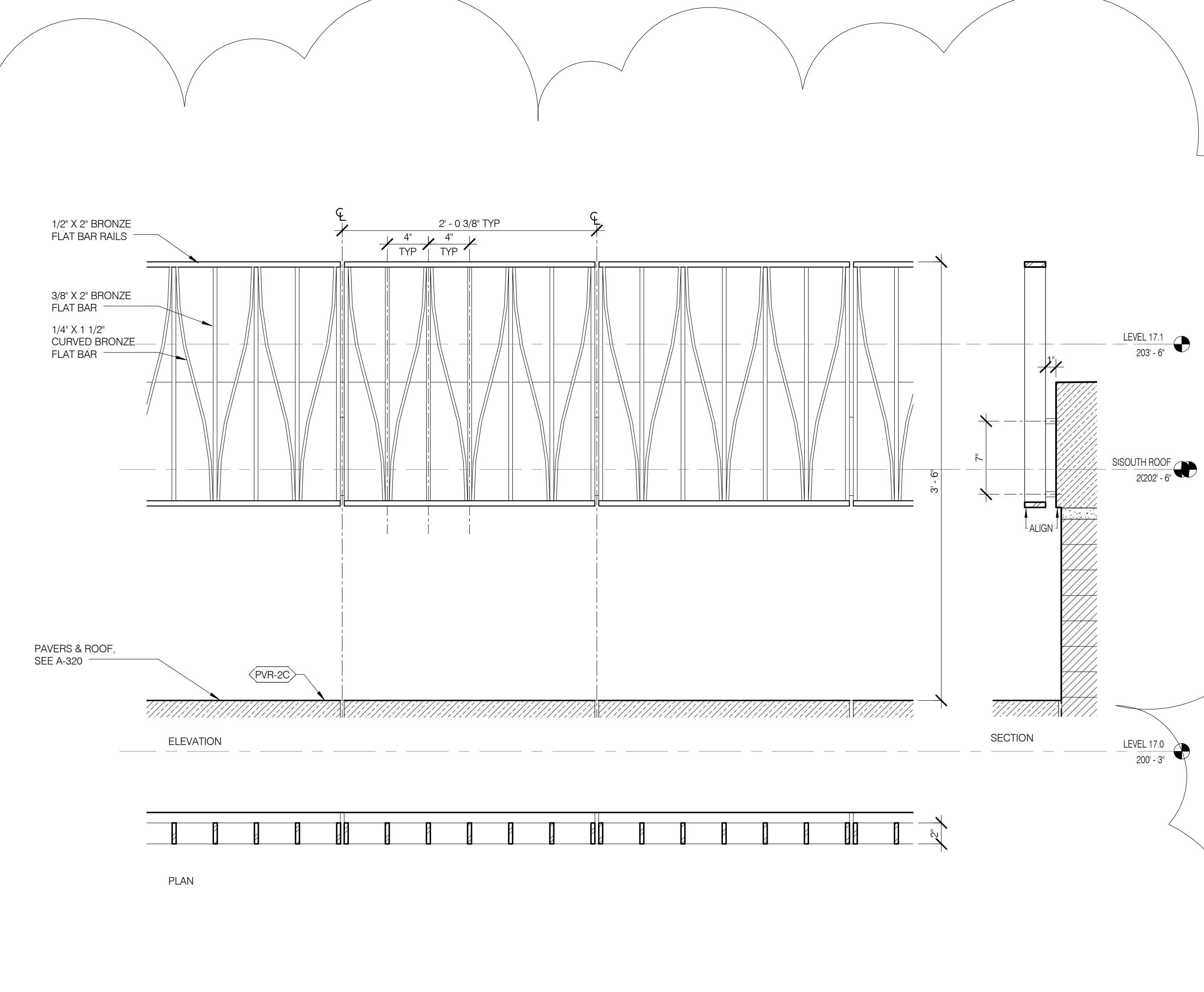
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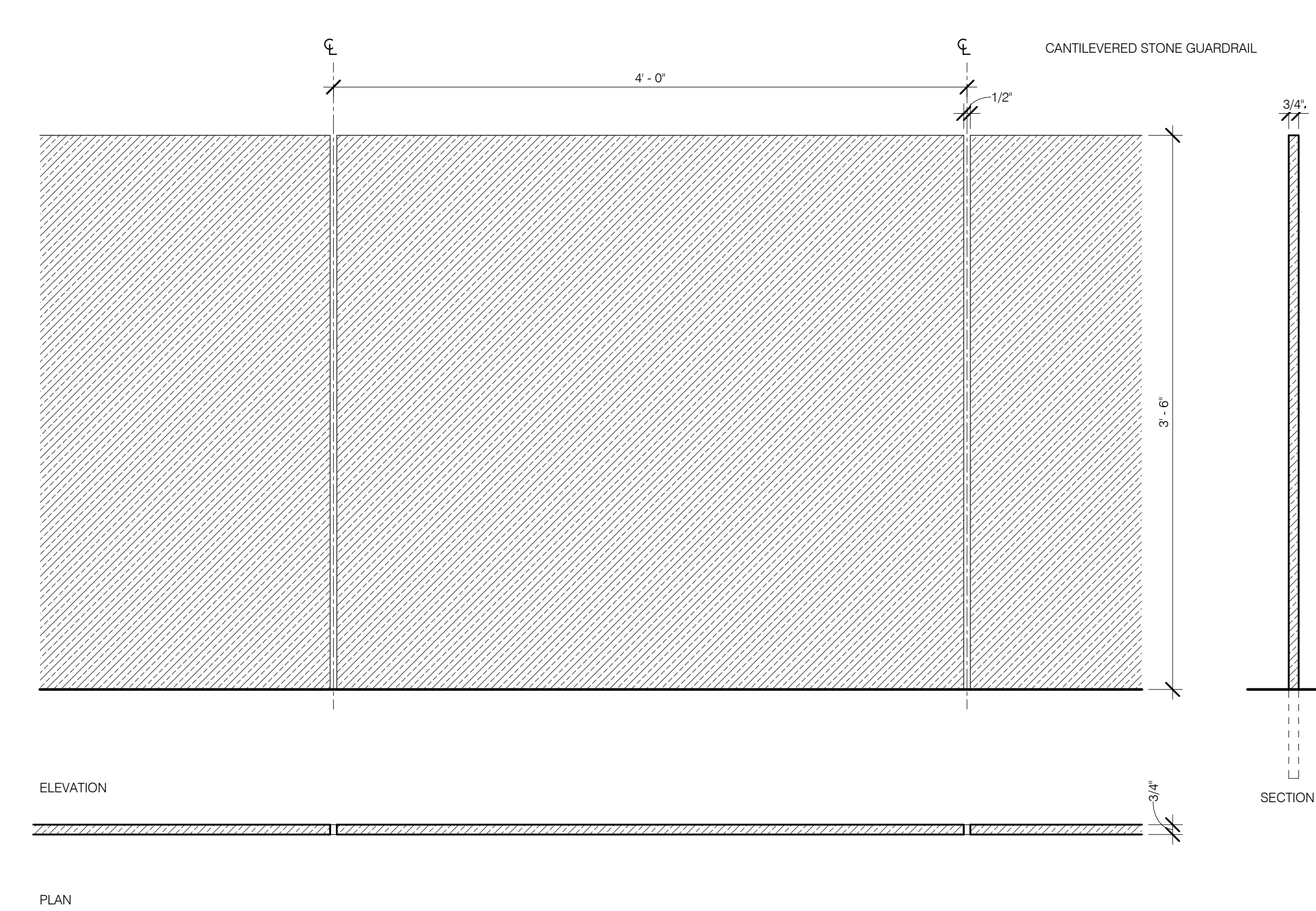
STAIR @ STEINWAY PENTHOUSE - LEVEL 16 PLAN 1/4" = 1'-0" 1



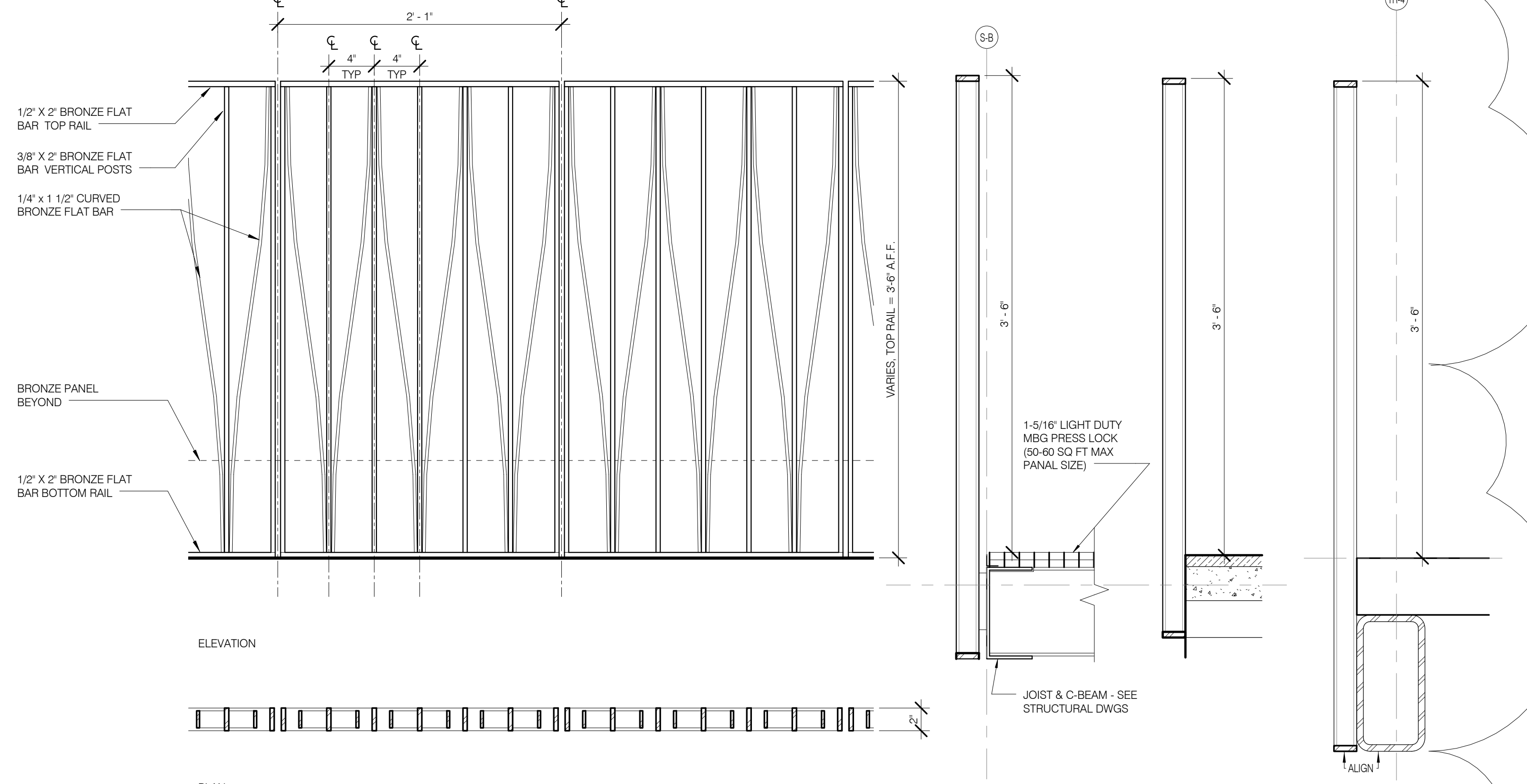
ORN RAIL-6 GUARDRAIL @ STEINWAY TERRACES 1 1/2" = 1'-0" 6



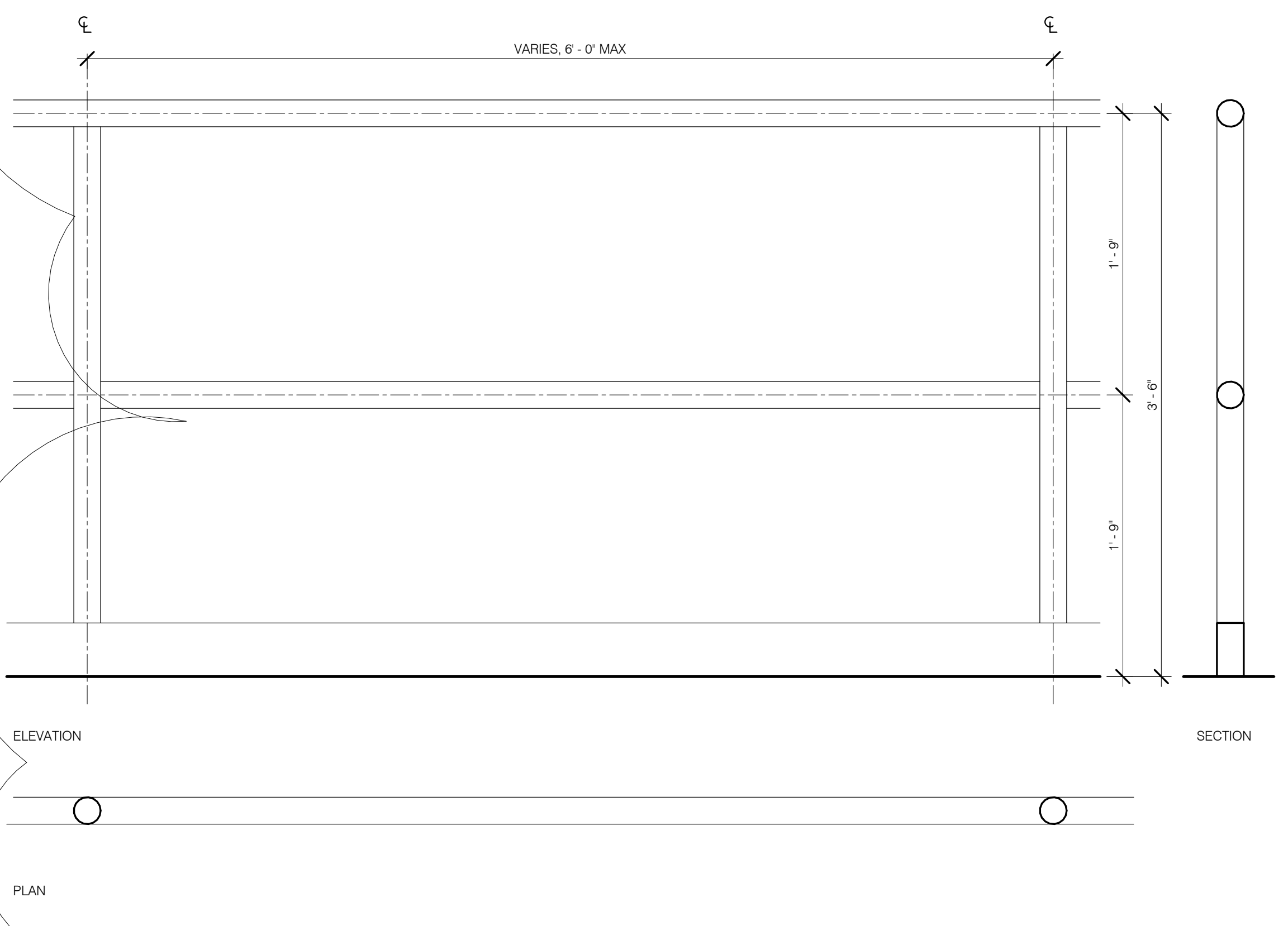
ORN RAIL-3 - BRONZE GUARDRAIL @ LEVEL 17 TERRACE 1 1/2" = 1'-0" 3



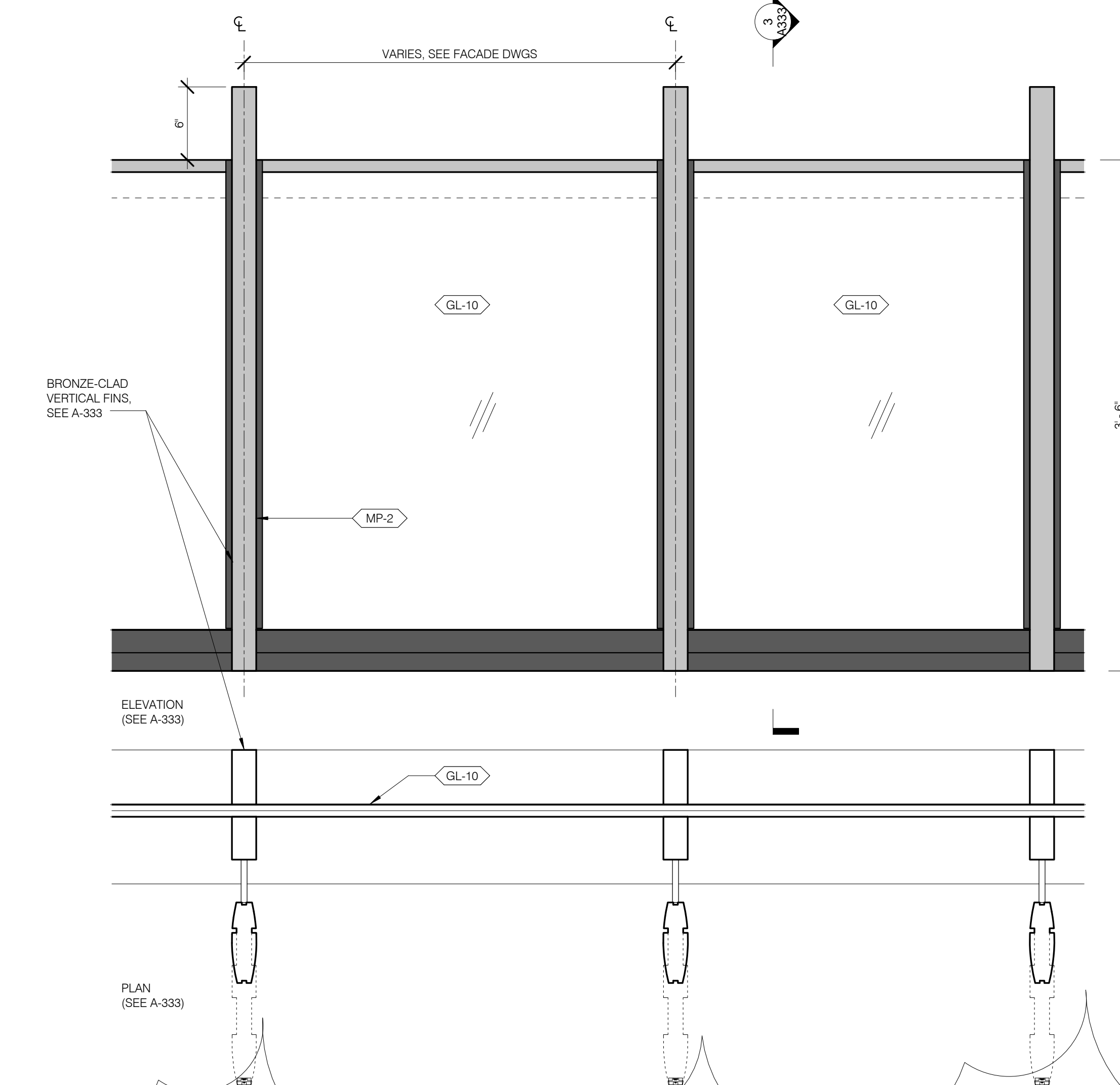
ORN RAIL-5 - STONE GUARDRAIL @ GROUND LEVEL NORTH RAMP 1 1/2" = 1'-0" 7



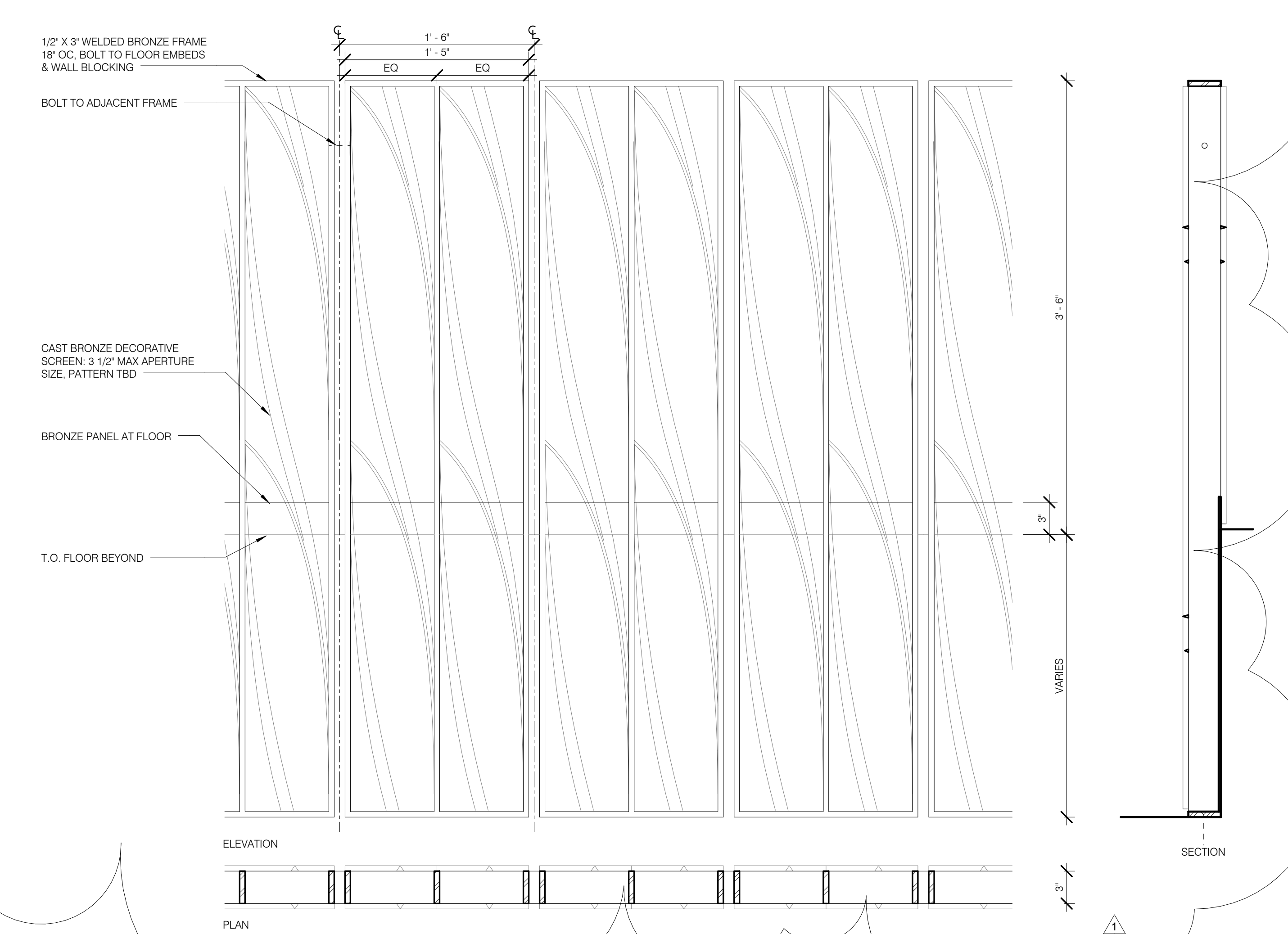
ORN RAIL-2 - FLOOR-MOUNTED BRONZE GUARDRAIL 1 1/2" = 1'-0" 2



MTL FAB-4 - OSHA GUARDRAIL 1 1/2" = 1'-0" 8



ORN RAIL-4 GUARDRAIL @ TOWER TERRACE 1 1/2" = 1'-0" 4



ORN RAIL-1 GUARDRAIL @ ATRIUM RAMP 1 1/2" = 1'-0" 1

**JDS DEVELOPMENT GROUP**

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GEOTECH  
LORANGER INTERNATIONAL  
120 BROADWAY STREET, 7TH FLOOR EAST  
NEW YORK, NY 10003  
212.228.4488

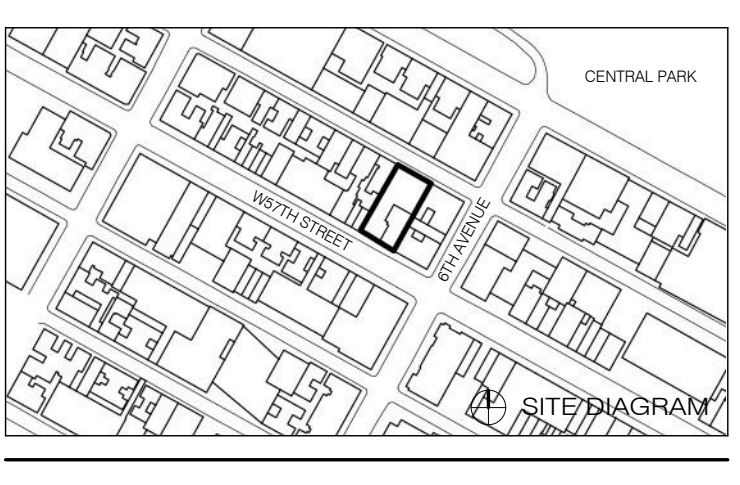


PROPERTY MARKETS GROUP  
1 EAST 57TH STREET, 2ND FLOOR  
NEW YORK, NY 10022  
212.613.2800  
CURRENT ISSUE

DOB PAA

Shauqat Shaikh  
Building  
APPROVED  
Under Directive 2 of 1995  
DATE: 08/28/2015  
NYC Development Hub

111 WEST 57TH STREET  
NEW YORK, NY 10019



NO.	DATE	REVISION
1	3.27.15	DOB PAA

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DRAWING TITLE  
**RAILING TYPES AND DETAILS**

SEALED SIGNATURE DATE 3.27.15

PROJECT NO. 130907

DRAWN BY SHAP

CHECKED BY SHAP

DATE 12/18/2008

DRAWING NUMBER

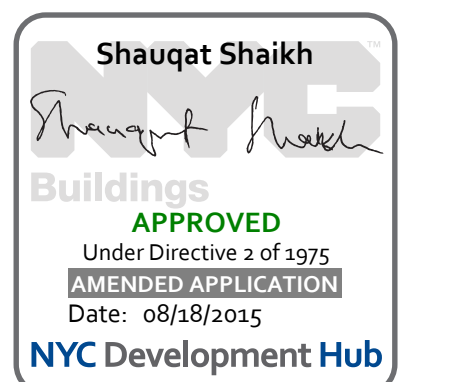
**A-510.01**

ARCHITECT	SHAP ARCHITECTS, P.C. 200 EAST 40TH STREET NEW YORK, NY 10018 646.933.3333	FAÇADE	BLURO HAPPOLD 100 BROADWAY NEW YORK, NY 10005 212.693.0000
STRUCTURAL ENGINEER	WSP CANTOR BENK 300 EAST 40TH STREET NEW YORK, NY 10017 212.693.0000	VERTICAL TRANSPORTATION	VAN DEUSEN & ASSOCIATES 100 WEST 45TH STREET, SUITE 504 LONGWOOD, NY 10004 646.933.3333
MEP ENGINEER	JAROS BRAY & SCOLLES 40 FINE STREET, 10TH FLOOR NEW YORK, NY 10005 212.693.0000	RESTORATION	JENNIFER FORCUM & ASSOCIATES 30 WEST 27TH STREET, FLOOR 10A NEW YORK, NY 10001 212.755.9400
CIVIL ENGINEER	PAW ENGINEERING, P.C. 440 PARK AVE SUITE 1700 FLOOR NEW YORK, NY 10017 212.693.0000	GEOTECH	MACE 120 WEST 45TH STREET, 4TH FLOOR NEW YORK, NY 10002-0000 212.253.2000
ACoustICS	LONGMAN LINDSEY 40 WEST 57TH STREET, 10TH FLOOR NEW YORK, NY 10019 212.253.2000	LIGHTING	LOBBENWATCHE INTERNATIONAL 100 BROADWAY STREET, 17TH FLOOR EAST NEW YORK, NY 10005 212.673.1000
INTERIORS	STUDIO SCHFIELD 80 JARVIS STREET NEW YORK, NY 10014 212.673.1000		

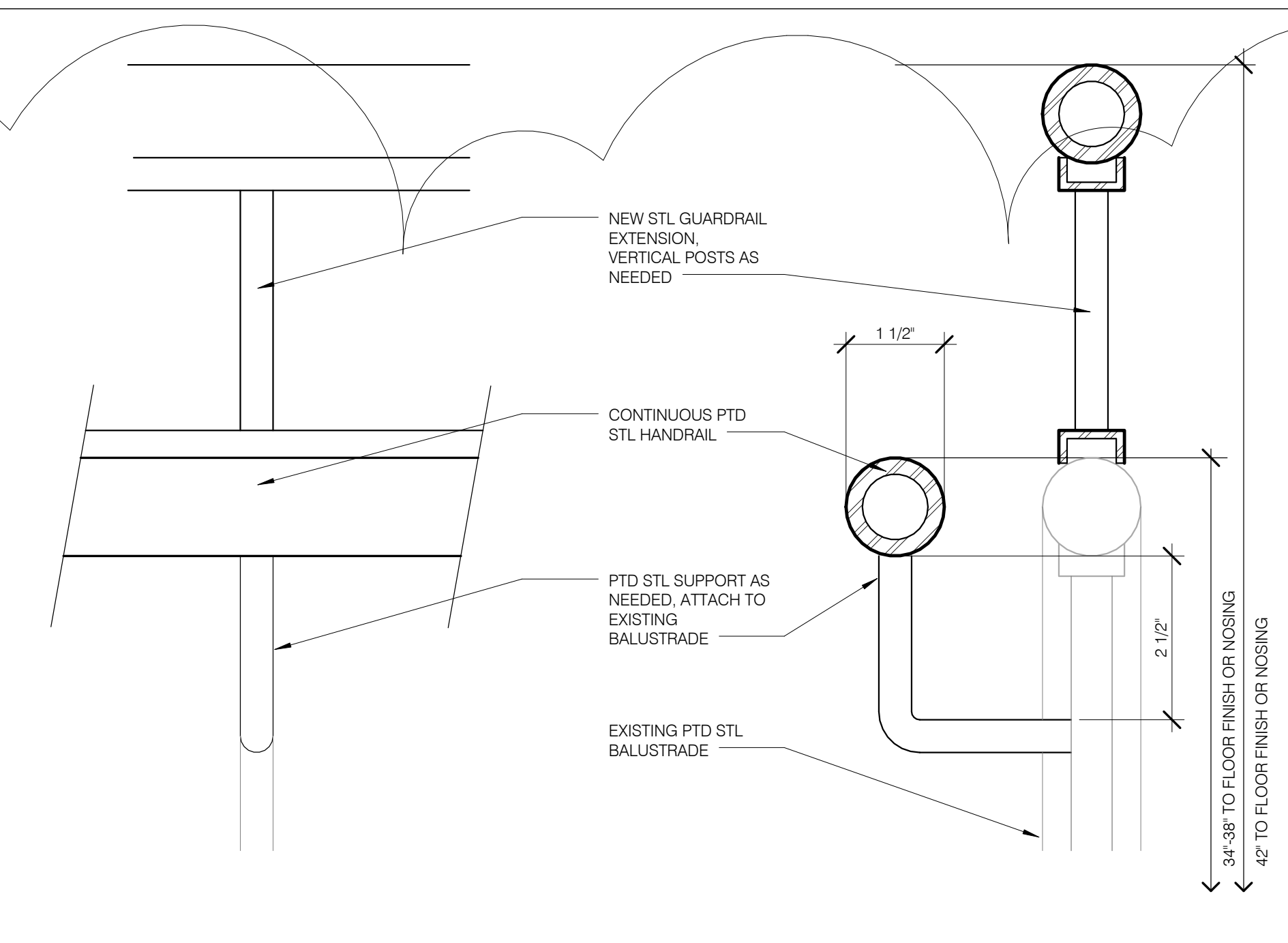


PRIORITY MARKETS GROUP  
6 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10003  
212.693.0000  
CURRENT ISSUE

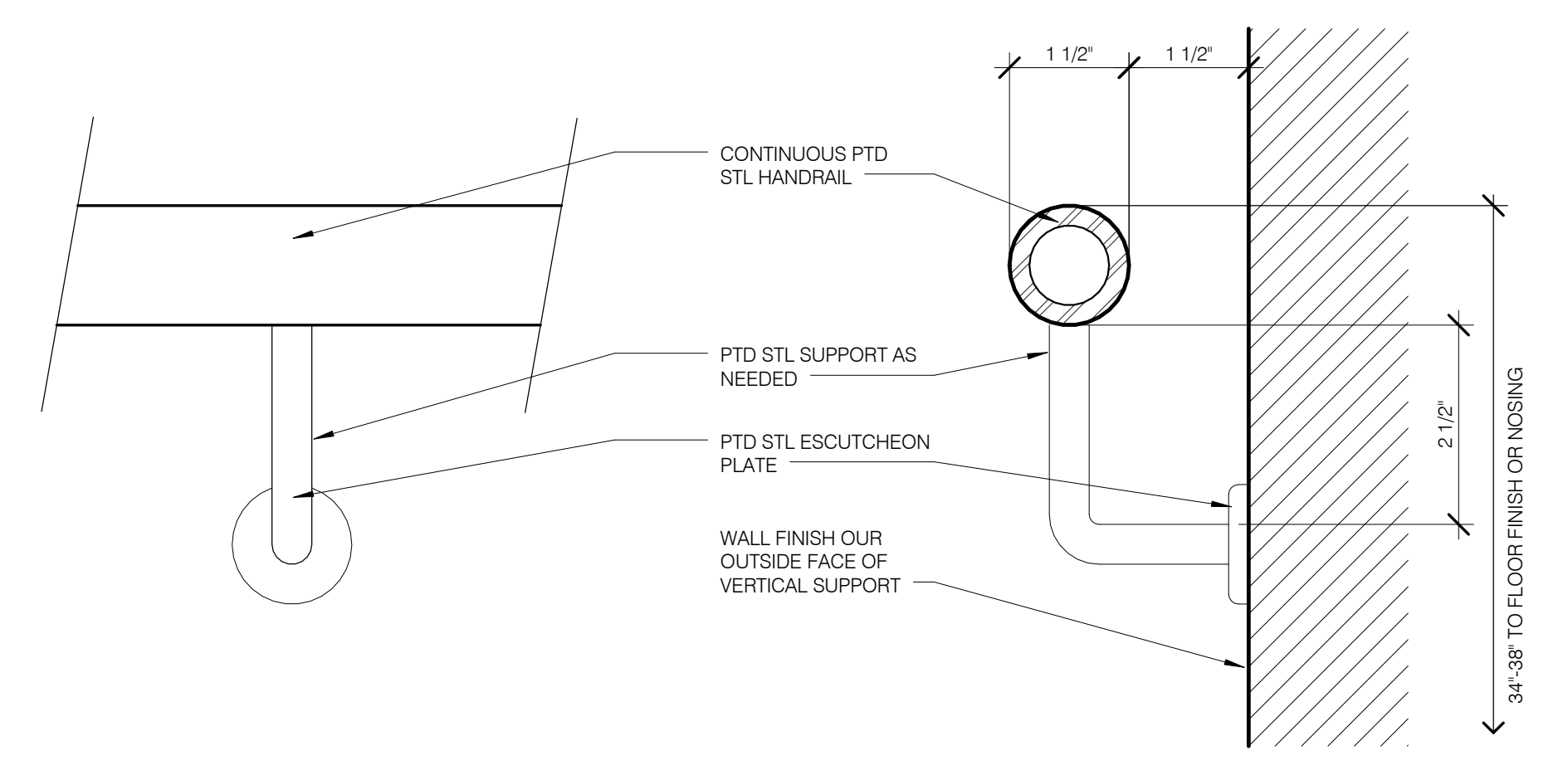
DOB PAA



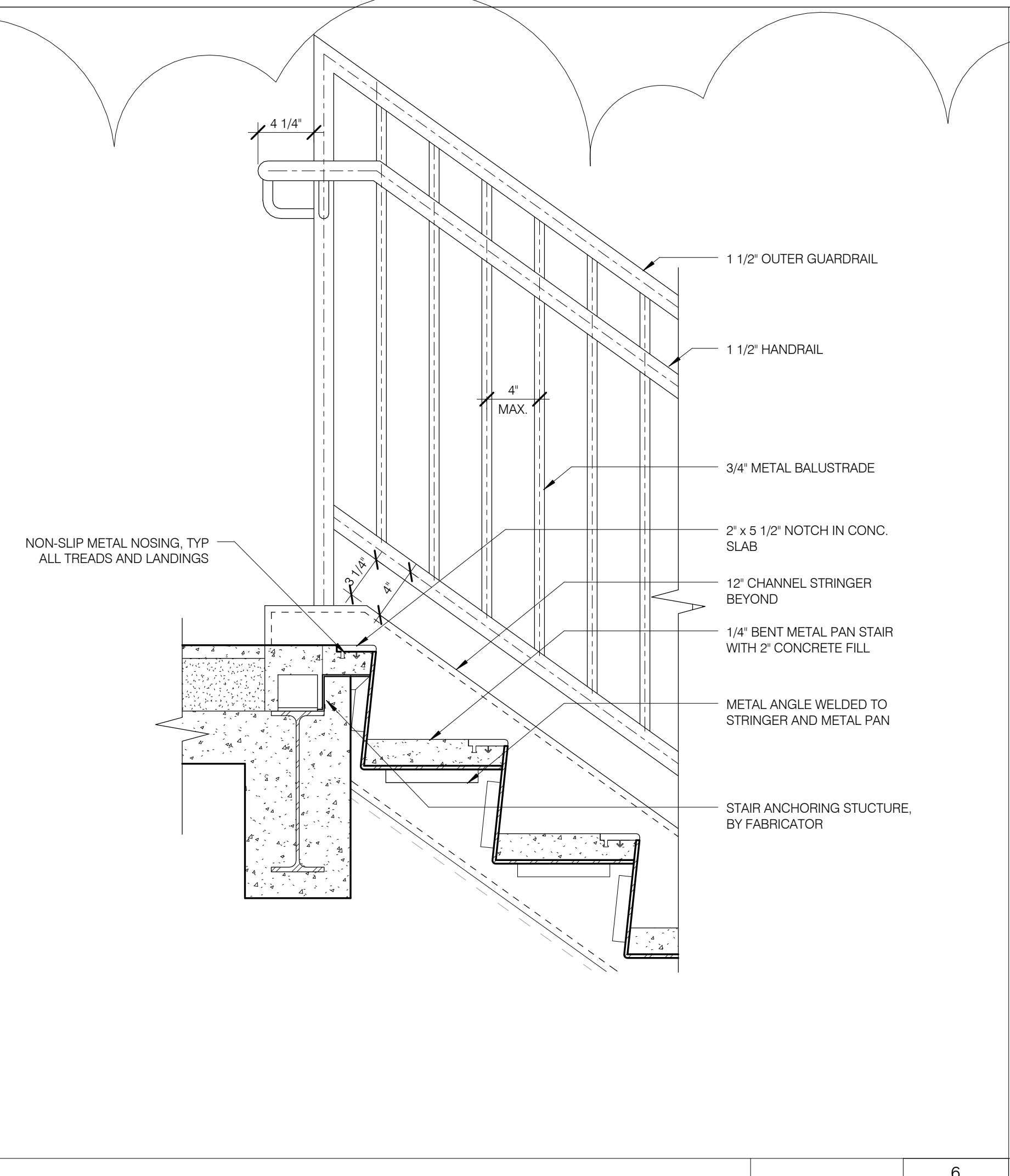
**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



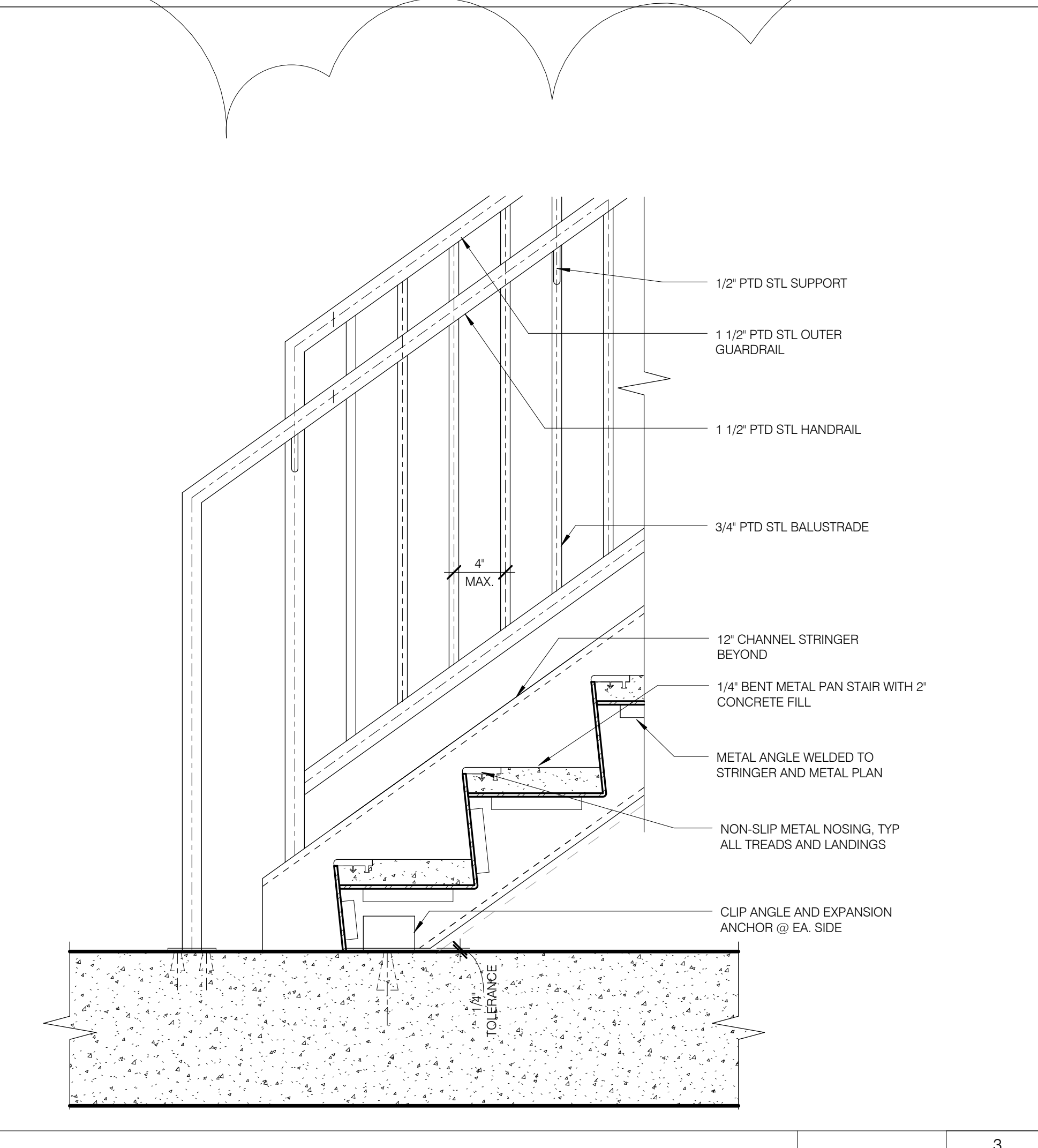
ADAPTED HANDRAIL @ EXISTING STAIR 6" = 1'-0" 8B  
A.511.08 A.511.00



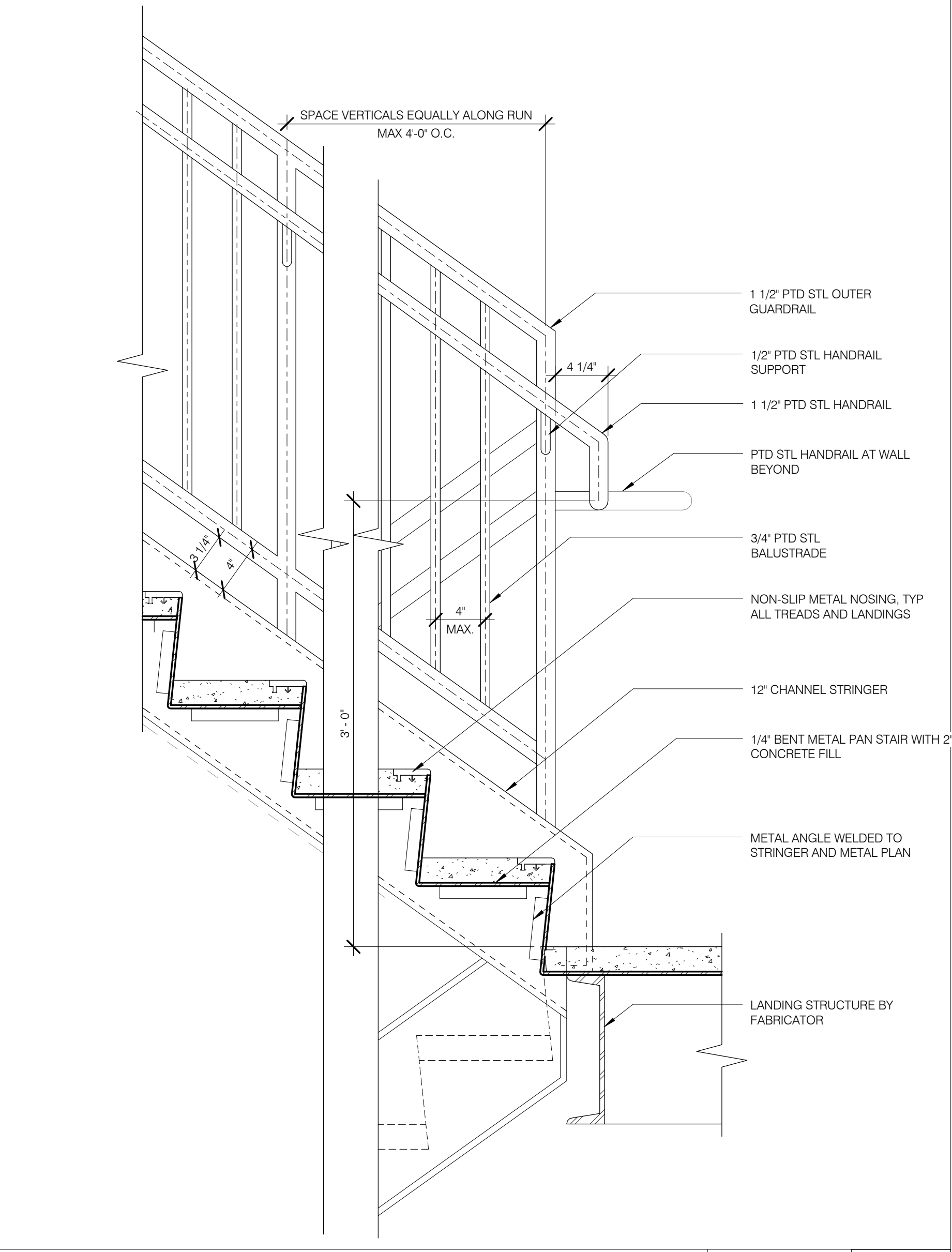
TYPICAL HANDRAIL CONNECTION 6" = 1'-0" 8A  
A.500.01 A.511.00



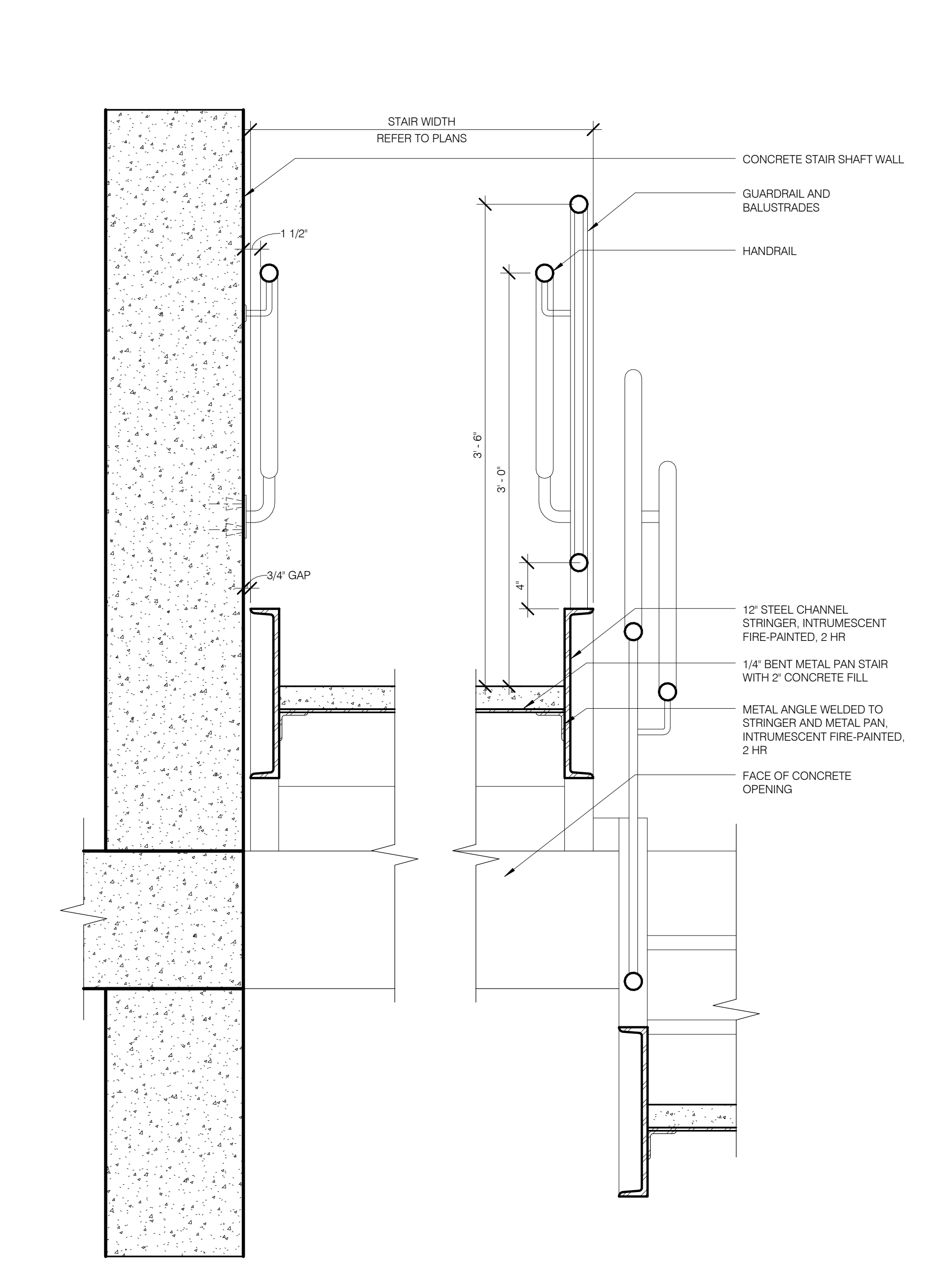
STAIR B : UPPER SLAB EDGE AND STAIR 1 1/2" = 1'-0" 6  
A.500.01 A.511.02



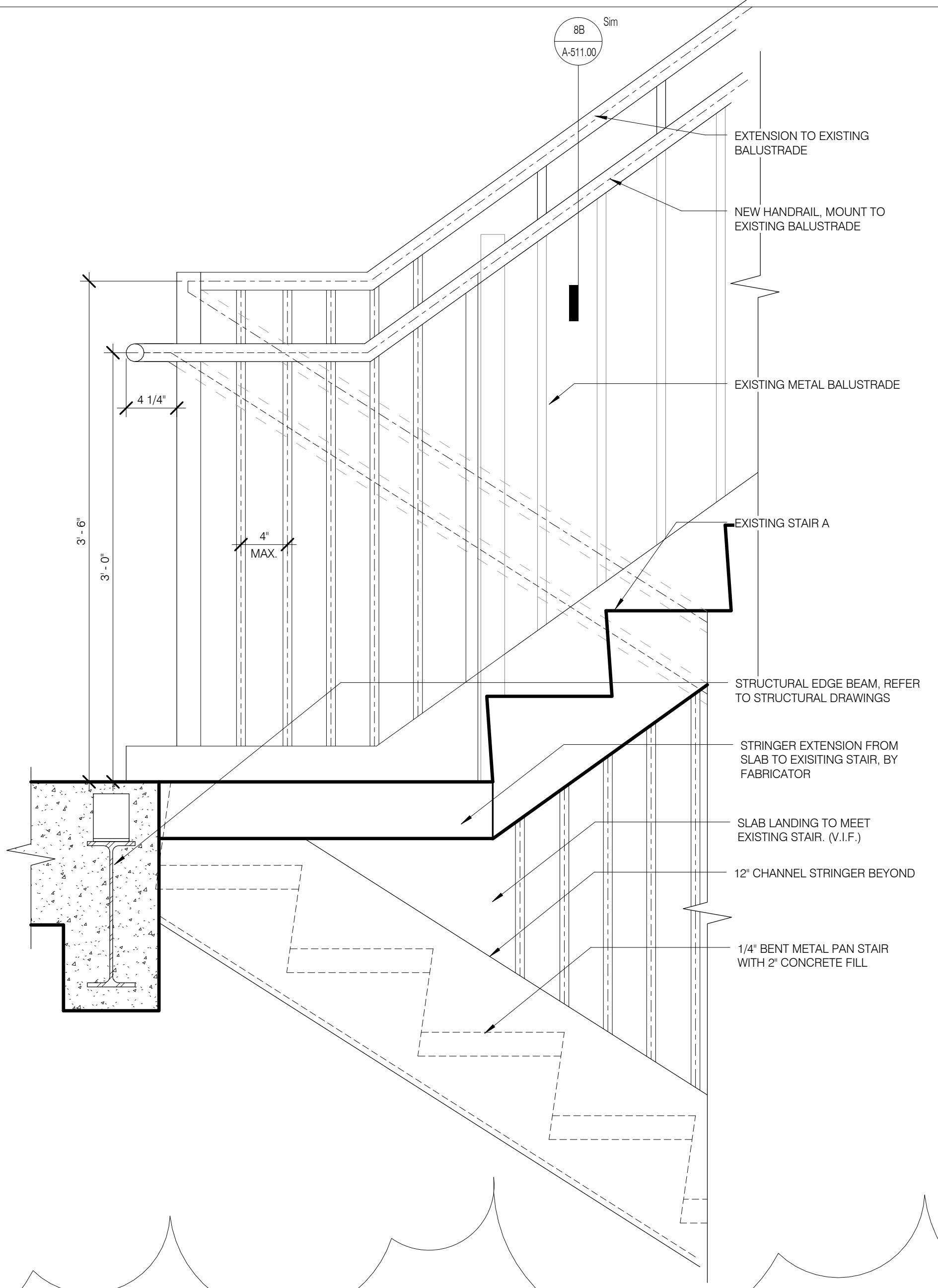
STAIR B : BOTTOM SLAB - STAIR TERMINATION 1 1/2" = 1'-0" 3  
A.500.01 A.511.03



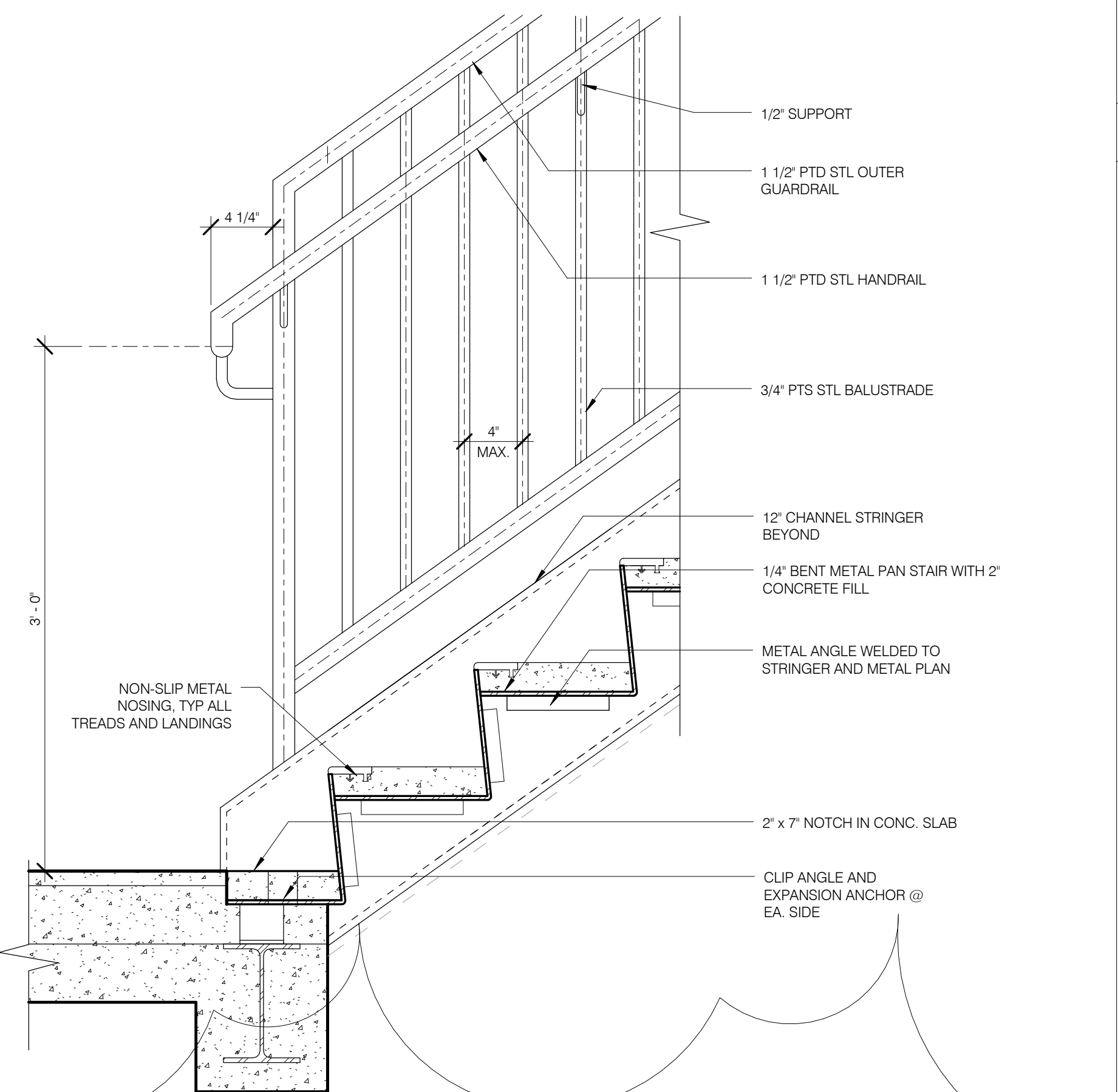
STAIR B : INTERMEDIATE LANDING 1 1/2" = 1'-0" 5  
A.500.01 A.511.02



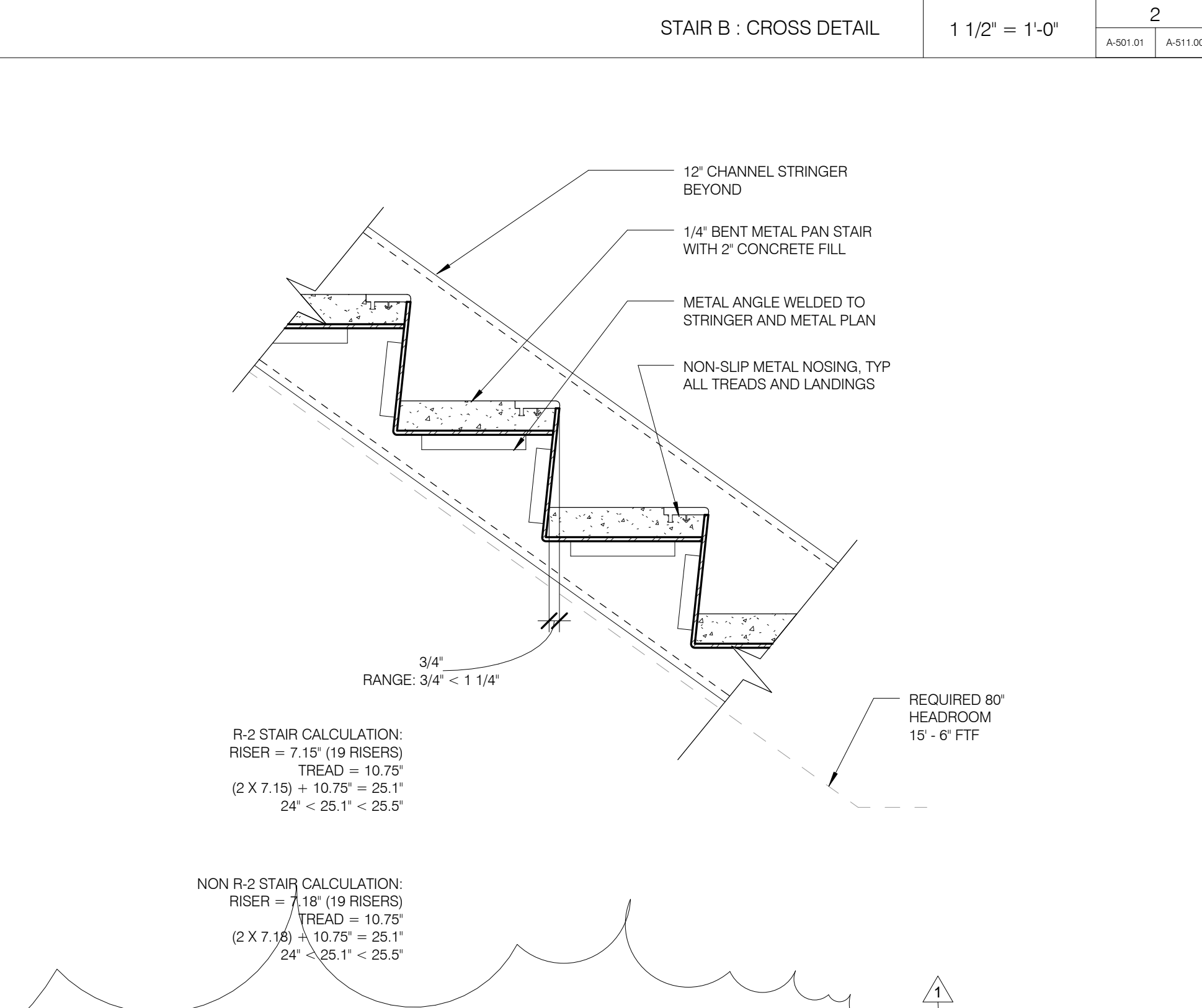
STAIR B : CROSS DETAIL 1 1/2" = 1'-0" 2  
A.501.01 A.511.03



STAIR B : UPPER SLAB EDGE AND STAIR 1 1/2" = 1'-0" 7  
A.500.01 A.511.00



STAIR B : LOWER SLAB EDGE AND STAIR 1 1/2" = 1'-0" 4  
A.500.01 A.511.02



STAIR B : TYPICAL RISE/RUN DETAIL 1 1/2" = 1'-0" 1  
A.500.01 A.511.03

R-2 STAIR CALCULATION:  
RISE = 7.15" (19 RISERS)  
TREAD = 10.75"  
(2 X 7.15" = 14.30" = 25.1'  
24" < 25.1" < 25.5"

NON R-2 STAIR CALCULATION:  
RISE = 7.18" (19 RISERS)  
TREAD = 10.75"  
(2 X 7.18" = 14.36" = 25.1'  
24" < 25.1" < 25.5"

1	3.27.15	DOB PAA
1	5.14	DOB FILING SET
NO.	DATE	REVISION

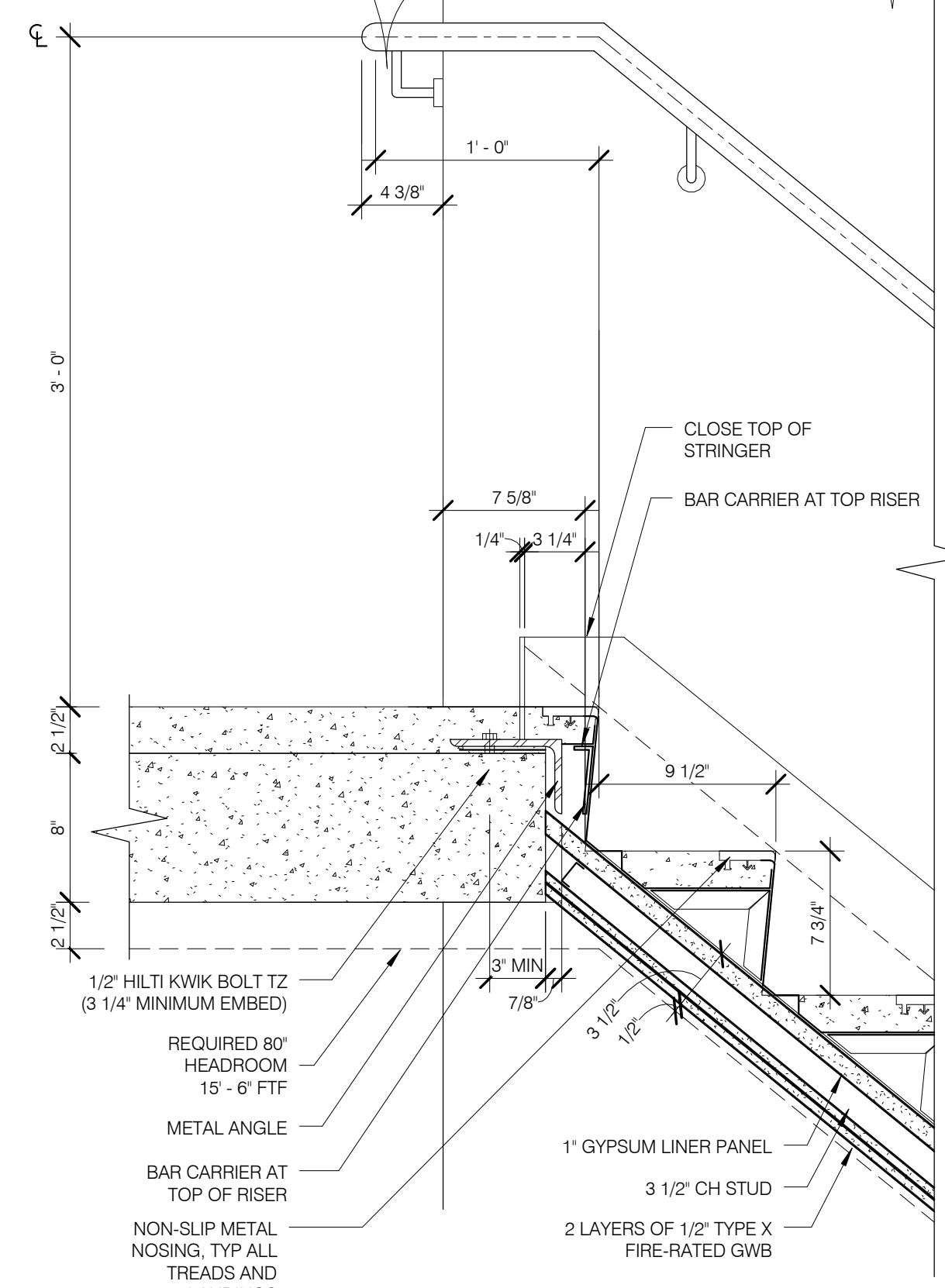
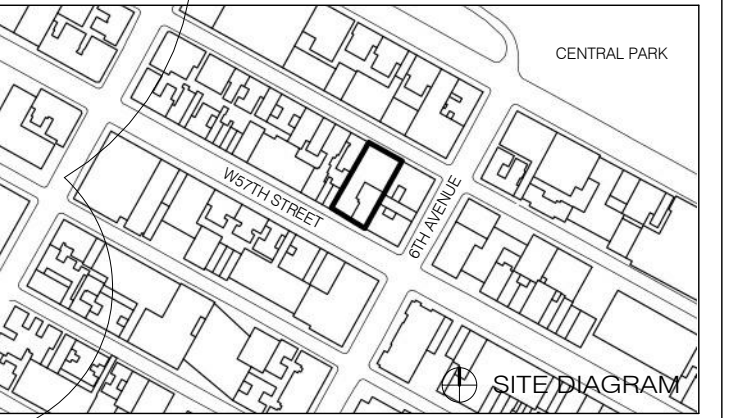
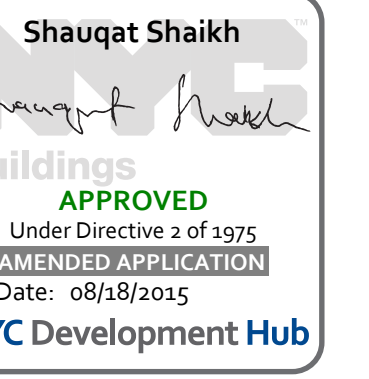
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DRAWING TITLE  
**STAIR DETAILS - STEINWAY**

SEALED SIGNATURE	DATE	3.27.15
PROJECT NO.	130667	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DATE	12/18/2008	
DRAWING NUMBER		

**A-511.00**

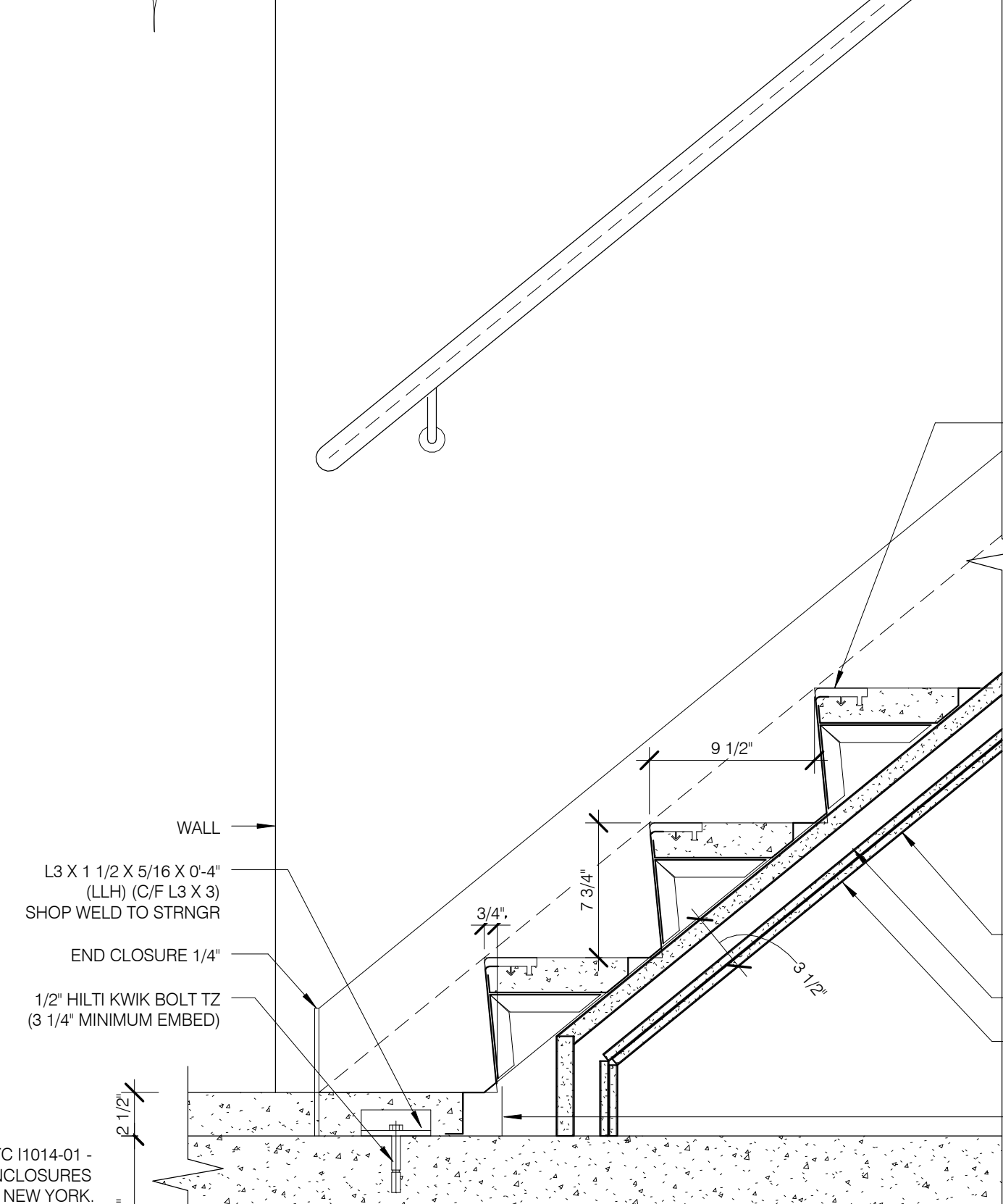


TOWER STAIR - AT TOP TERMINATION

1 1/2" = 1'-0"

5

A-504.01 A-510.02

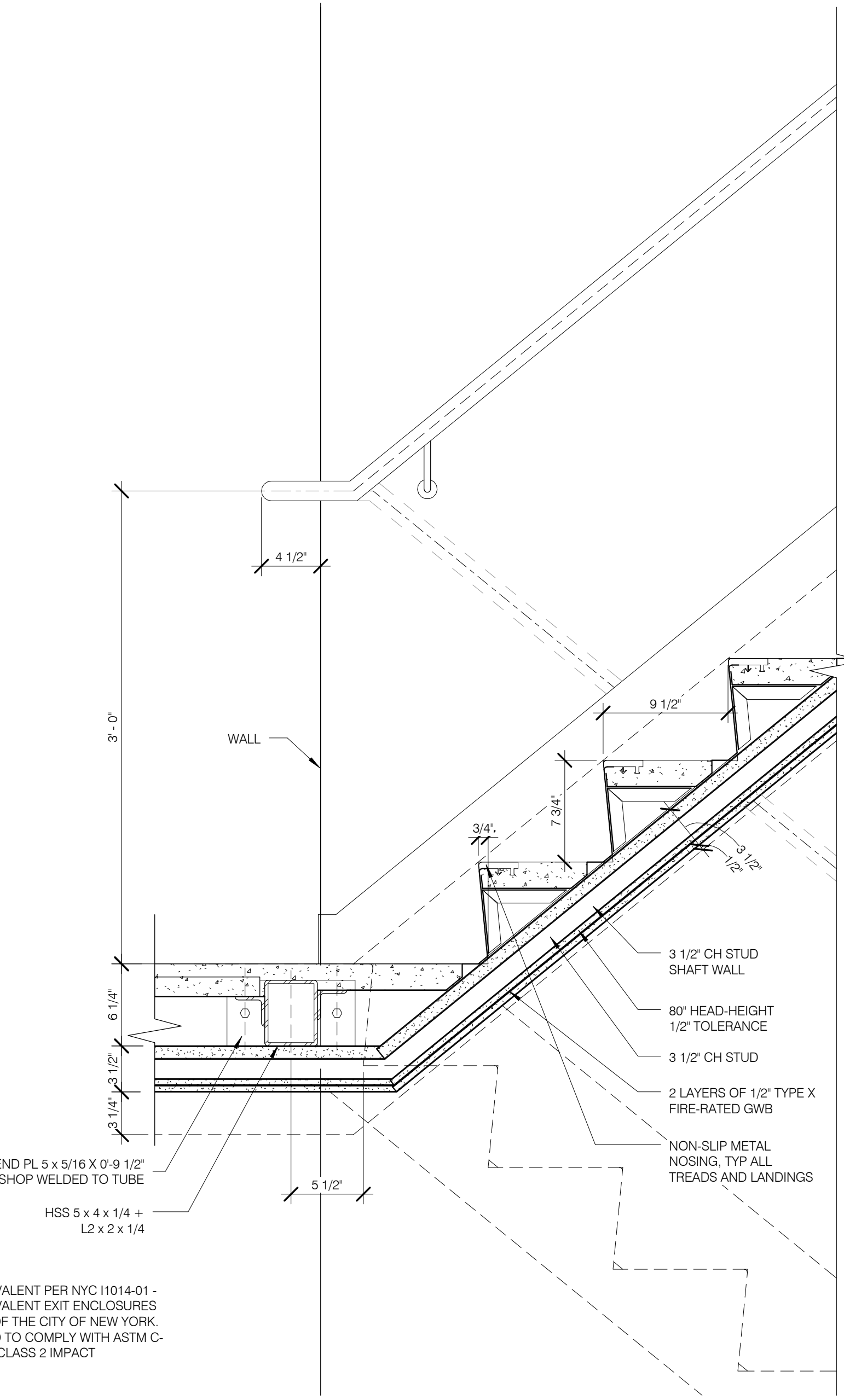


TOWER STAIR - AT BOTTOM TERMINATION

1 1/2" = 1'-0"

3

A-504.01 A-510.02

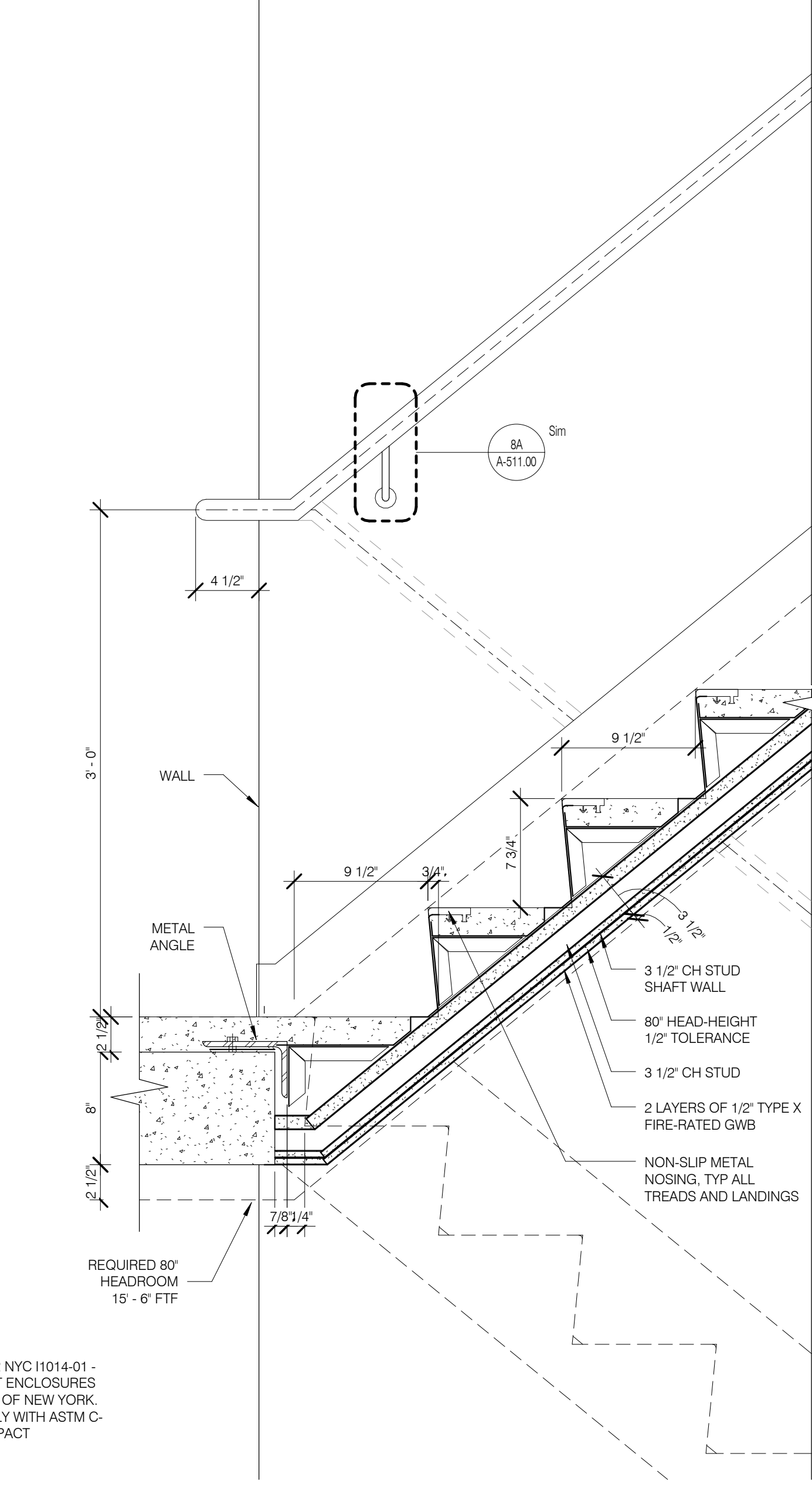


TOWER STAIR - AT INTERMEDIATE LANDING

1 1/2" = 1'-0"

4

A-504.01 A-510.02

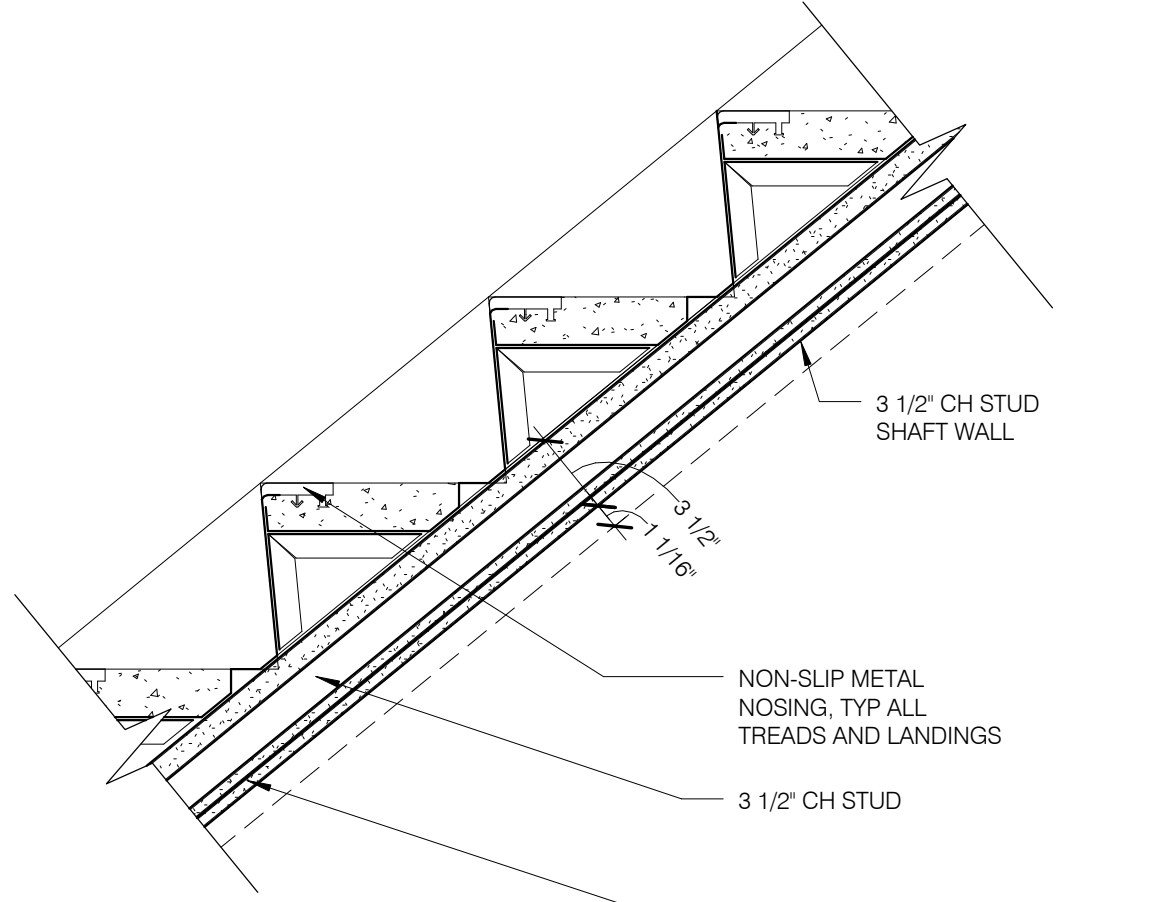


TOWER STAIR - AT LANDING

1 1/2" = 1'-0"

2

A-504.01 A-510.02



TOWER STAIR SECTION DETAIL - TYPICAL

1 1/2" = 1'-0"

2

A-504.01 A-510.02

NO.	DATE	REVISION
1	3/27/15	DOB PAA

DRIMINGS TITLE  
**STAIR DETAILS - TOWER**

DATE: 3/27/15  
PROJECT NO: 130607  
DRAWN BY: SHP  
CHECKED BY: SHP  
DOB NO: 121332968  
DRAWING NUMBER: A-512.00

ARCHITECT  
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228 BROADWAY, 11TH FLOOR  
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NY 212 697 5866

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AWR ENGINEERING, P.C.  
40 FIFTH AVE, 20TH FLOOR, 7TH FLOOR  
NEW YORK, NY 10018  
NY 646 288 8928

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4 WEST 38TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
NY 917 238 3389

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NY 212 475 1300

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LARKSPER, NJ 07033  
NY 973 984 8775

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30 WEST 37TH STREET, 4TH FLOOR  
NEW YORK, NY 10018  
NY 212 239 6462

GEOTECH  
MTC  
205 WEST 45TH STREET, 4TH FLOOR  
NEW YORK, NY 10036  
NY 917 238 4900

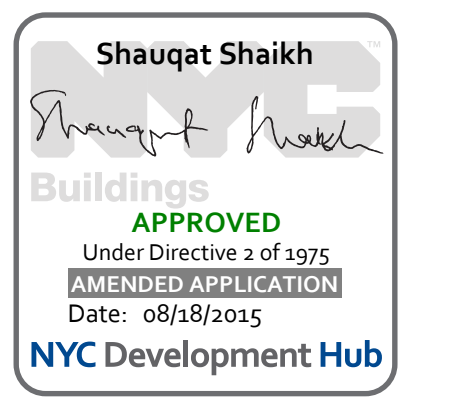
LIGHTING  
CONSERVATORIE INTERNATIONAL  
105 WALKER STREET, 7TH FLOOR EAST  
NEW YORK, NY 10013  
NY 212 252 4463



PROPERTY MARKETS GROUP  
134 EAST 17TH STREET, 2ND FLOOR  
NEW YORK, NY 10038  
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CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
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NEW YORK, NY 10019

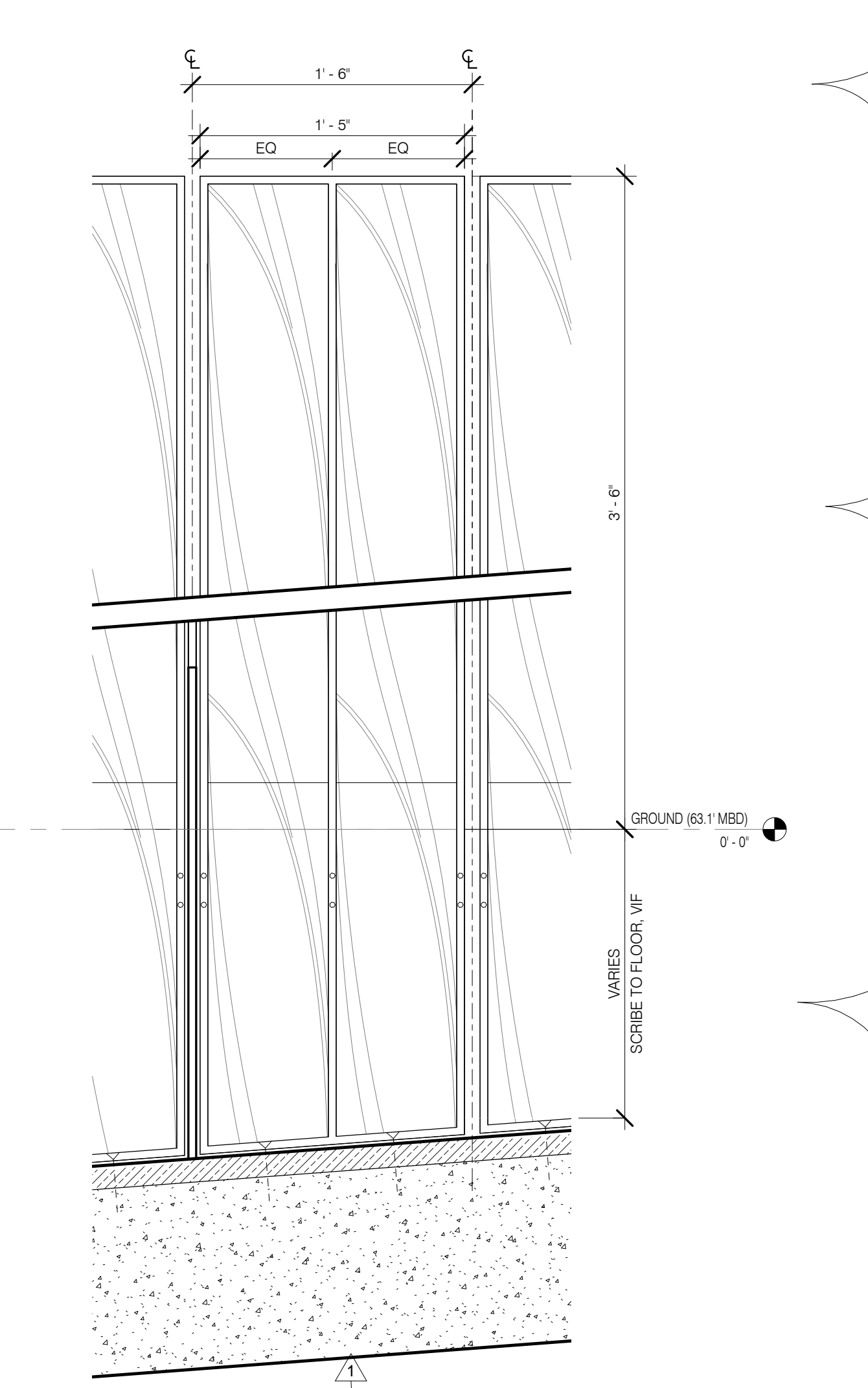
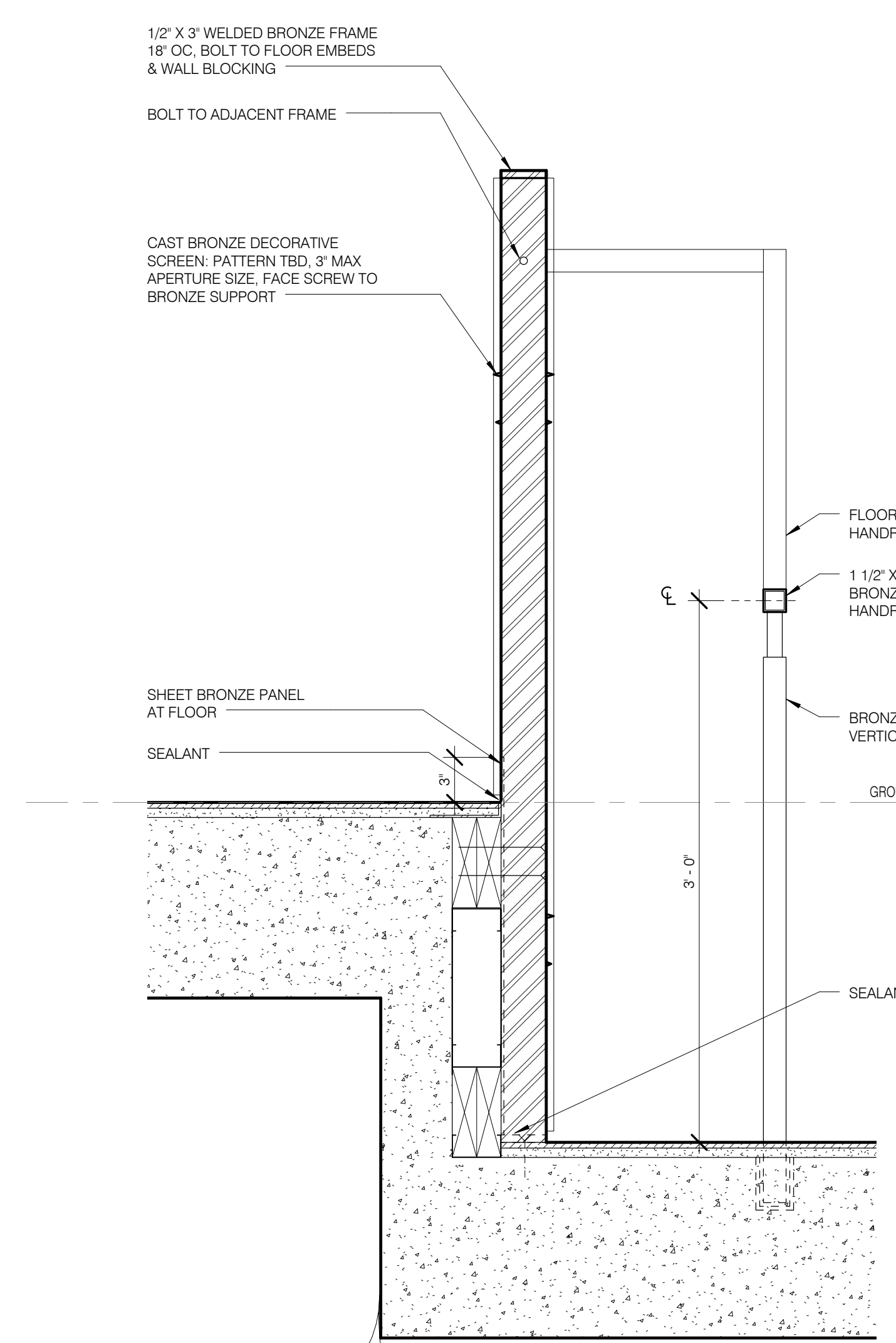
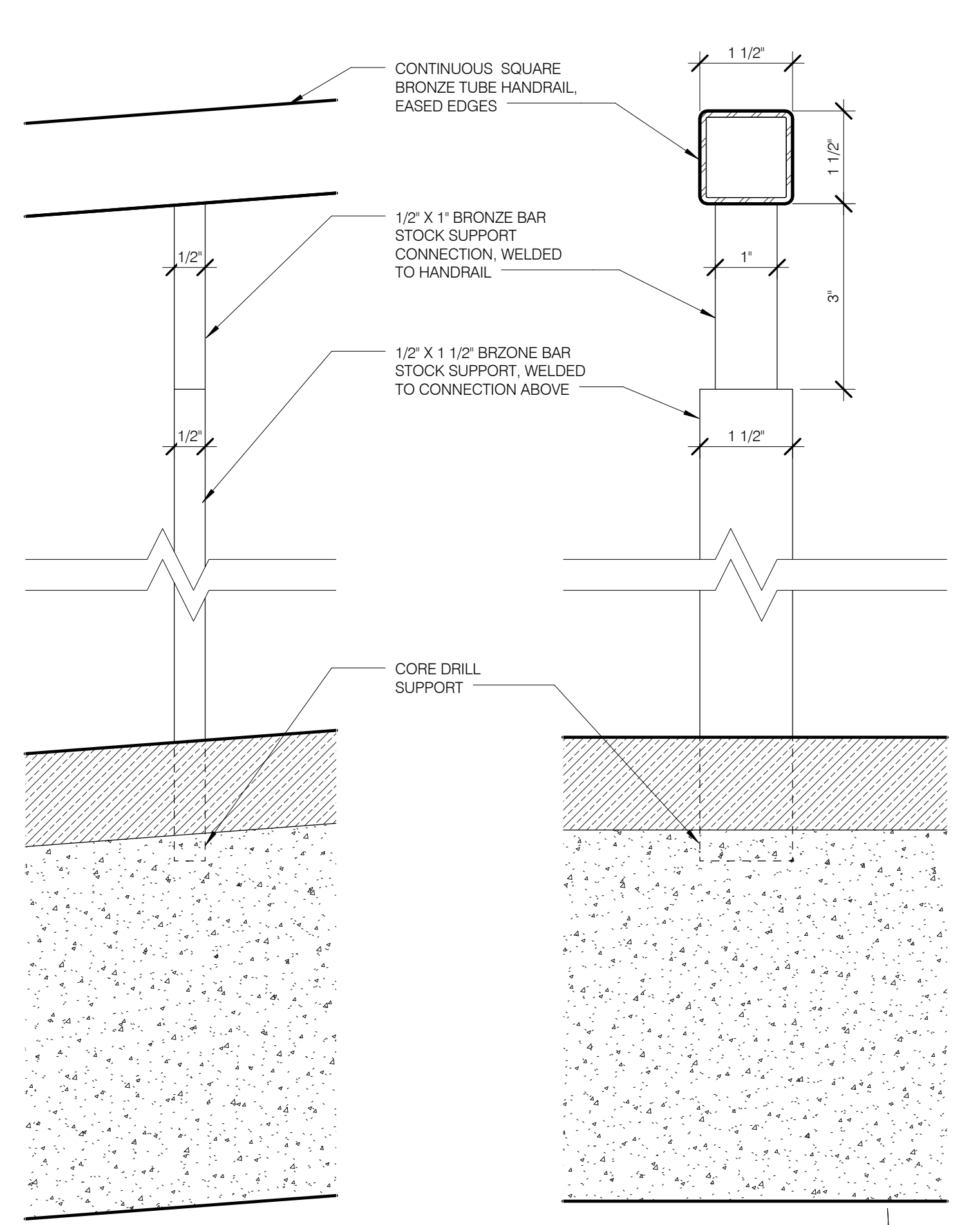
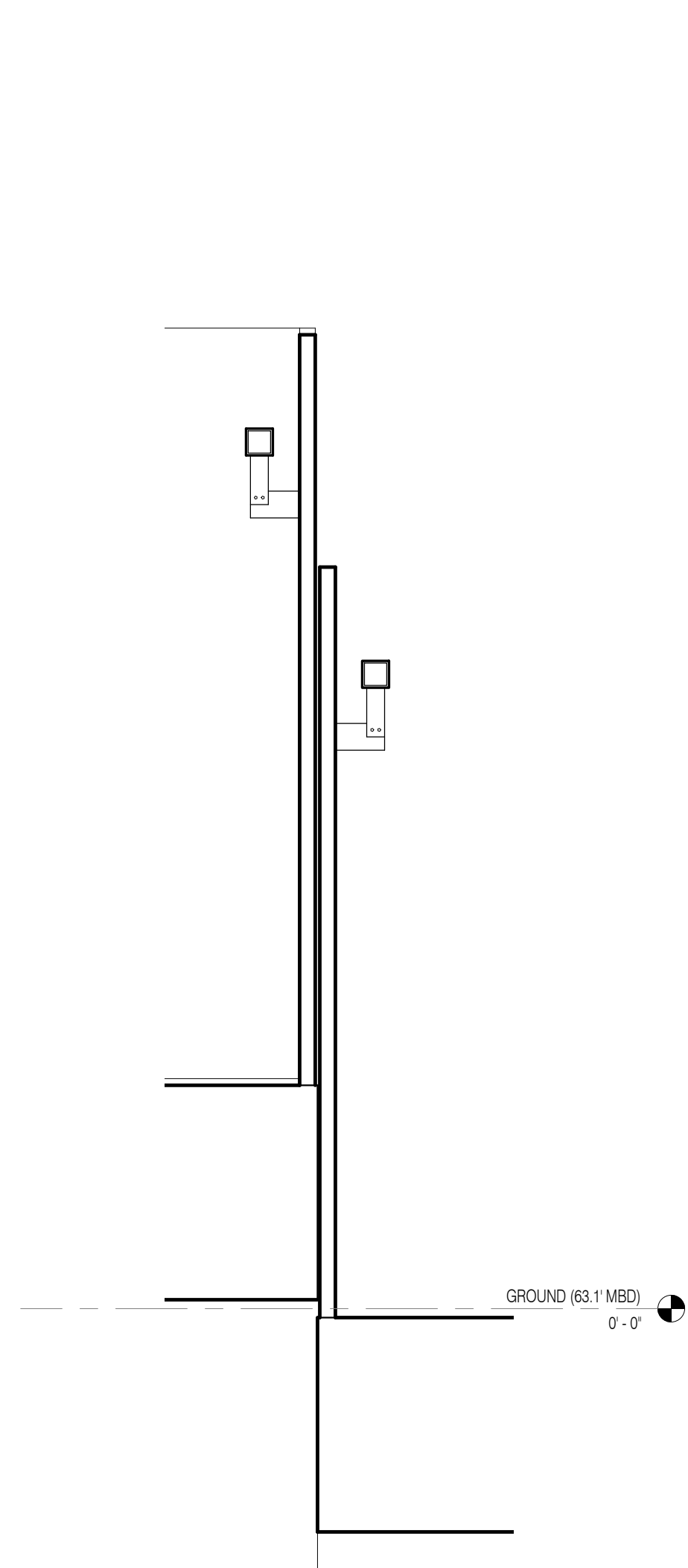
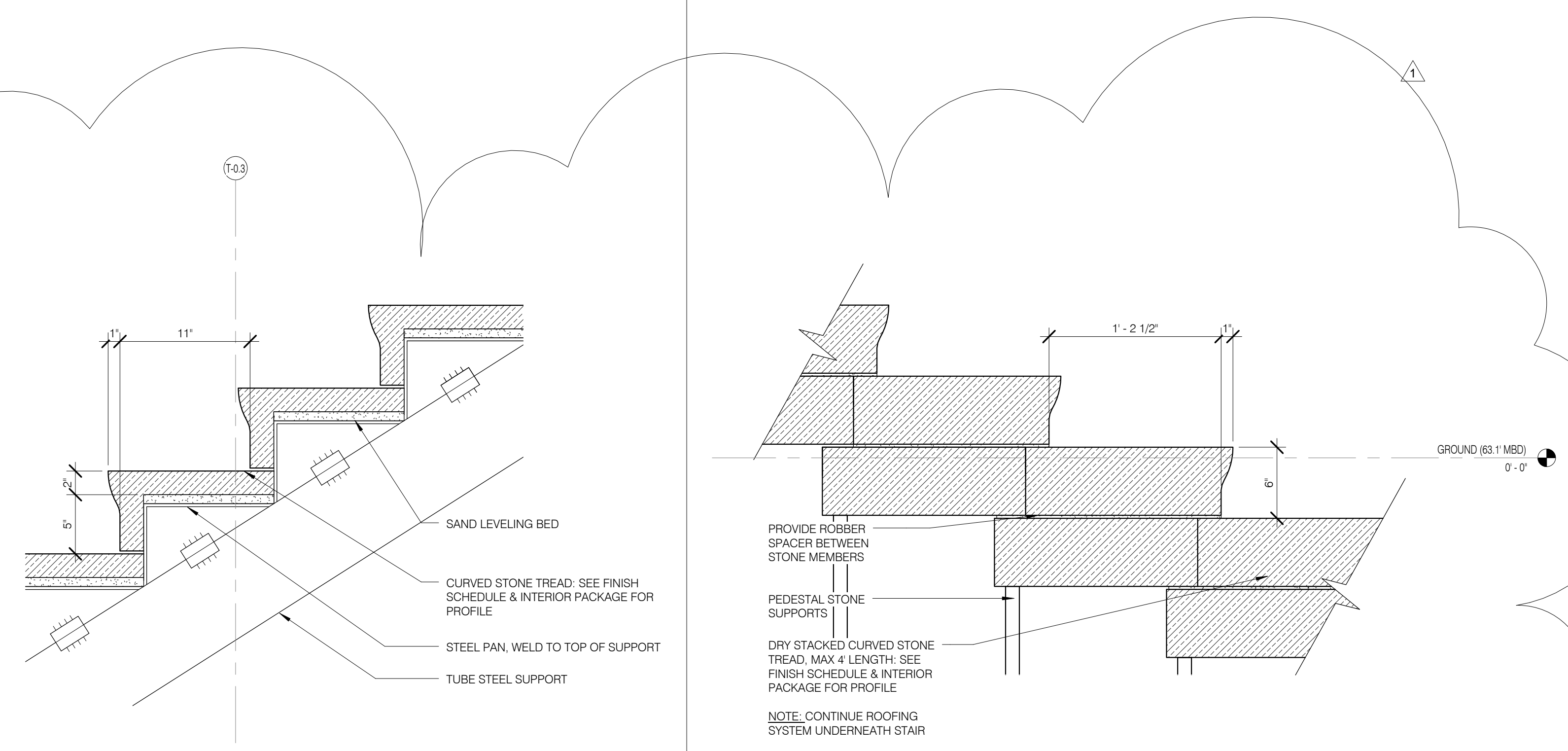


1	3/27/15	DOB PAA
NO.	DATE	REVISION
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DRAWING TITLE  
**STAIR DETAILS - MISCELLANEOUS**

SEAL & SIGNATURE  

 DATE: 3/27/15  
 PROJECT NO.: 130607  
 DRAWN BY: SH&P  
 CHECKED BY: SH&P  
 JOB NO.: 121332968  
 DRAWING NUMBER: A-513.00



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10 WEST 57th STREET FLOOR 5A  
NEW YORK, NY 10019  
Tel: 212.258.8400  
Fax: 212.258.8401

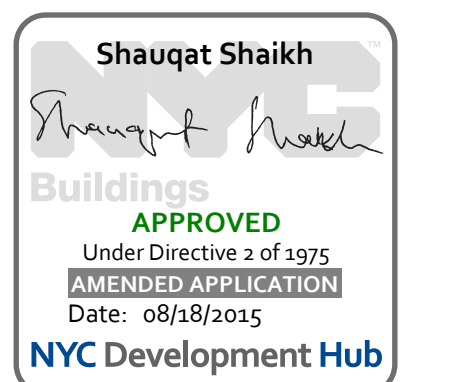
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MPC  
220 WEST 57th STREET 8TH FLOOR  
NEW YORK, NY 10019  
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120 W. 57th Street 7TH FLOOR EAST  
NEW YORK, NY 10019  
Tel: 212.228.4488  
Fax: 212.228.4489

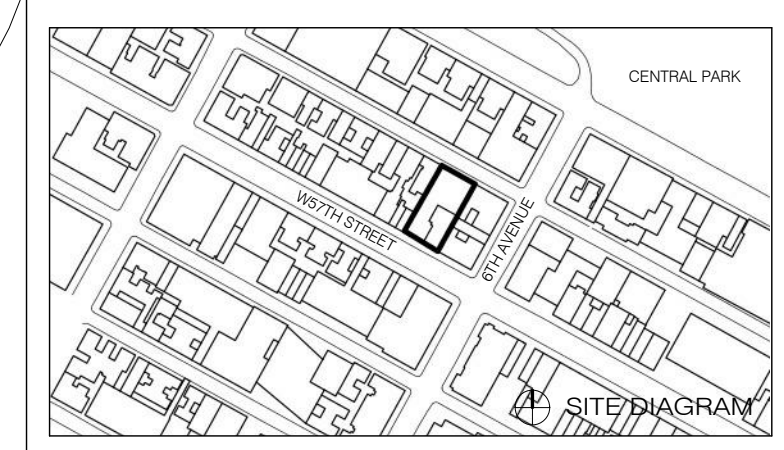


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CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
111 WEST 57TH STREET  
NEW YORK, NY 10019



<p>TYP SHOWER RECEPTOR</p> <p>3' = 1'-0"</p> <p>15</p> <p>A-600.01</p>	<p>FL-02C - FLOOR TYPE - STONE - SHOWER</p> <p>3' = 1'-0"</p> <p>28</p> <p>A-600.01</p>	<p>FL-02B - FLOOR TYPE - STONE HEATED</p> <p>3' = 1'-0"</p> <p>08</p> <p>A-600.01</p>
<p>WALK-OFF MAT DETAIL</p> <p>3' = 1'-0"</p> <p>20</p> <p>A-600.06 A-600.01</p>	<p>FL-06 - FLOOR TYPE - SPRING ISOLATED</p> <p>3' = 1'-0"</p> <p>13</p> <p>A-600.01</p>	<p>FL-02A - FLOOR TYPE - STONE HEATED</p> <p>3' = 1'-0"</p> <p>07</p> <p>A-600.01</p>
<p>TCO TOPPING @ FLOOR HEIGHT TRANSITIONS</p> <p>3' = 1'-0"</p> <p>14</p> <p>A-600.01</p>	<p>FL-04 - FLOOR TYPE - FINISH STONE - POOL</p> <p>3' = 1'-0"</p> <p>11</p> <p>A-600.01</p>	<p>FL-01E - 2 - FLOOR TYPE - WOOD FLOOR</p> <p>3' = 1'-0"</p> <p>06</p> <p>A-600.01</p>
<p>FLOOR/DOOR THRESHOLD - B.O.H. CONC ALUMIN.</p> <p>3' = 1'-0"</p> <p>19</p> <p>A-600.01</p>	<p>FL-03D - FLOOR TYPE - CERAMIC TILE</p> <p>3' = 1'-0"</p> <p>21</p> <p>A-600.01</p>	<p>FL-01E - 1 - FLOOR TYPE - WOOD FLOOR</p> <p>3' = 1'-0"</p> <p>05</p> <p>A-600.01</p>
<p>FLOOR/DOOR THRESHOLD - B.O.H. CONC / TILE ALUMIN.</p> <p>3' = 1'-0"</p> <p>18</p> <p>A-600.01</p>	<p>FL-03C - FLOOR TYPE - STONE TILE</p> <p>3' = 1'-0"</p> <p>12</p> <p>A-600.01</p>	<p>FL-01D - FLOOR TYPE - ENDGRAIN WOOD FLOOR</p> <p>3' = 1'-0"</p> <p>04</p> <p>A-600.01</p>
<p>A050/15 DOOR SILL @ WOOD/STONE</p> <p>3' = 1'-0"</p> <p>17</p> <p>A-600.01</p>	<p>FL-03B - FLOOR TYPE - SMALL FORMAT STN/TILE HEATED</p> <p>3' = 1'-0"</p> <p>10</p> <p>A-600.01</p>	<p>FL-01C - FLOOR TYPE - WOOD FLOOR</p> <p>3' = 1'-0"</p> <p>03</p> <p>A-600.01</p>
<p>FL-01A / FL-01C - FLOOR THRESHOLD</p> <p>3' = 1'-0"</p> <p>16</p> <p>A-600.01</p>	<p>FL-03A - FLOOR TYPE - SMALL FORMAT STN/TILE HEATED</p> <p>3' = 1'-0"</p> <p>09</p> <p>A-600.01</p>	<p>FL-01A - FLOOR TYPE - WOOD FLOOR HEATED</p> <p>3' = 1'-0"</p> <p>01</p> <p>A-600.01</p>

1	3.27.15	DOB PAA
2	5.1.14	DOB FLING SET
NO.	DATE	REVISION

DRAWING TITLE

**FLOOR TYPES AND DETAILS**

SEAL & SIGNATURE

DATE: 3.27.15

PROJECT NO: 130907

DRAWN BY: SHAP

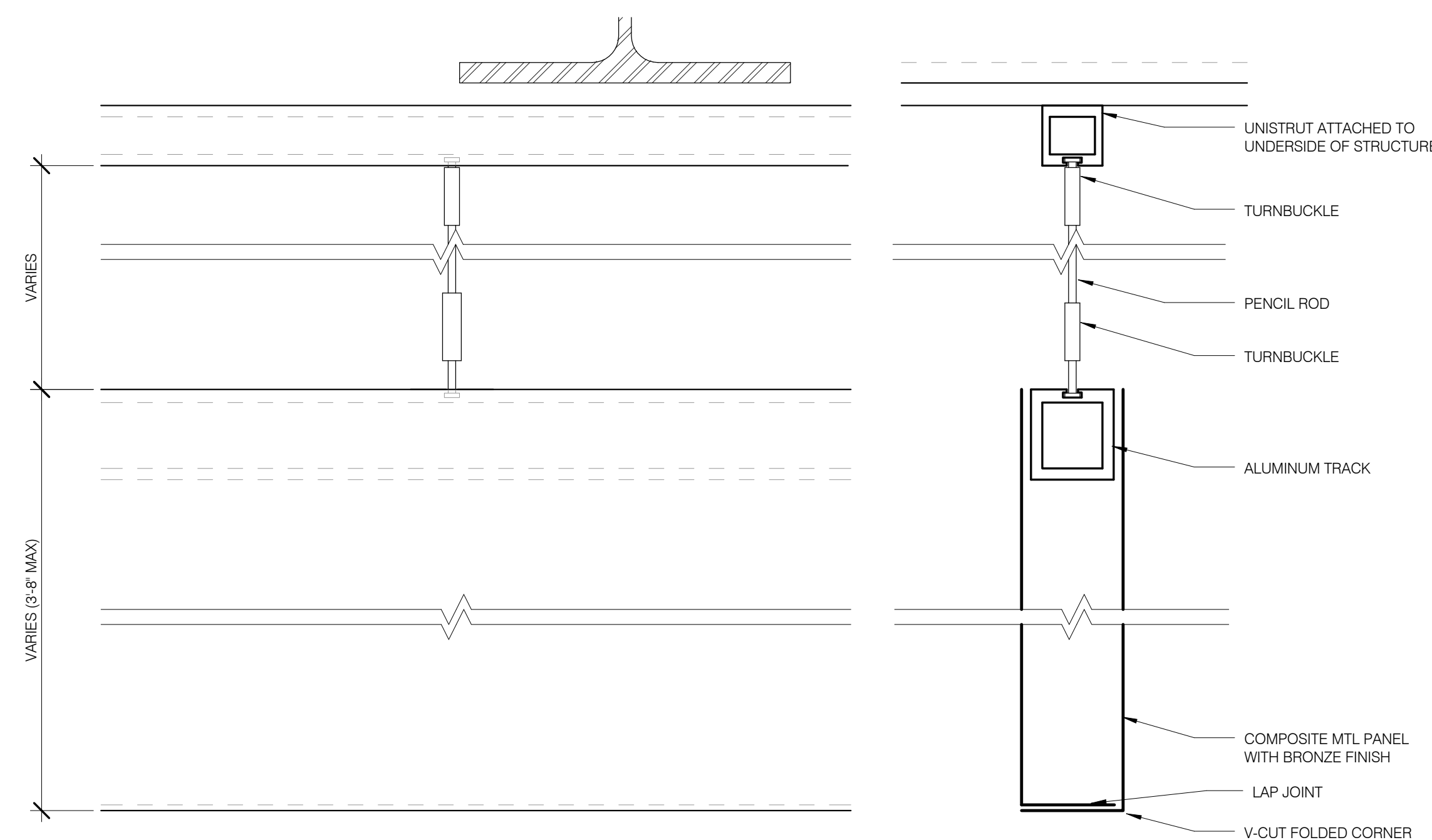
CHECKED BY: SHAP

DATE: 08/28/2015

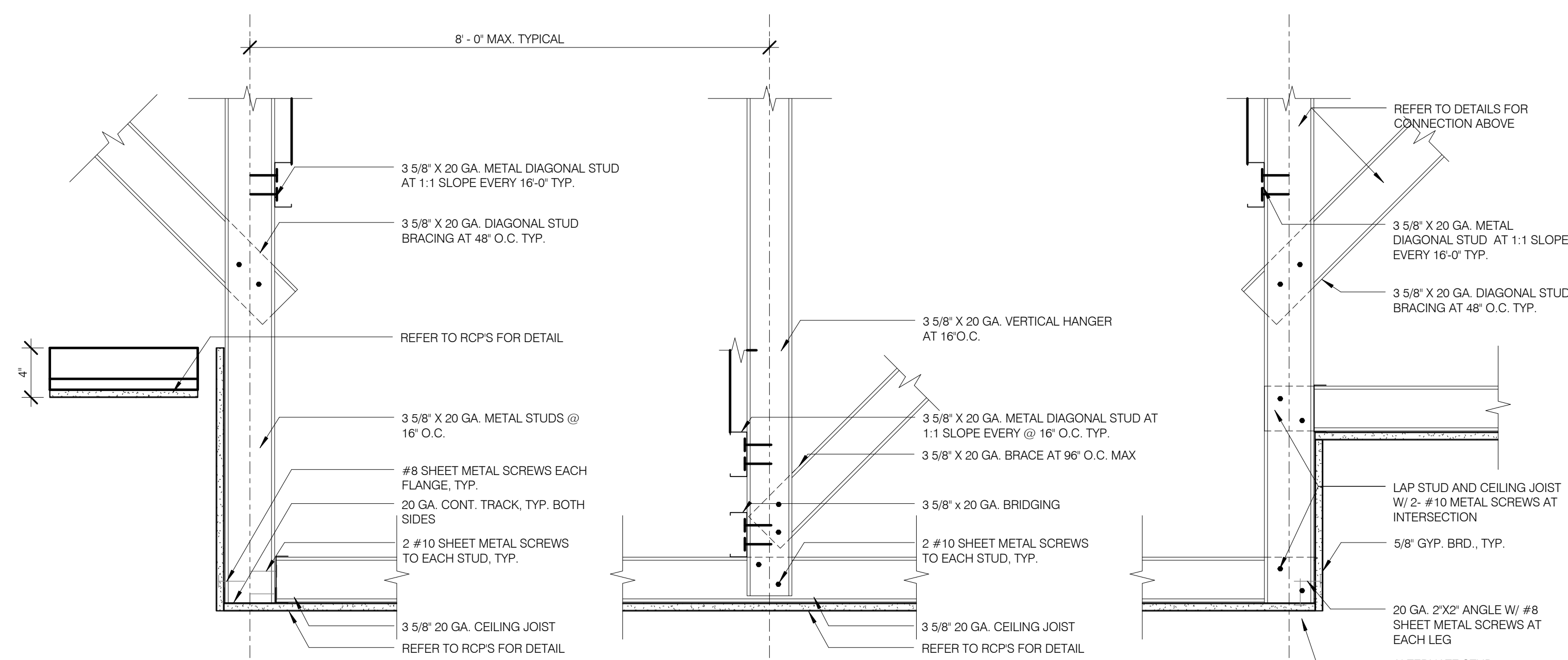
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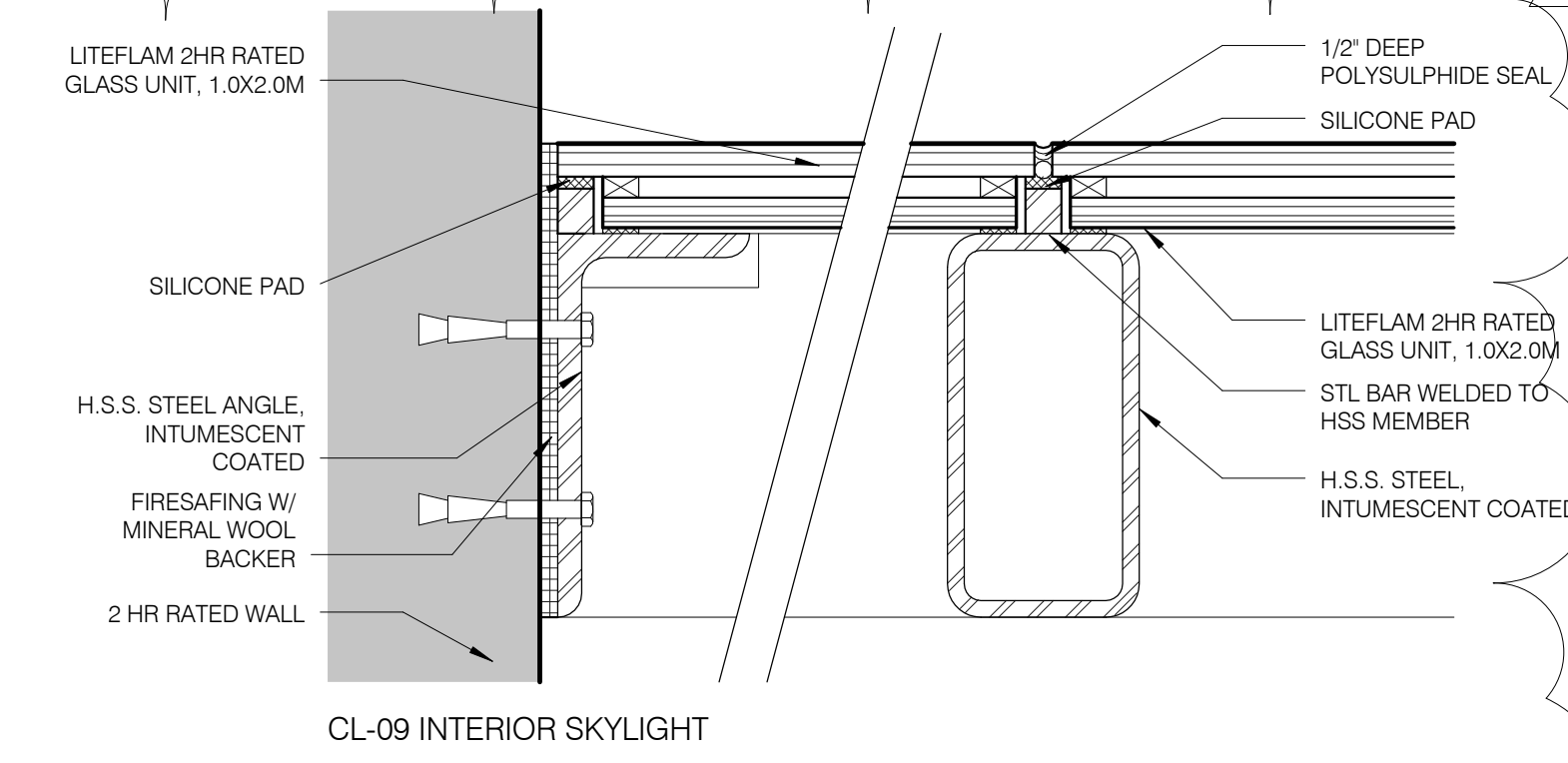




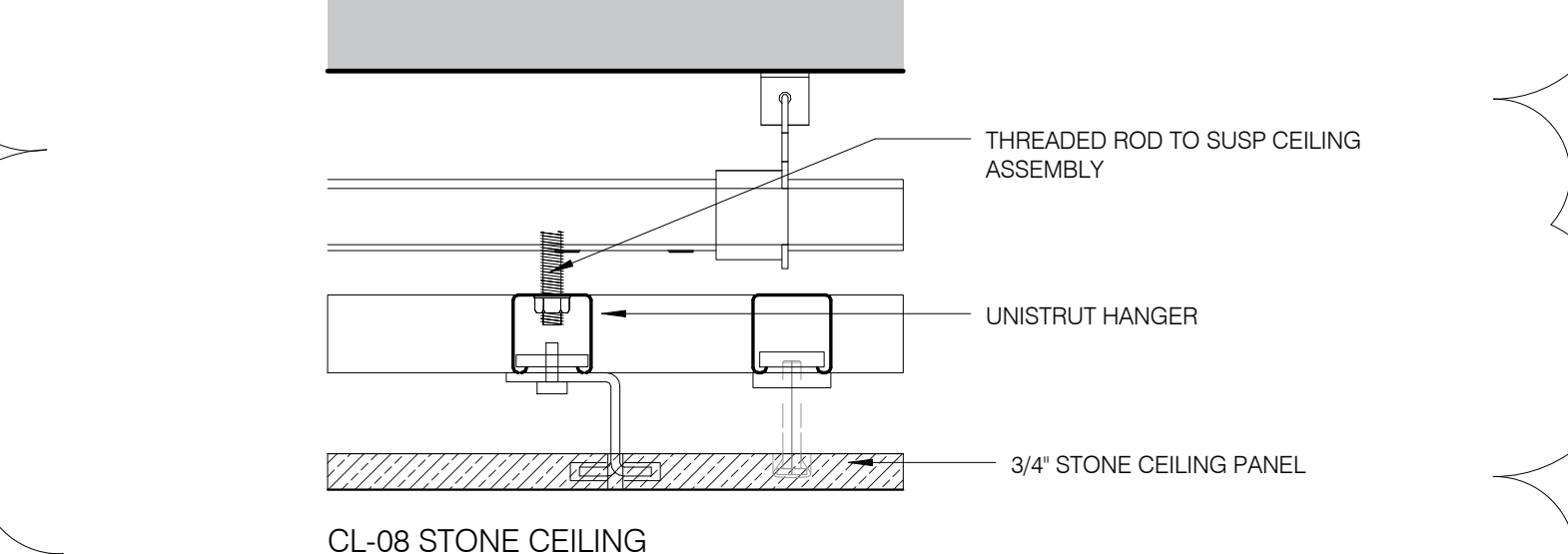
CL-07 MP-1 SUSP METAL PANEL 3' = 1'-0" 11



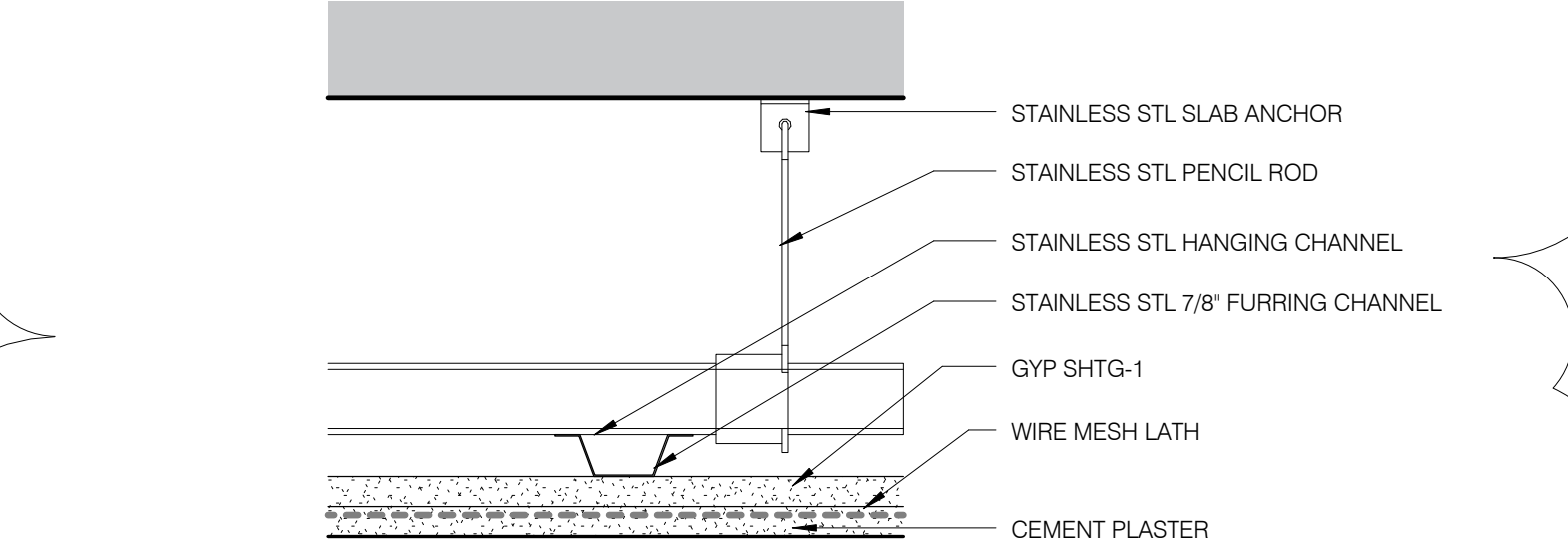
FRAMING REQUIREMENTS AT SOFFIT 1 1/2" = 1'-0" 2



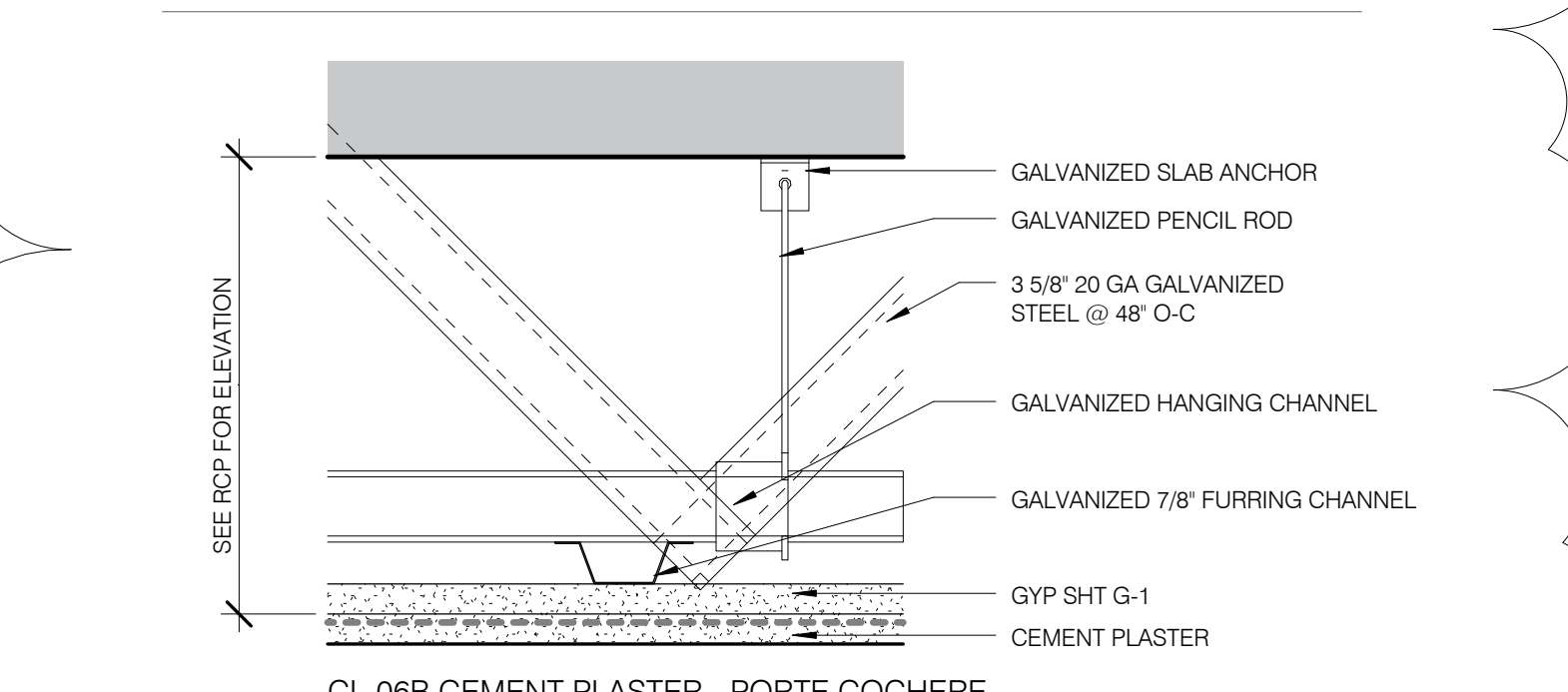
CL-09 INTERIOR SKYLIGHT



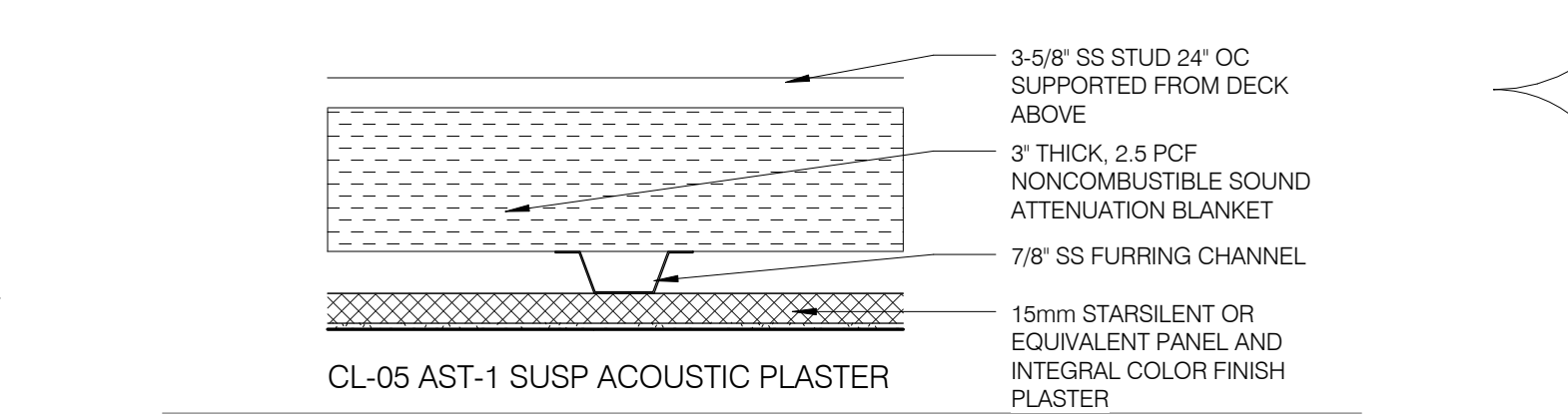
CL-08 STONE CEILING



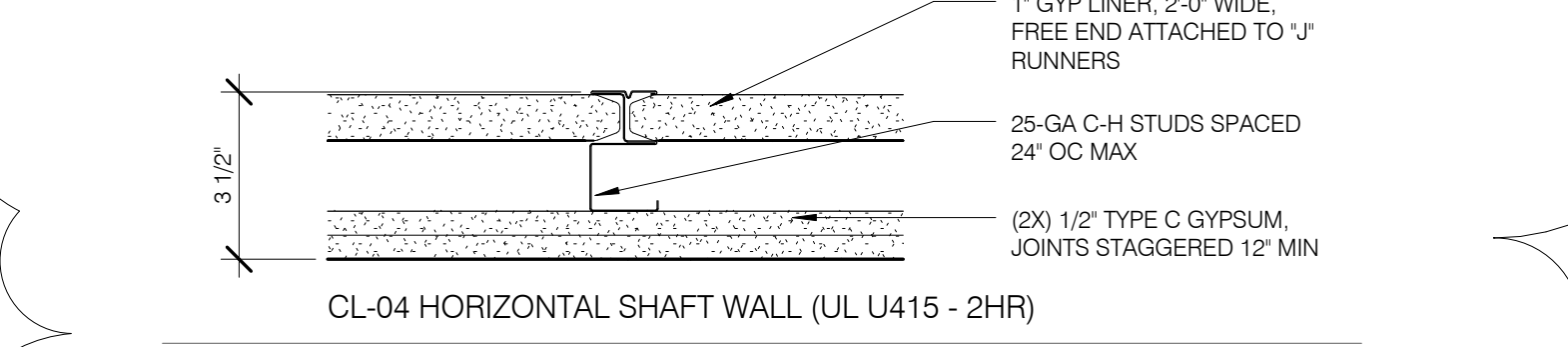
CL-06A CEMENT PLASTER - NET APPLICATION



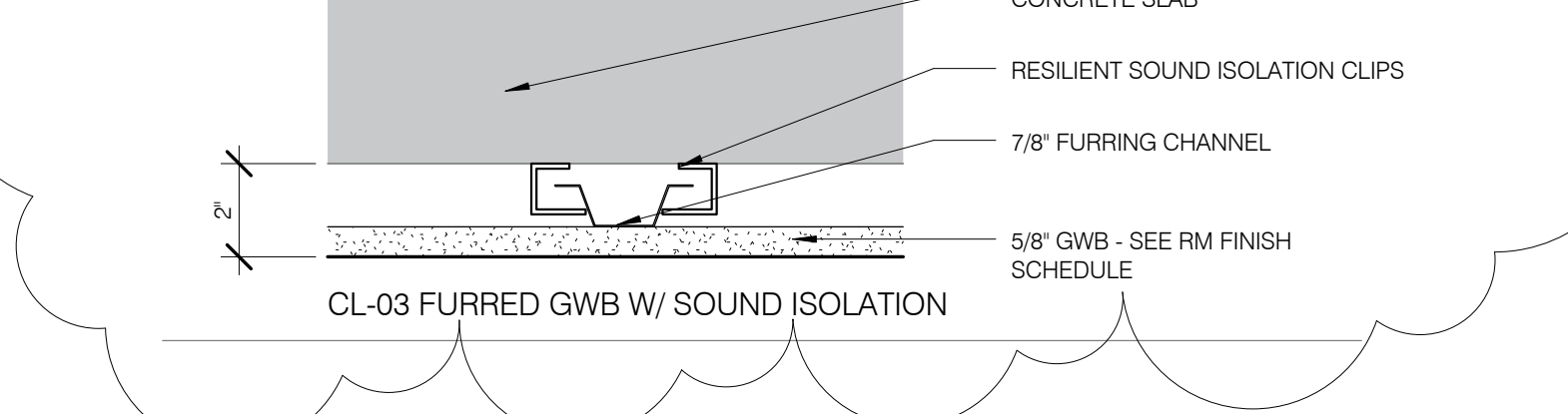
CL-06B CEMENT PLASTER - PORTE COCHERE



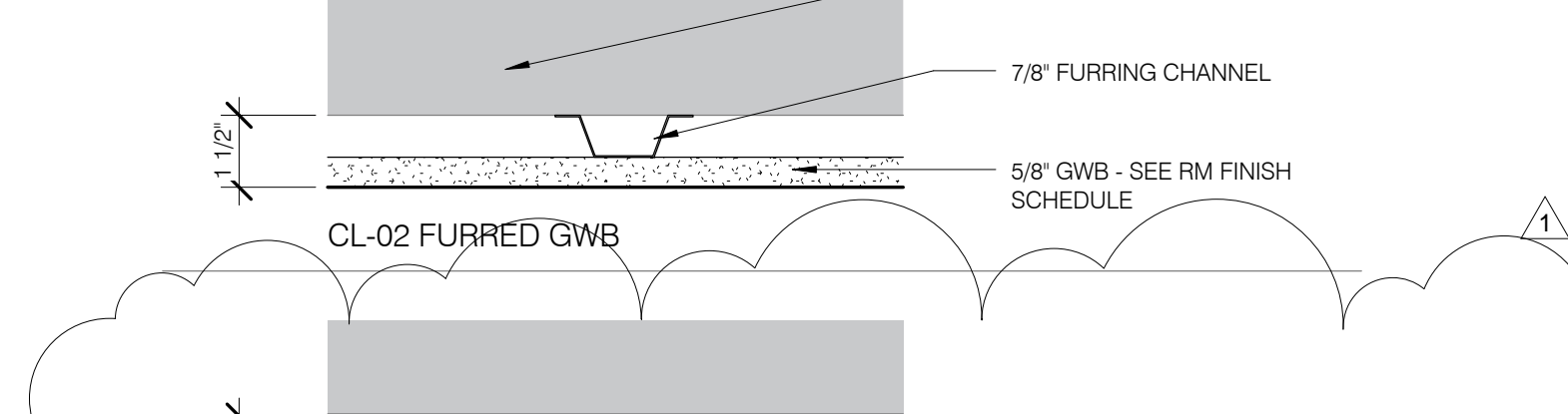
CL-05 AST-1 SUSP ACOUSTIC PLASTER



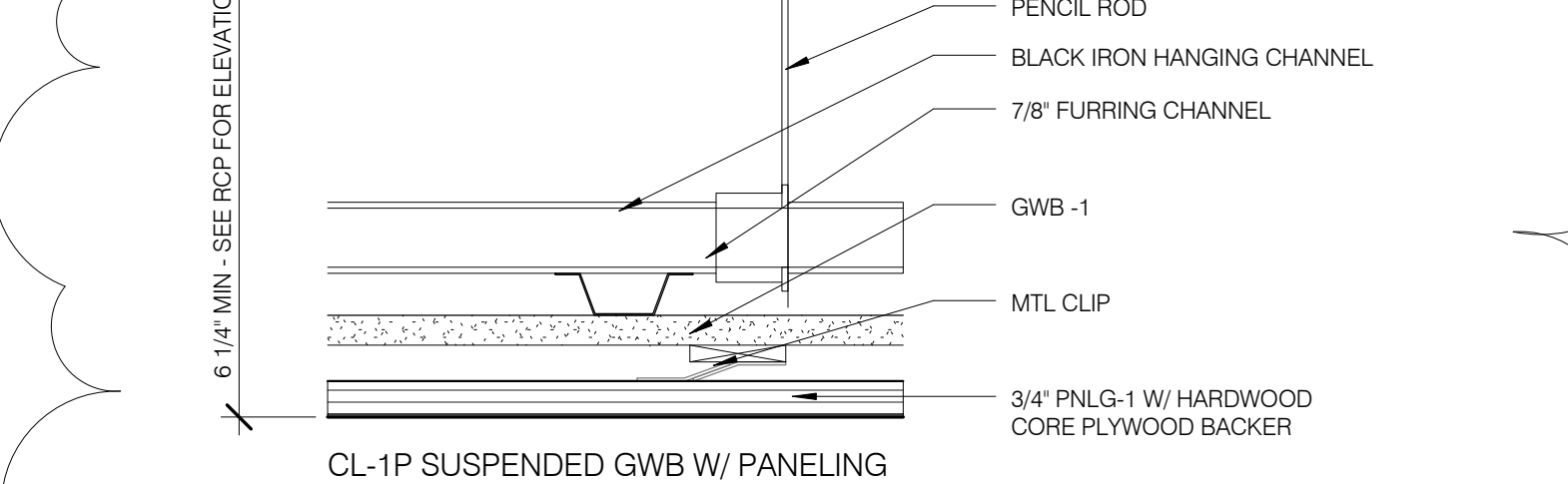
CL-04 HORIZONTAL SHAFT WALL (UL U415 - 2HR)



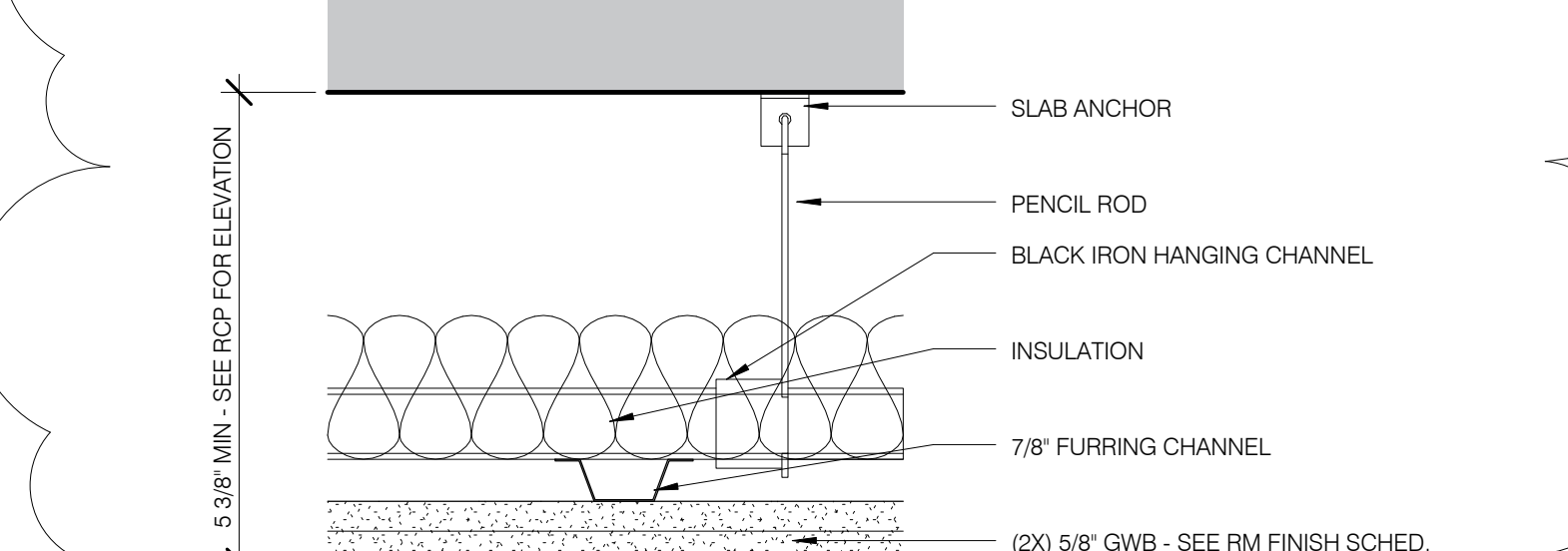
CL-03 FURRED GWB W/ SOUND ISOLATION



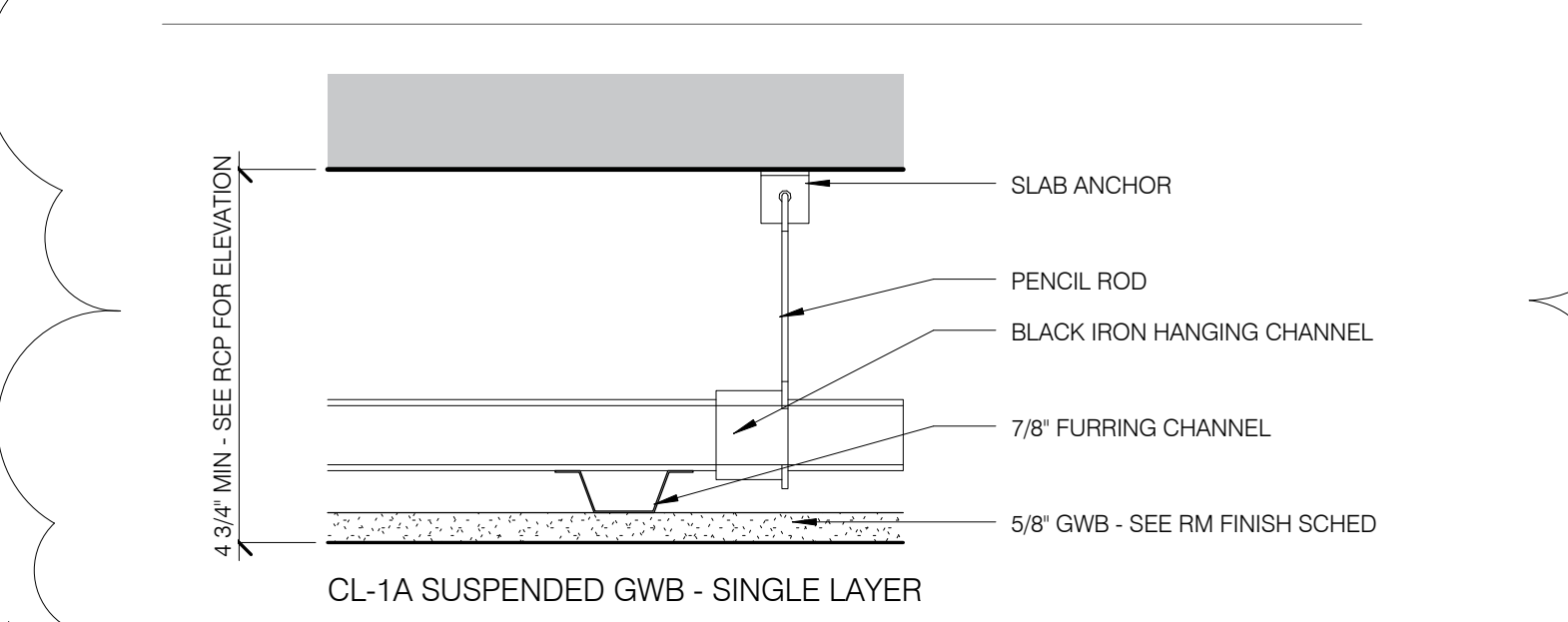
CL-02 FURRED GWB



CL-1P SUSPENDED GWB W/ PANELING

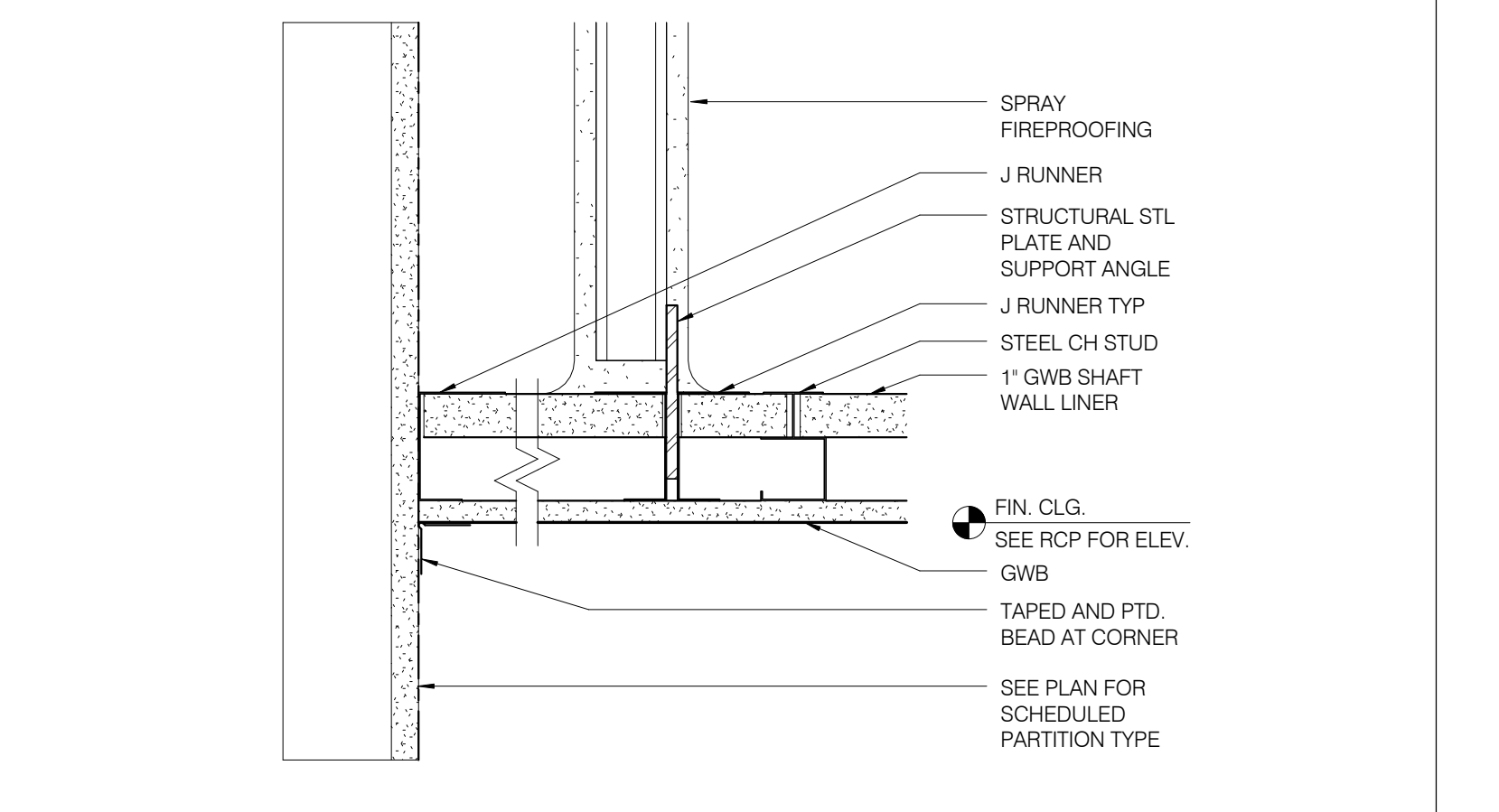


CL-1B SUSPENDED GWB - 2 LAYERS

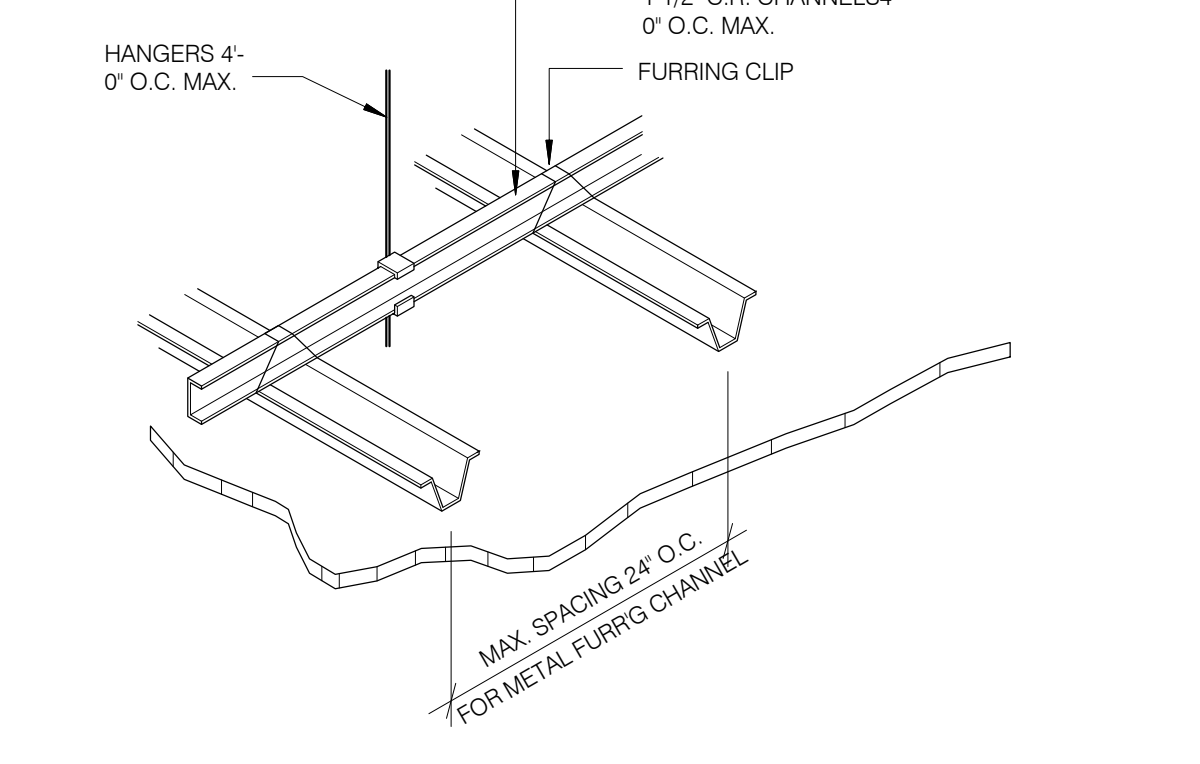


CL-1A SUSPENDED GWB - SINGLE LAYER

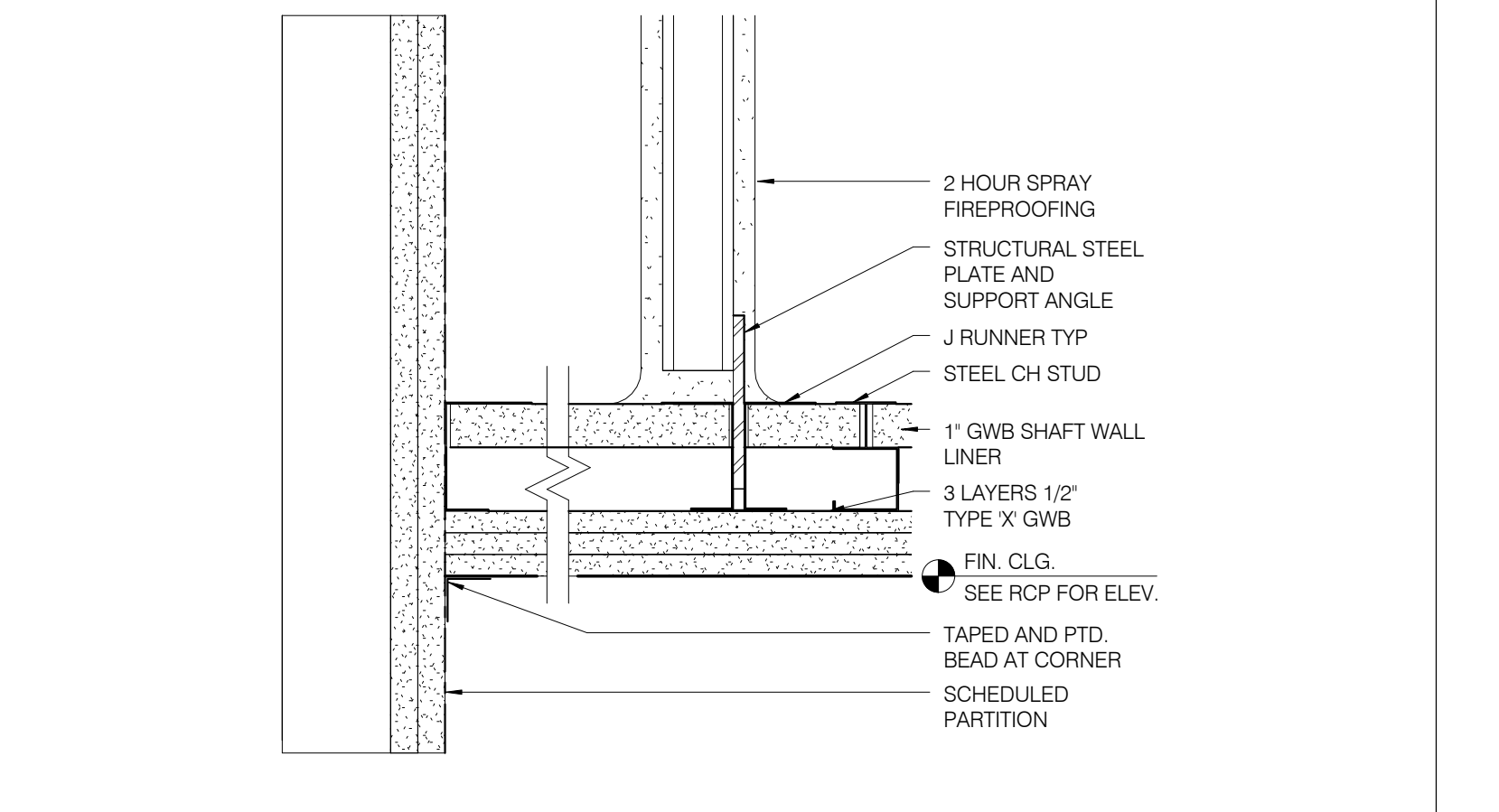
CEILING ASSEMBLIES 3' = 1'-0" 4



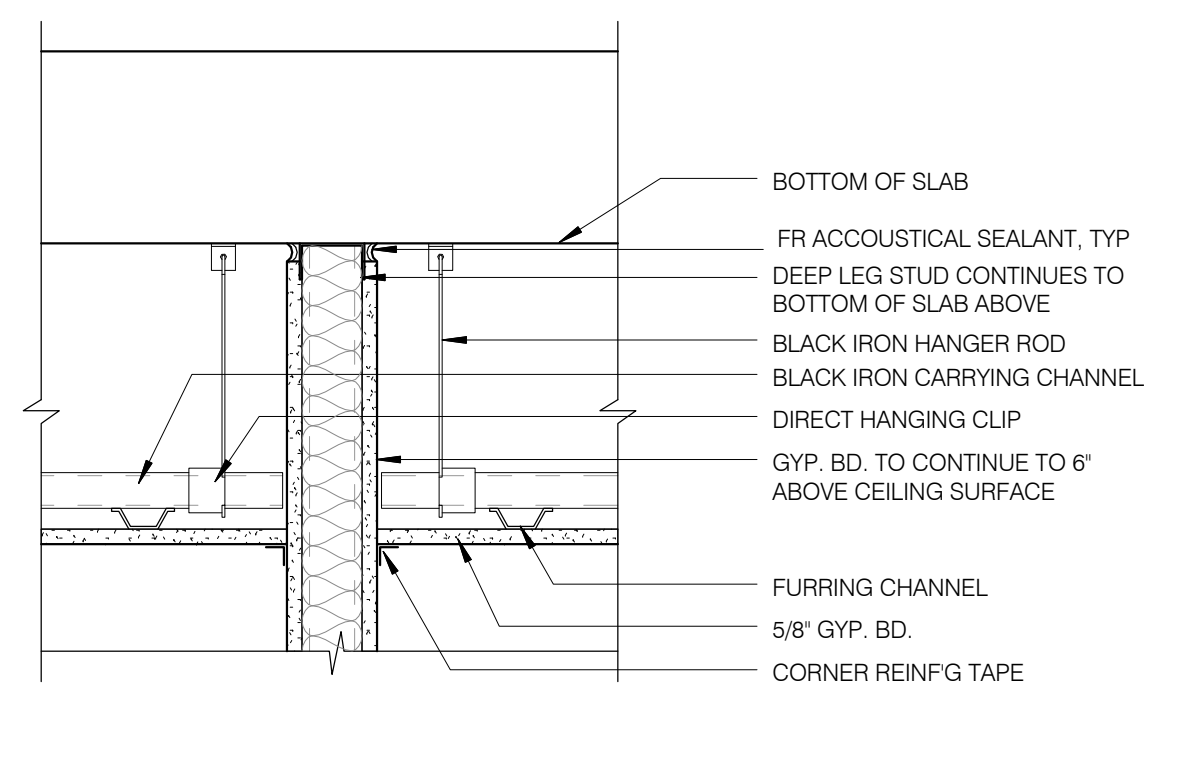
1 HR RATED GWB CEILING/SOFFIT 3' = 1'-0" 7



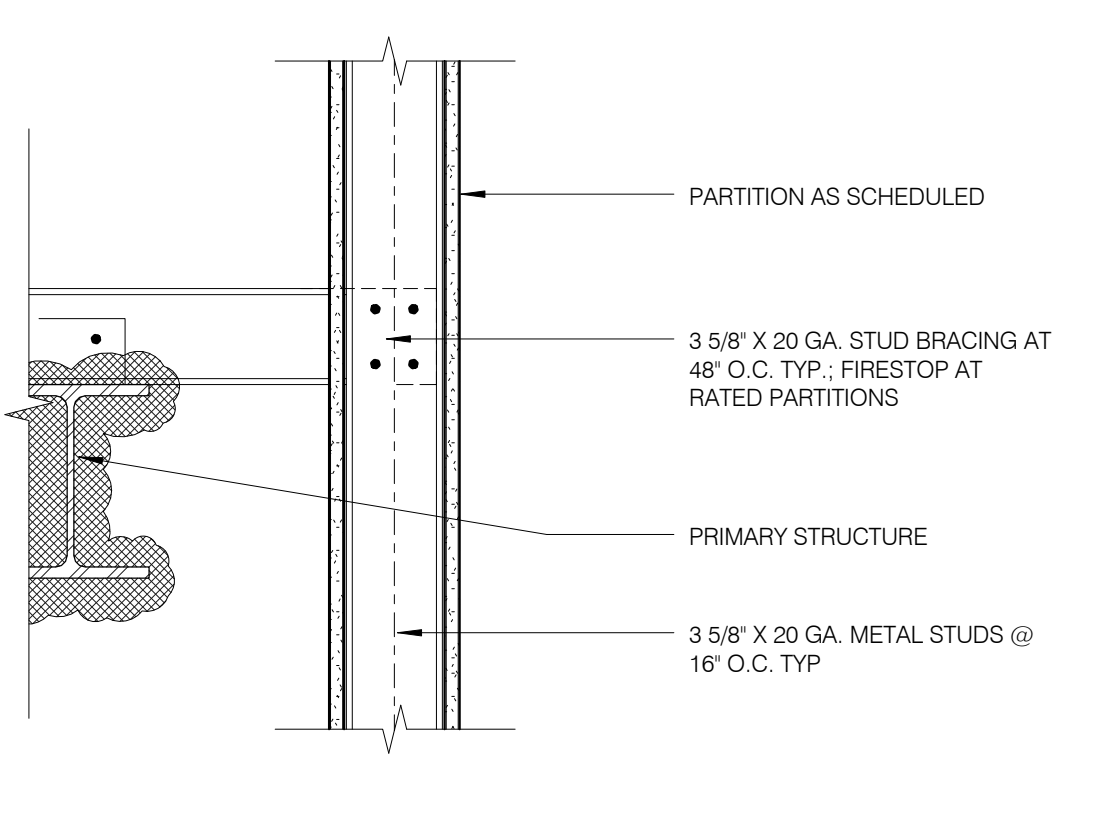
GYPSUM BOARD FRAMED CEILING 1 1/2" = 1'-0" 3



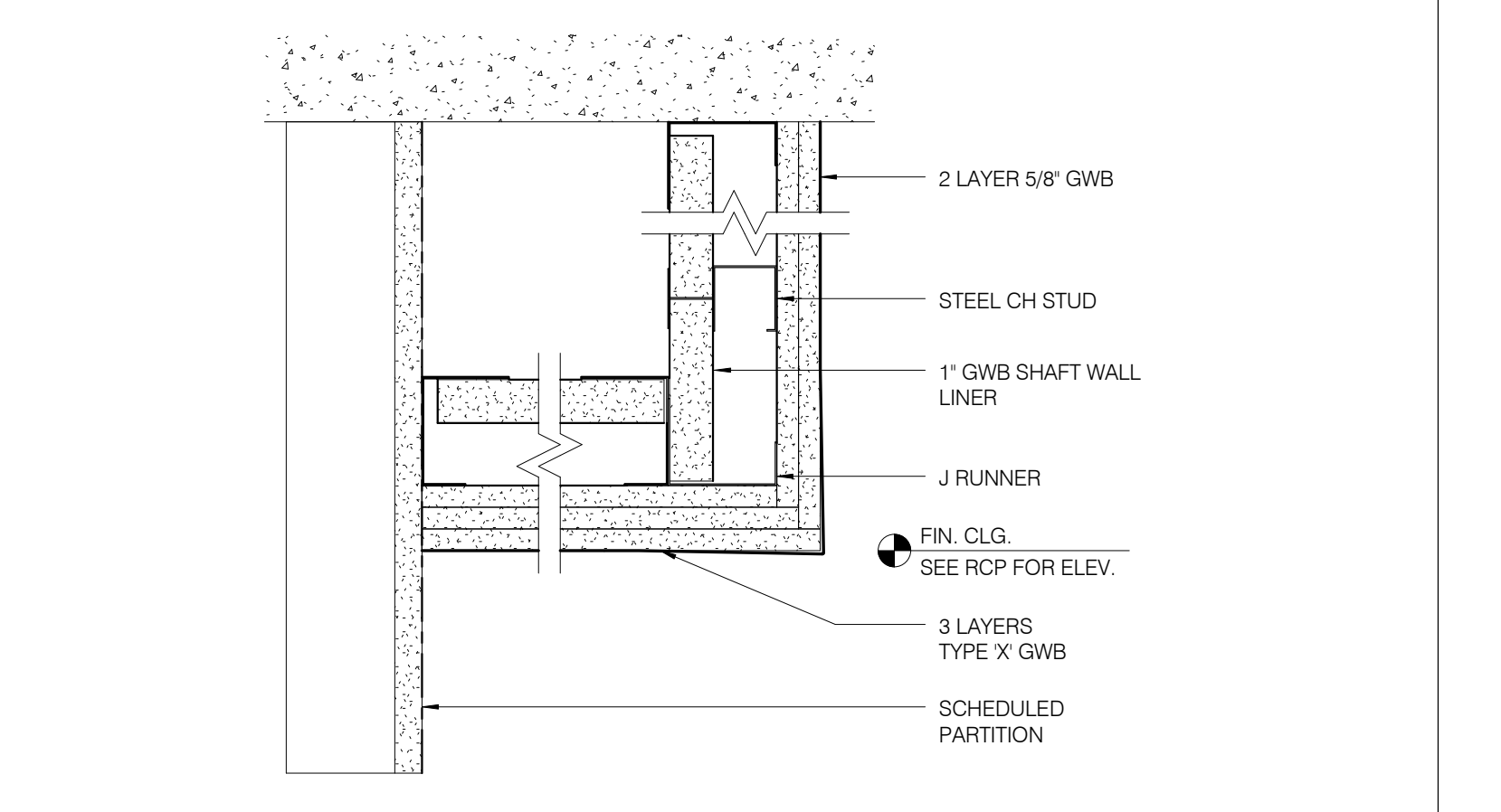
2 HR RATED GWB CEILING/SOFFIT 3' = 1'-0" 8



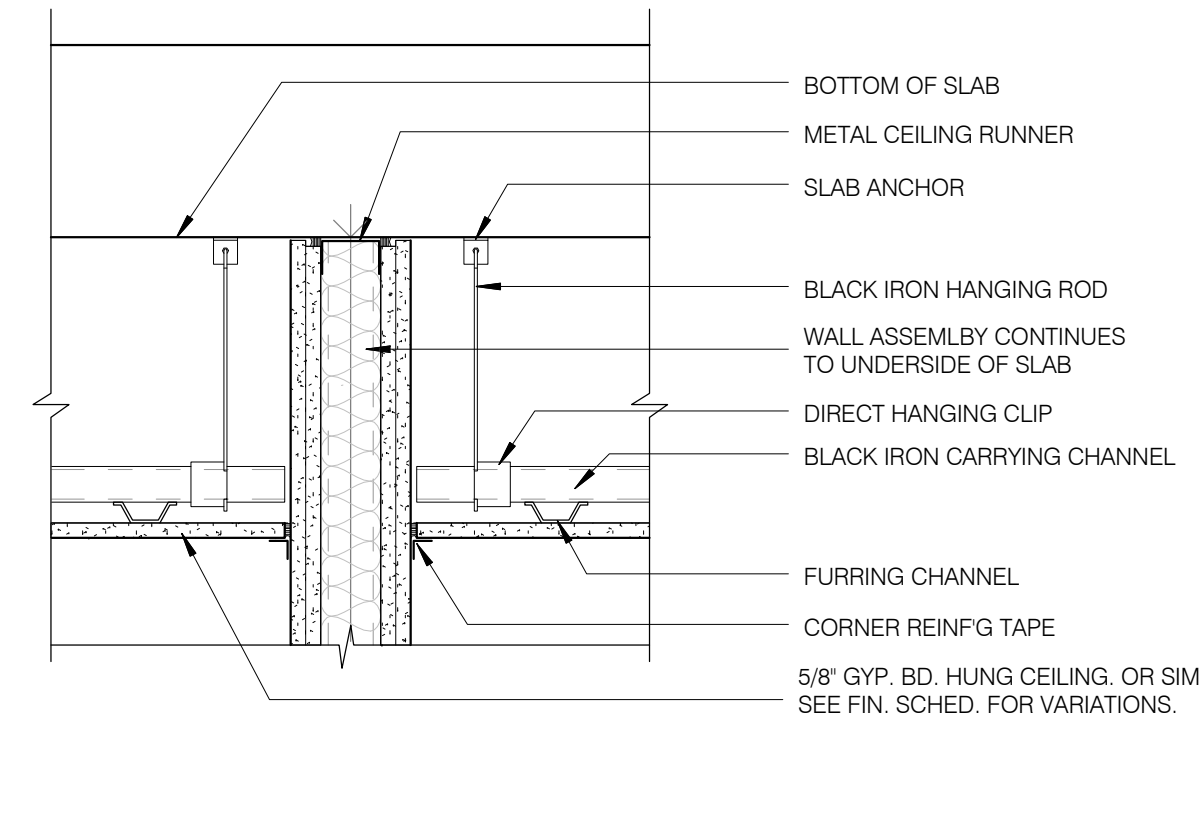
TYPICAL SUSPENDED CEILING @ INTERIOR PARTITION 1 1/2" = 1'-0" 4



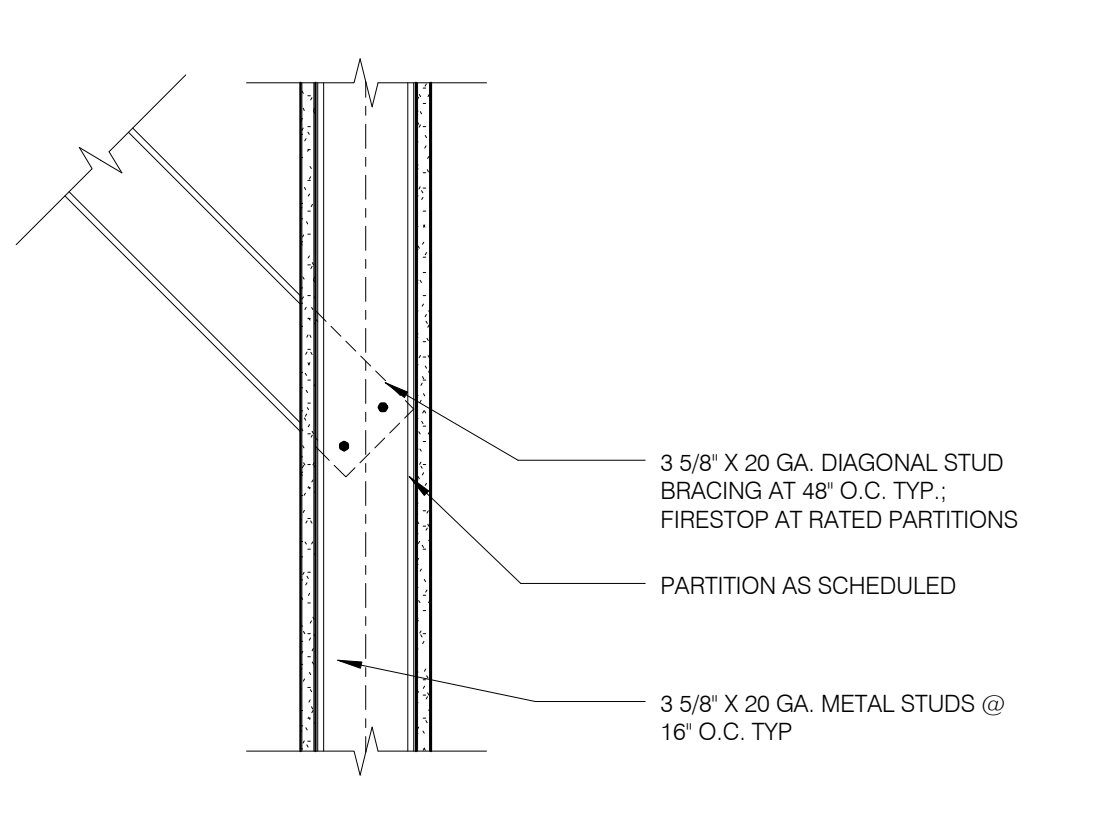
TYPICAL BRACING @ STRUCTURE 1 1/2" = 1'-0" 13



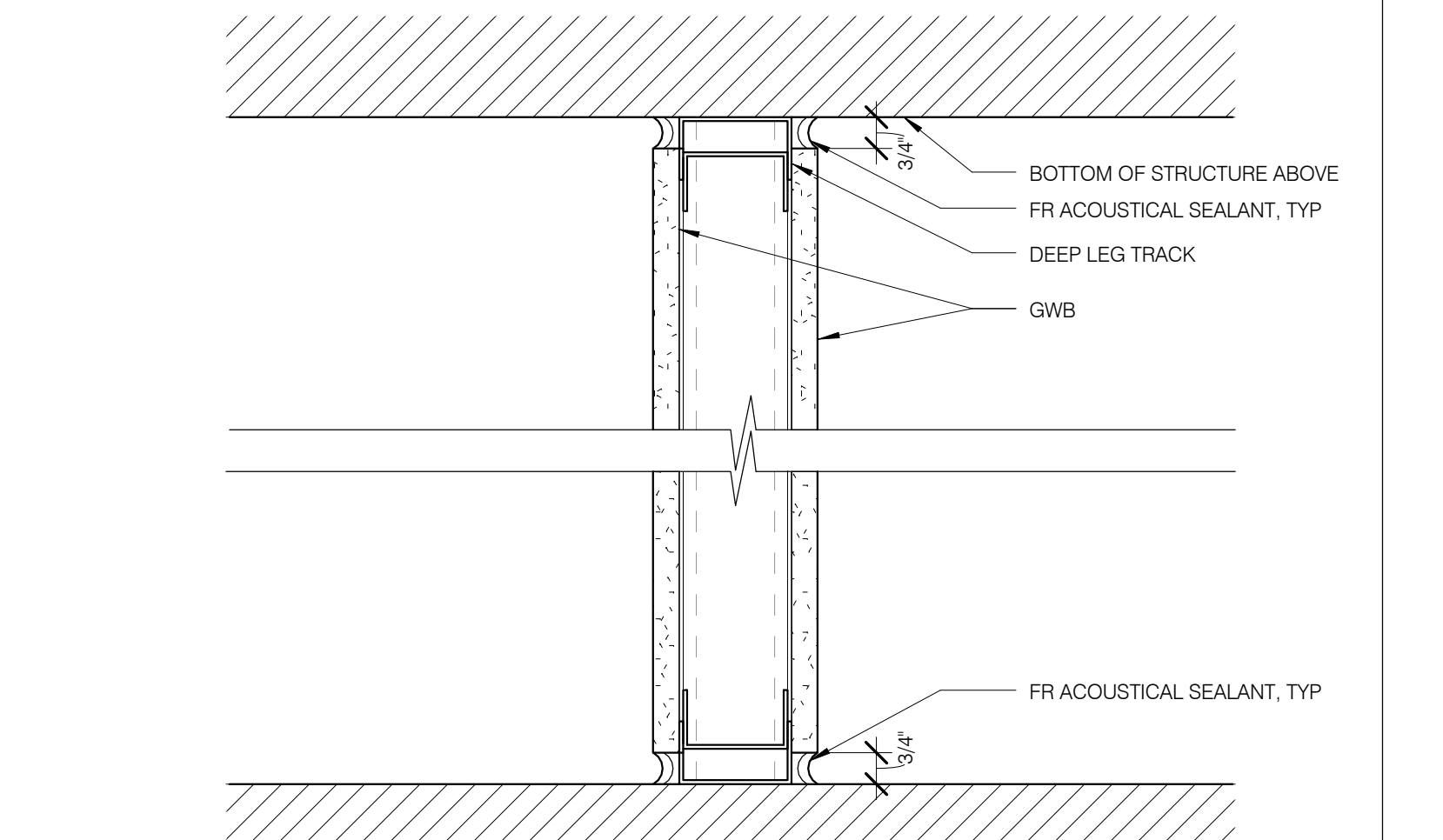
2 HR RATED DUCT ENCLOSURE 3' = 1'-0" 9



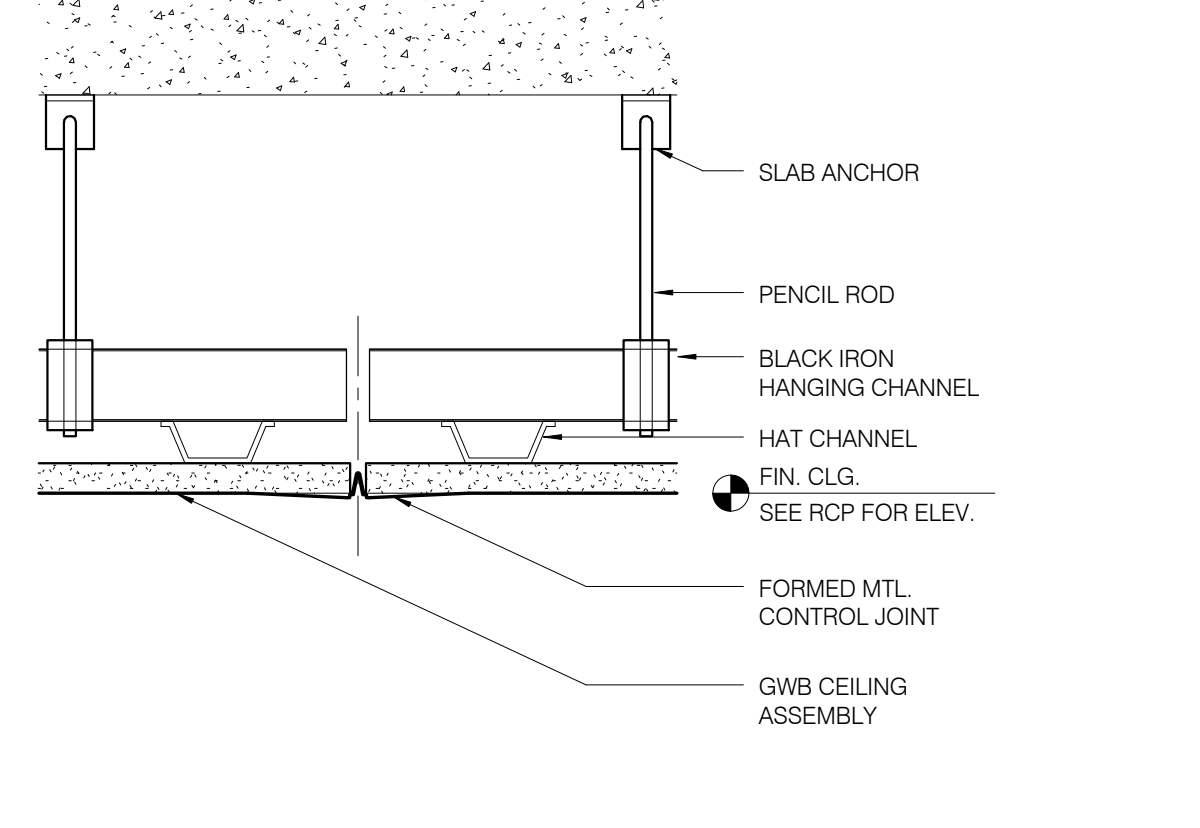
TYPICAL SUSPENDED CEILING @ RATED PARTITION 1 1/2" = 1'-0" 5



TYPICAL BRACING W/ KICKER 1 1/2" = 1'-0" 12



TYPICAL STUD TO STRUCTURE DETAIL 3' = 1'-0" 10



CONTROL JOINT @ GWB CEILING 3' = 1'-0" 6

NOTE:  
MAXIMUM STUD SPANS:  
3 1/2\"/>

NOTE:  
MAXIMUM STUD SPANS:  
2 1/2\"/>

NOTE:  
PROVIDE EVERY 200 SF - SEE RCP FOR LOCATIONS

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VERTICAL TRANSPORTATION  
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MECHANICAL  
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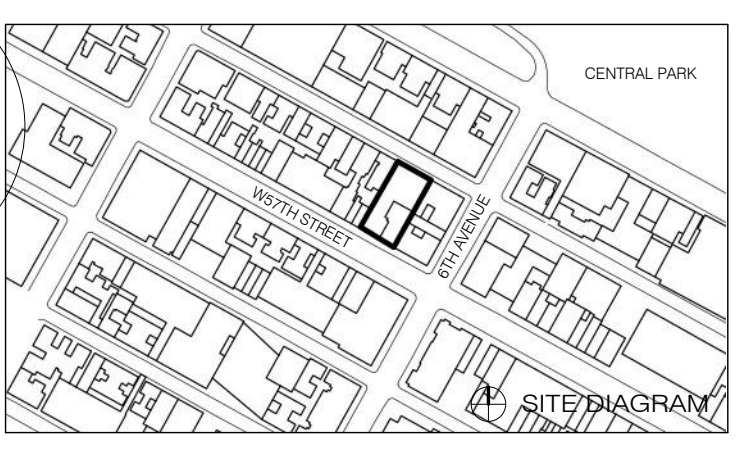
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CURRENT ISSUE

DOB PAA



**111 WEST 57TH STREET**  
 111 WEST 57TH STREET  
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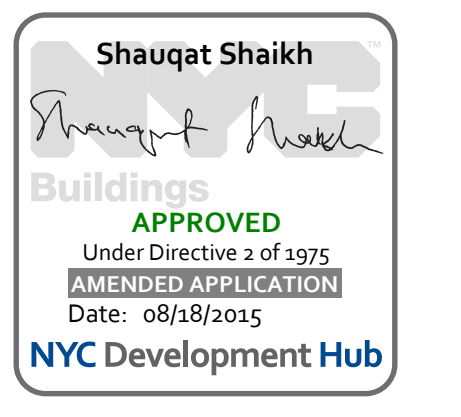
1	3.27.15	DOB PAA
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NO. DATE REVISION  
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**CEILING TYPES AND DETAILS**

SEAL & SIGNATURE DATE 3.27.15  
 PROJECT NO. 130907  
 DRAWN BY SHP  
 CHECKED BY SHP  
 DATE 08/28/15  
 DOW NO. 121332968  
 DRAWING NUMBER  
**A-670.01**



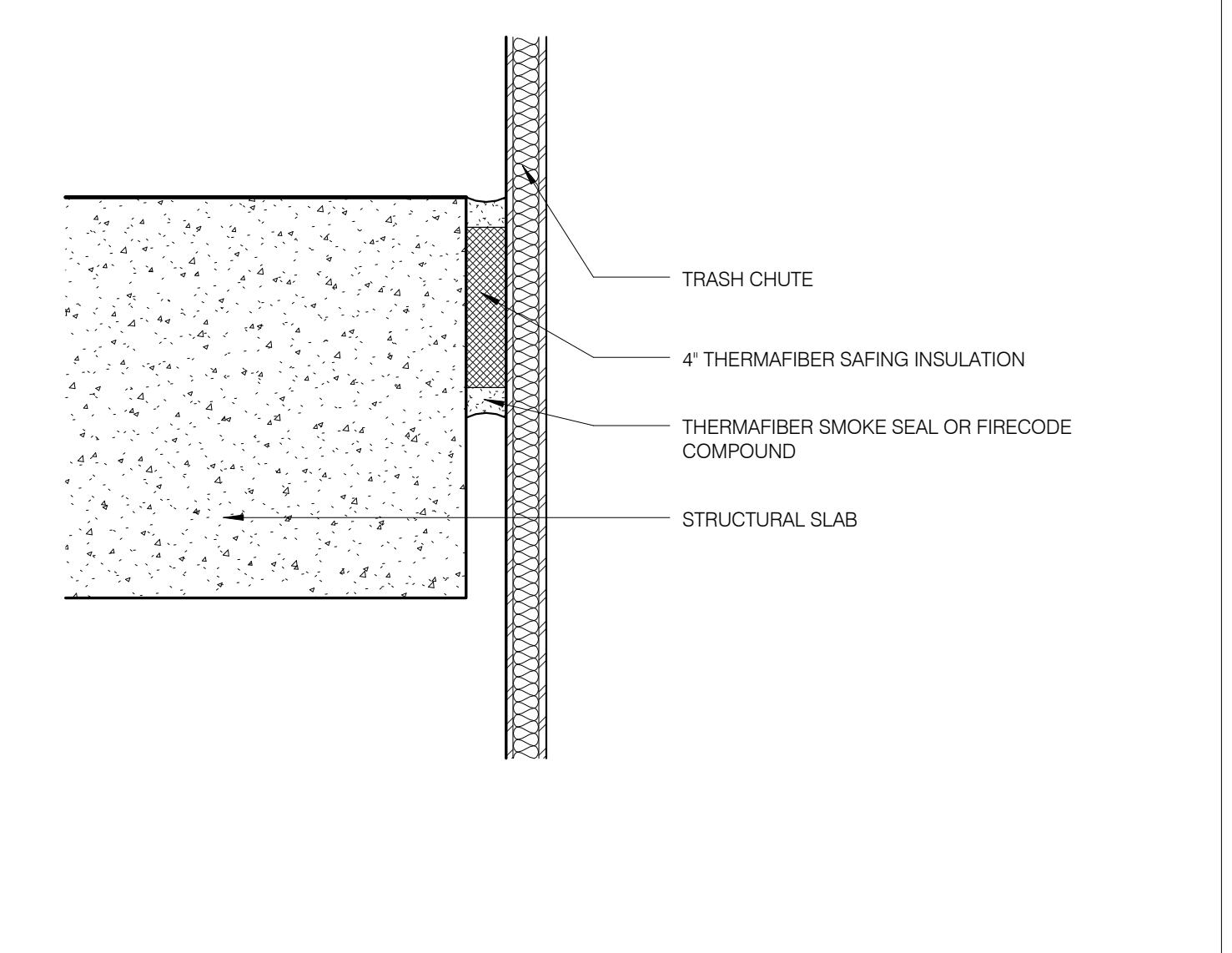
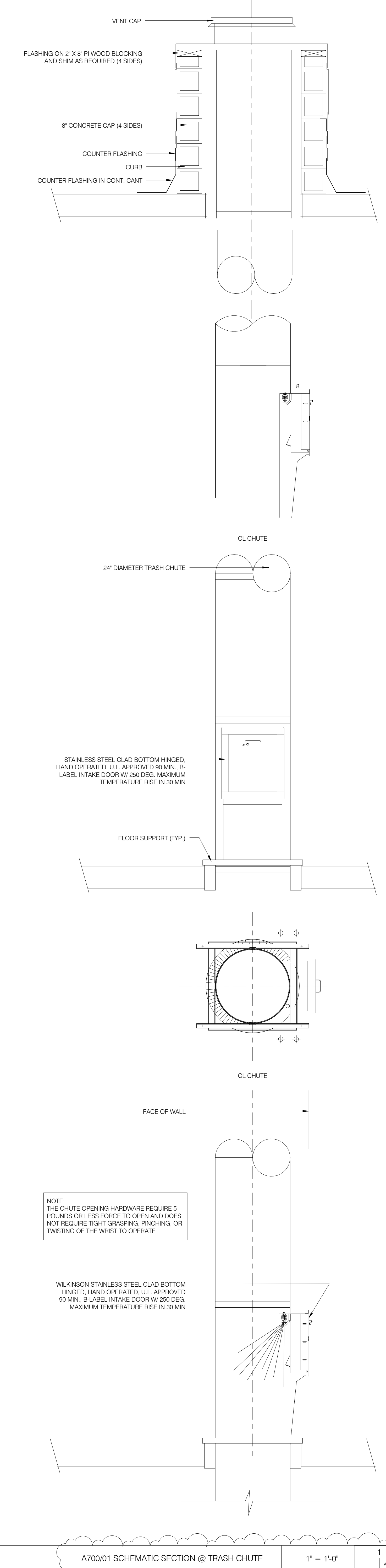


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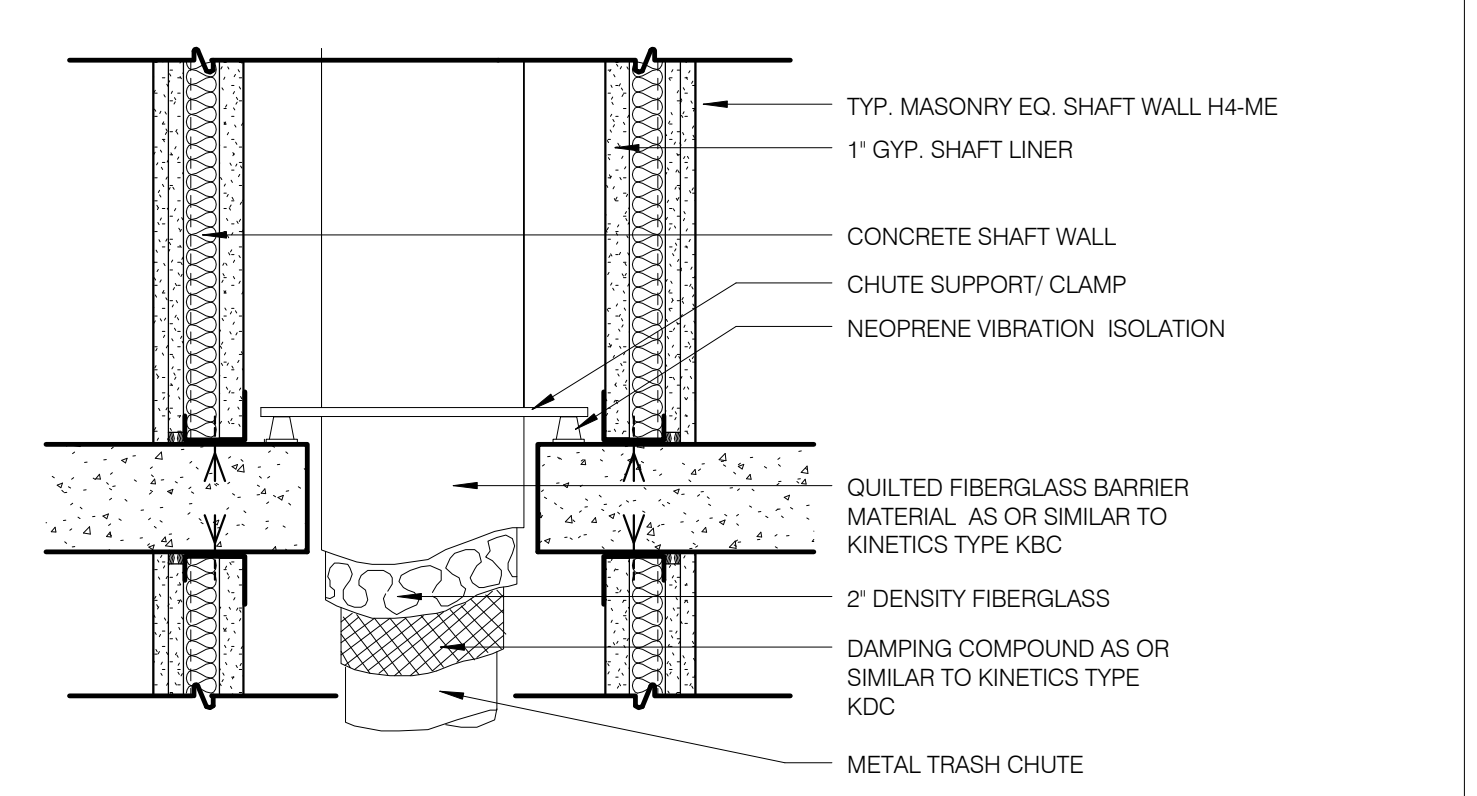
DRAWING TITLE  
**TYPICAL WALL DETAILS**

SEAL & SIGNATURE

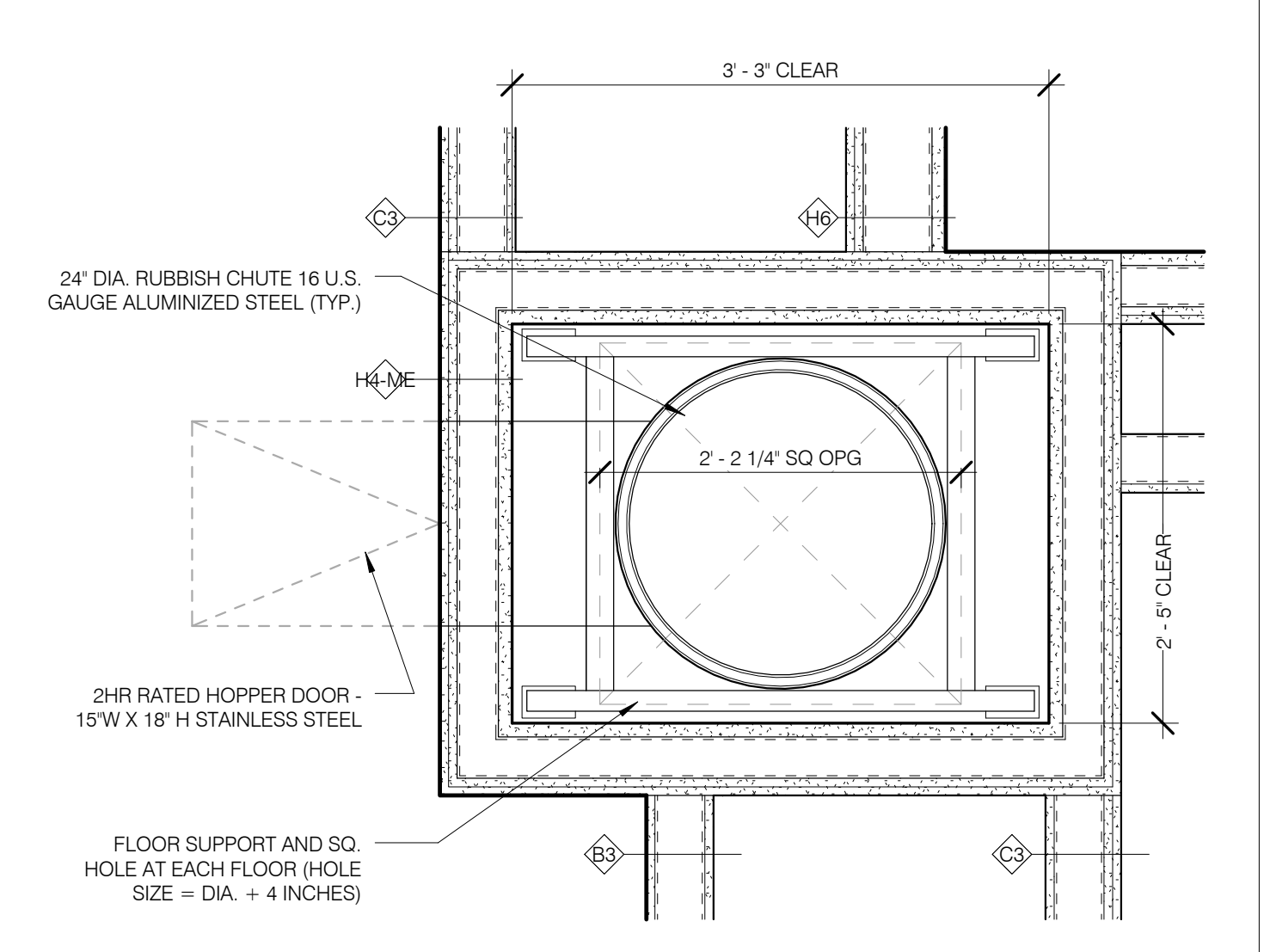
DATE: 3/27/15  
PROJECT NO.: 130007  
DRAWN BY: SHAP  
CHECKED BY: SHAP  
DOB NO.: 121332968  
DRAWING NUMBER: **A-701.01**



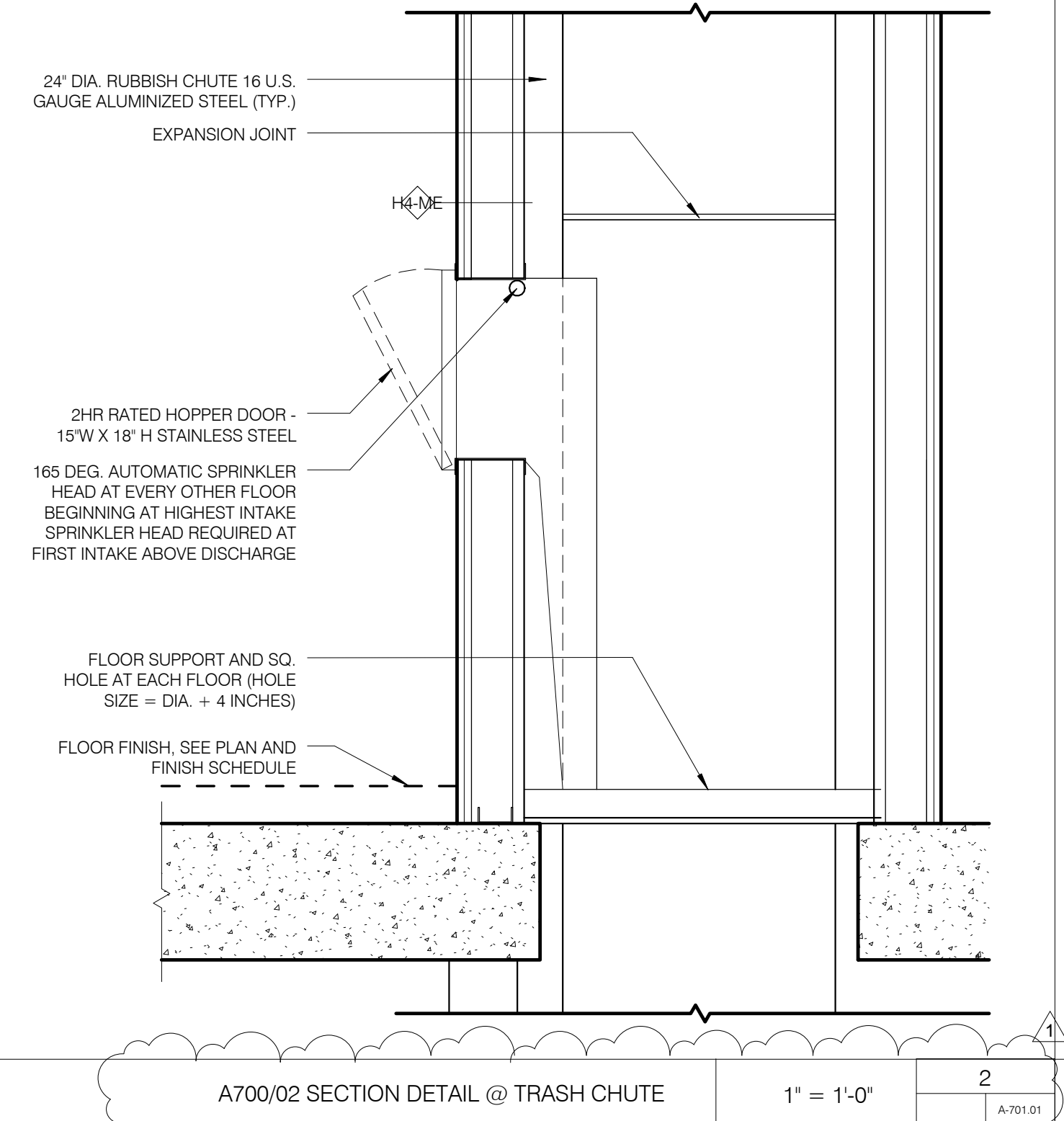
A700/05 FIRESTOPPING @ TRASH CHUTE SLAB OPG 3' = 1'-0" 5



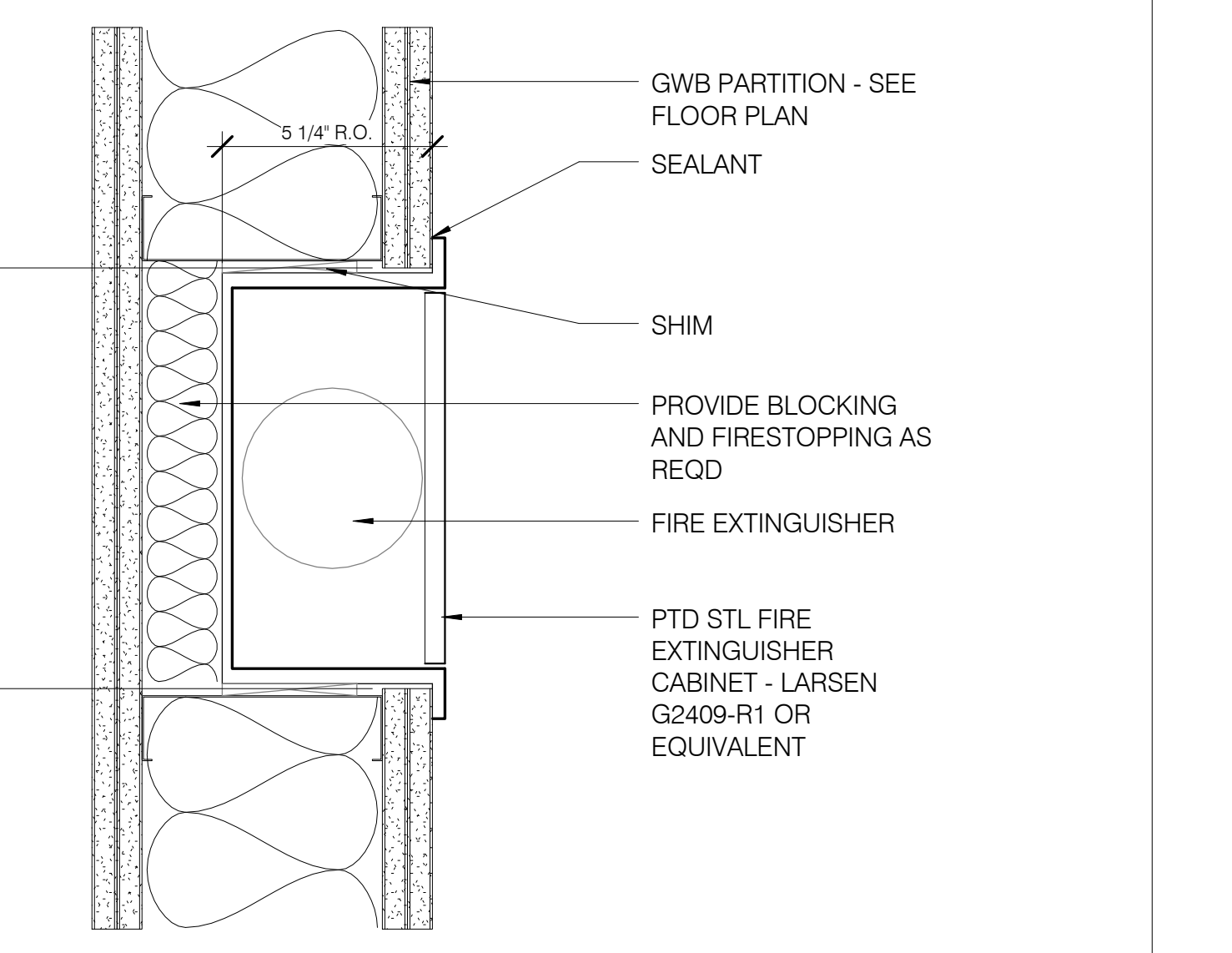
A700/04 SUPPORT @ TRASH CHUTE 1 1/2" = 1'-0" 4



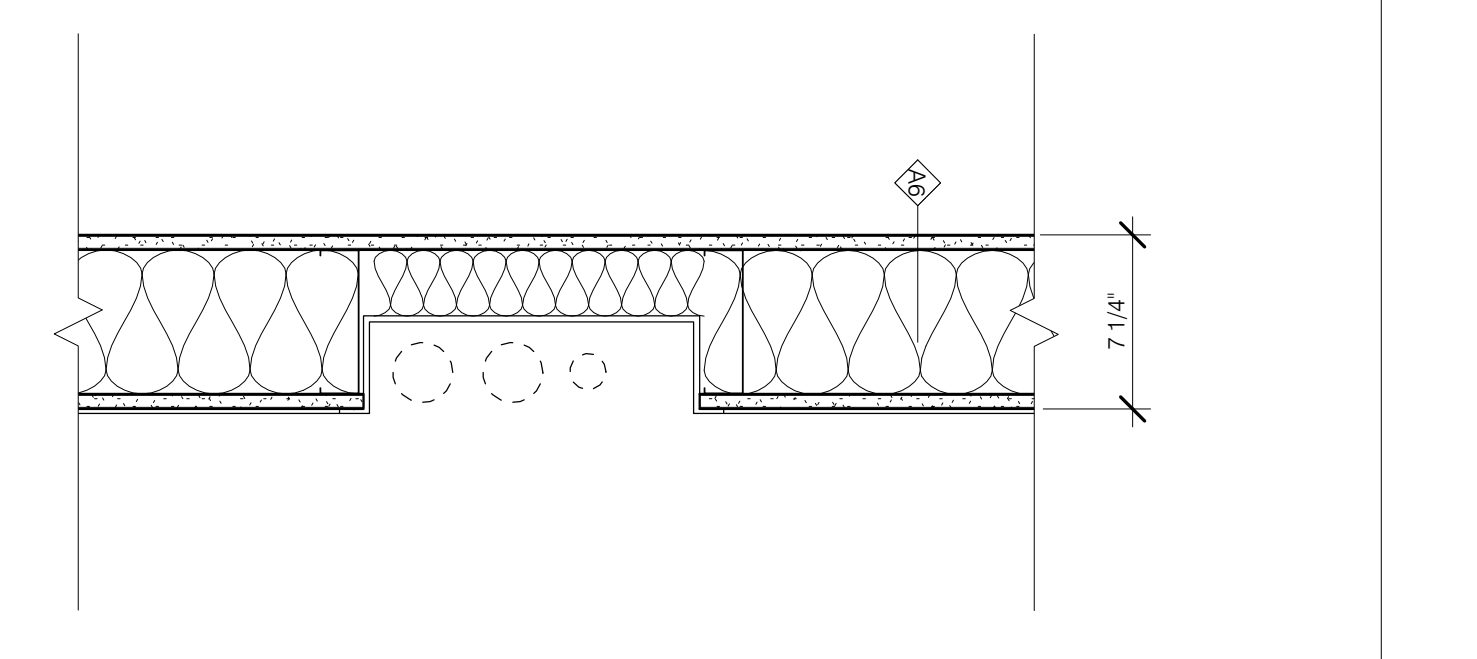
A700/03 PLAN DETAIL @ TRASH CHUTE 1" = 1'-0" 3



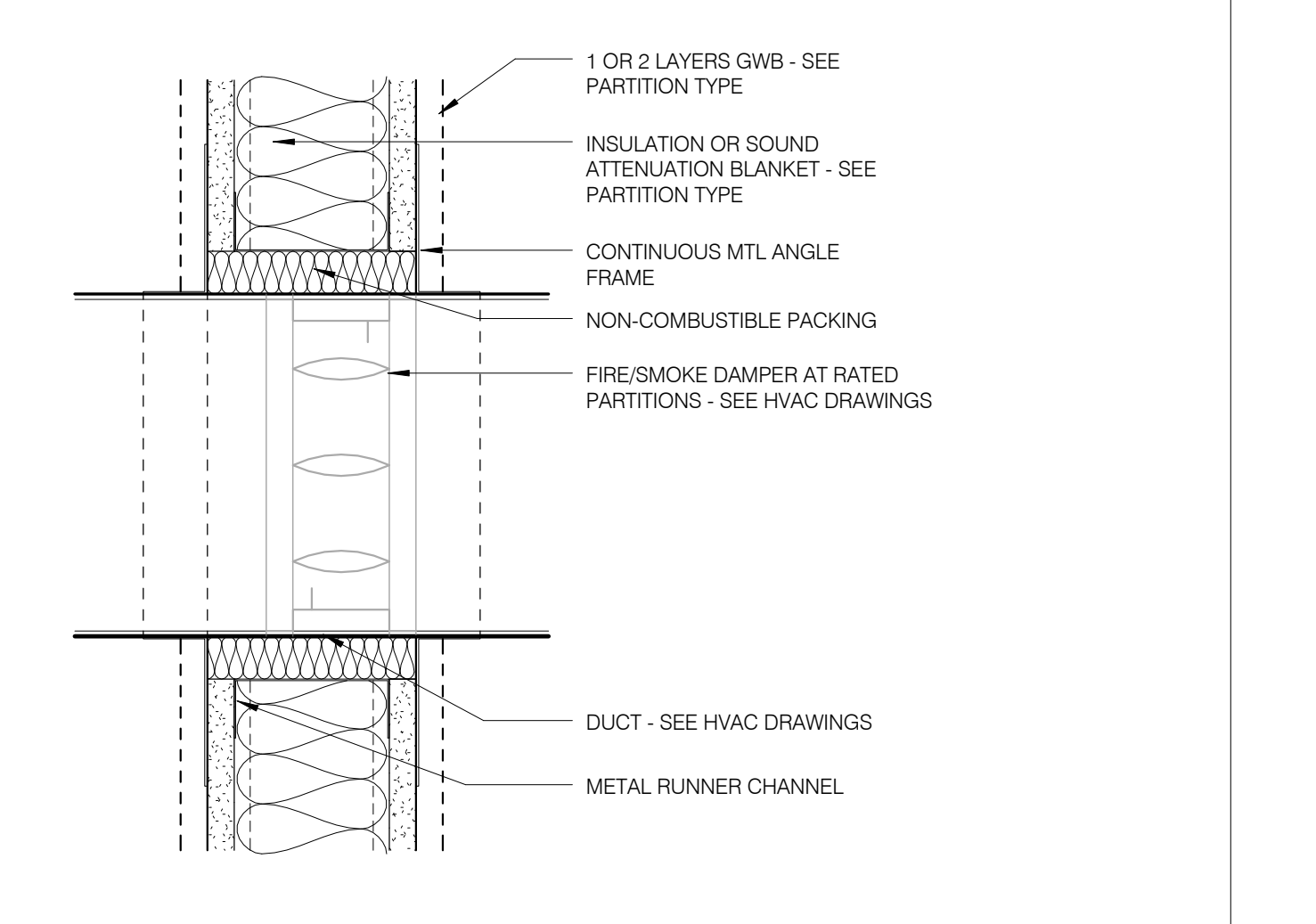
A700/02 SECTION DETAIL @ TRASH CHUTE 1" = 1'-0" 2



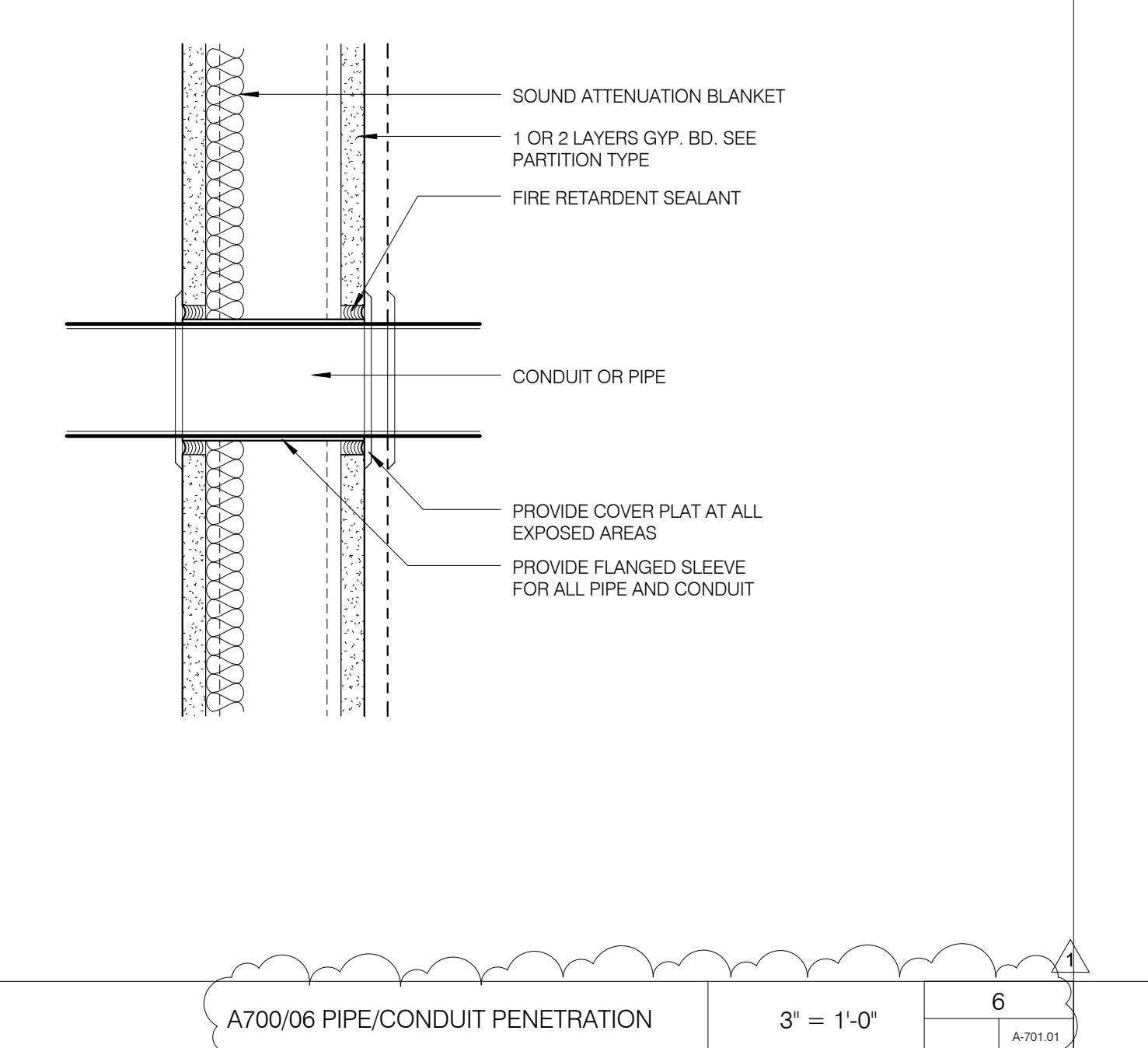
STD RECESSED FEC CABINET 3' = 1'-0" 9



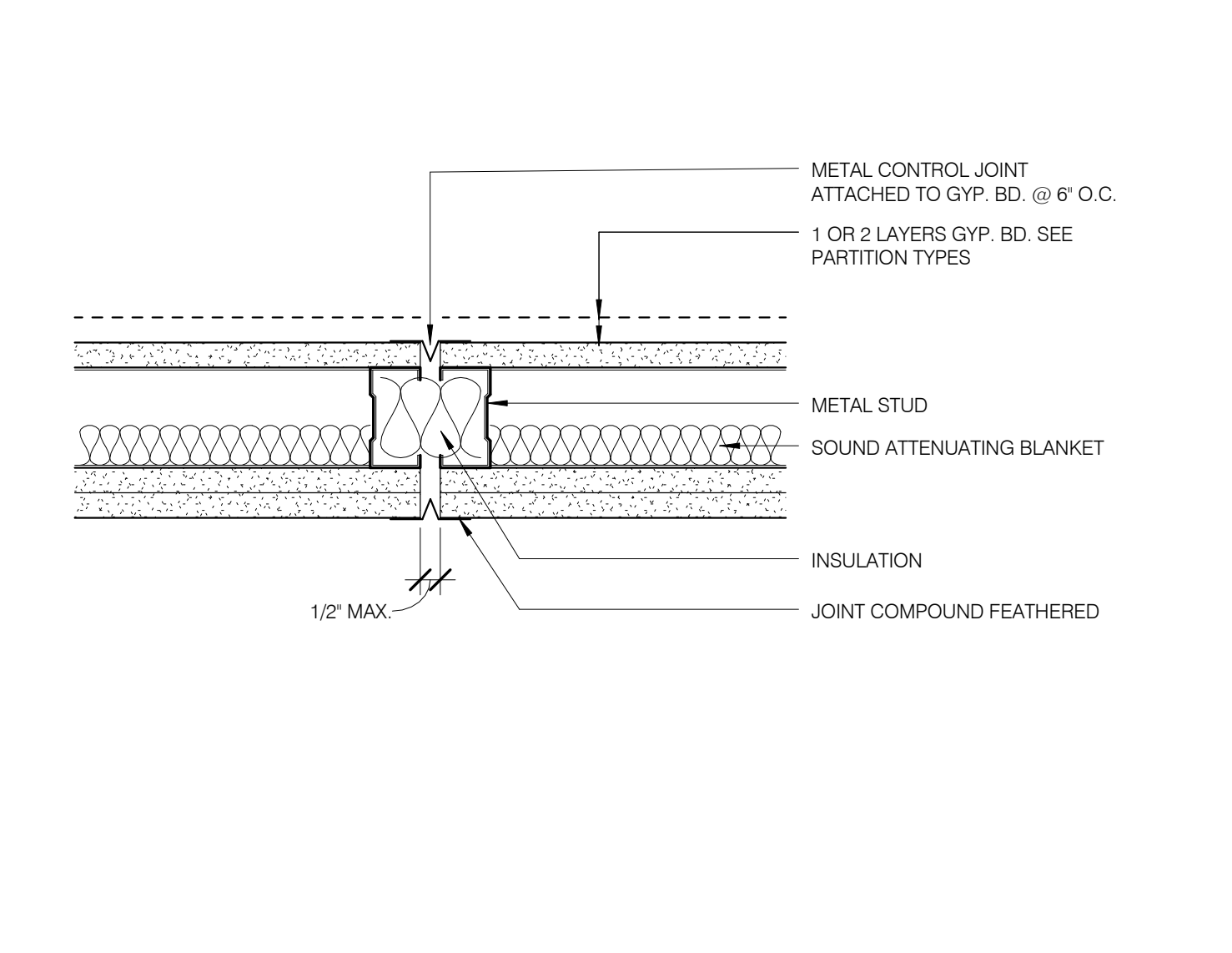
A700/08 PLAN DETAIL @ WASHER/DRYER RISER 1 1/2" = 1'-0" 8



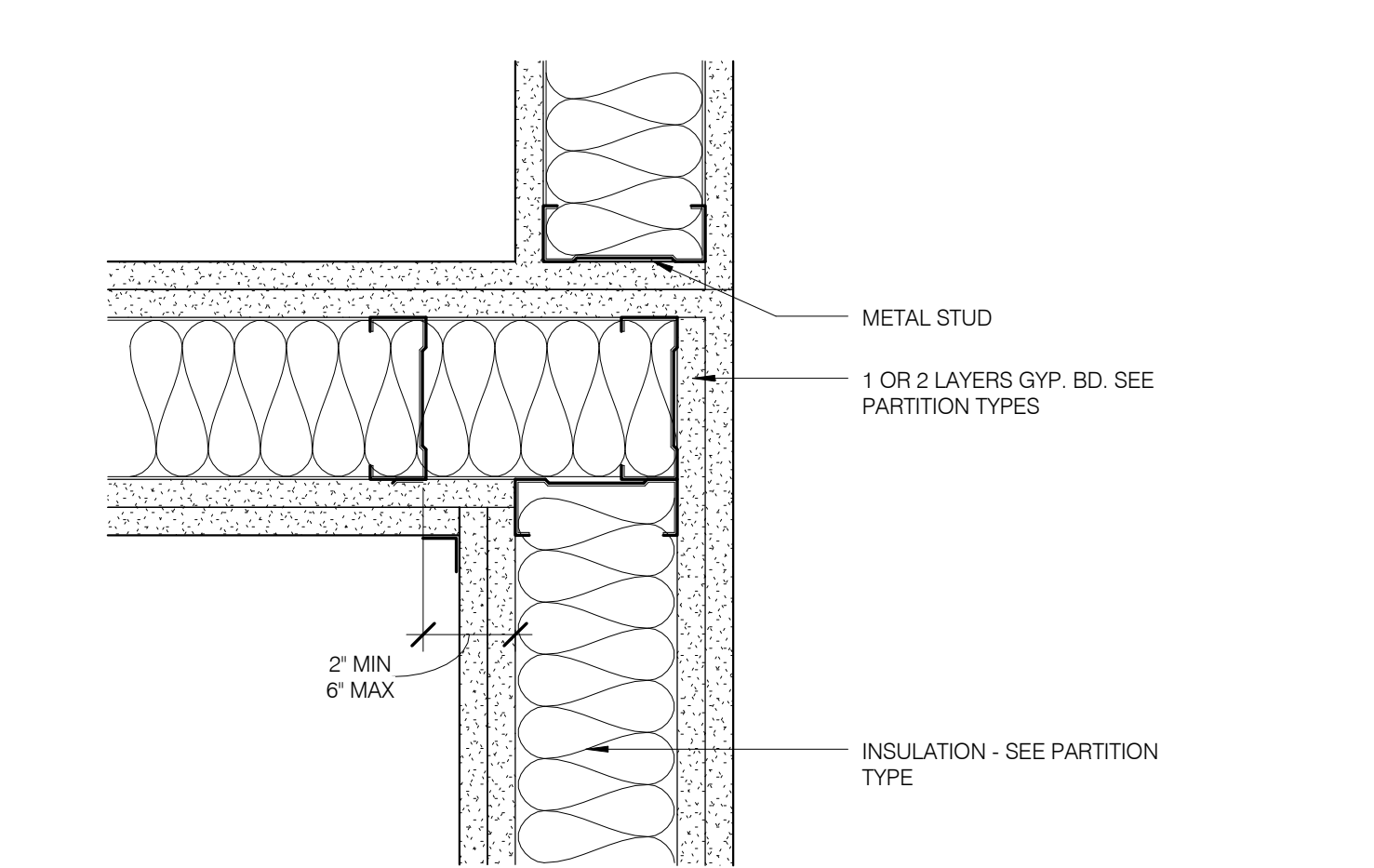
A700/07 DUCT PENETRATION 3' = 1'-0" 7



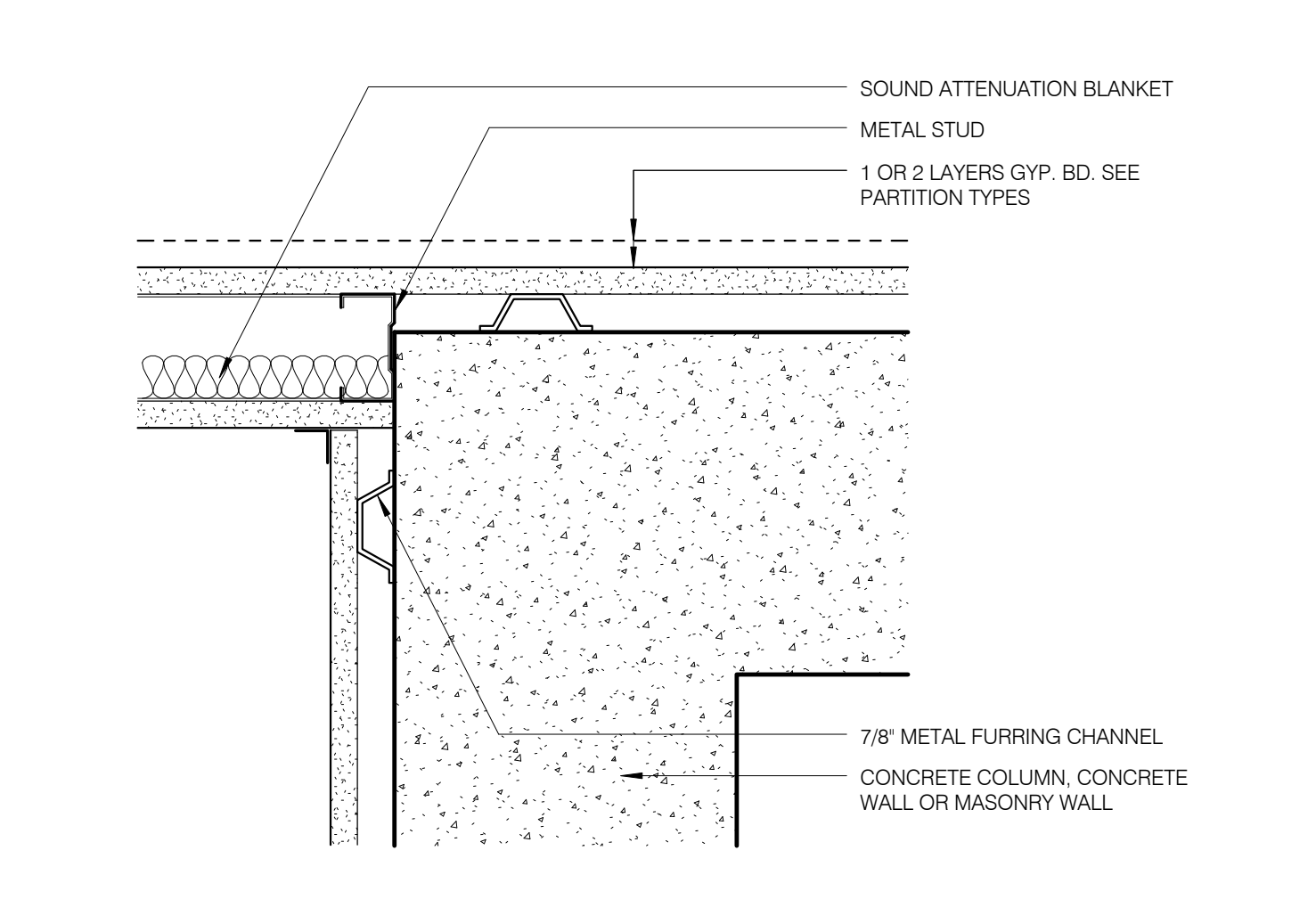
A700/06 PIPE/CONDUIT PENETRATION 3' = 1'-0" 6



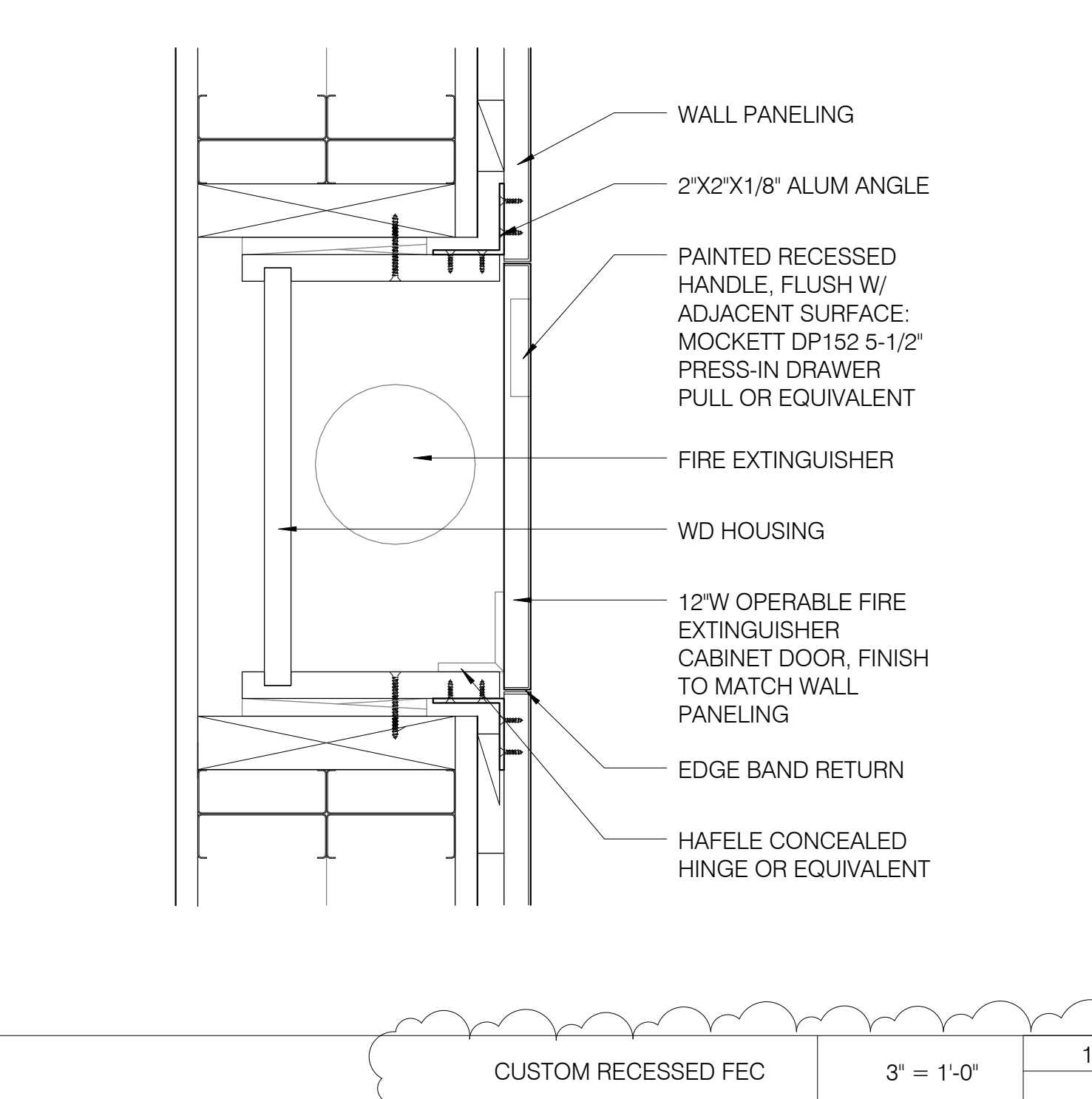
A700/13 GWB CONTROL JOINT 3' = 1'-0" 13



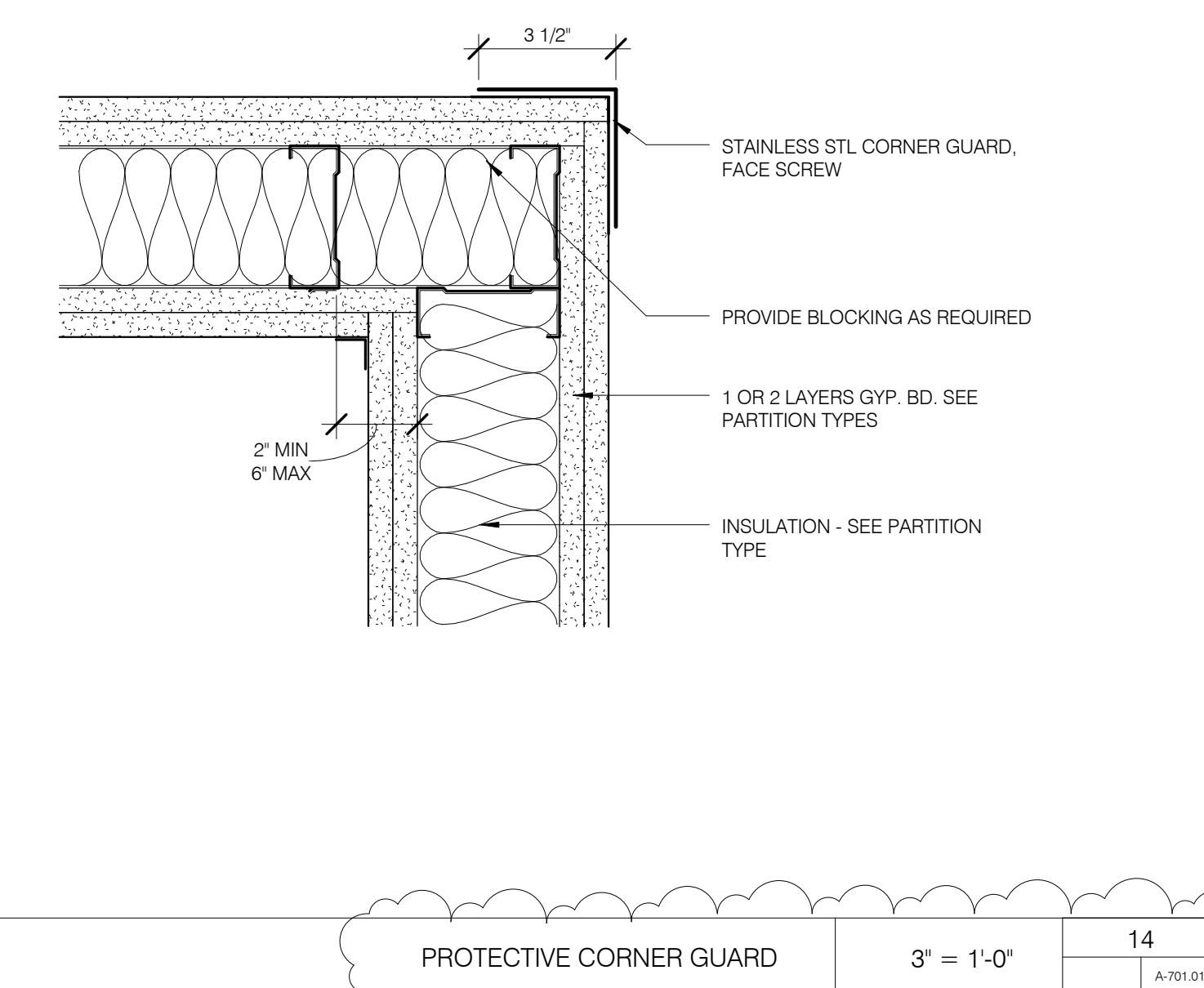
A700/12 INTERSECTION 2HR PARTITION W/ 1HR OR NR ASSEMBLY 3' = 1'-0" 12



A700/11 INTERSECTION @ SHEAR WALL AND INTERIOR PARTITION 3' = 1'-0" 11



CUSTOM RECESSED FEC 3' = 1'-0" 10



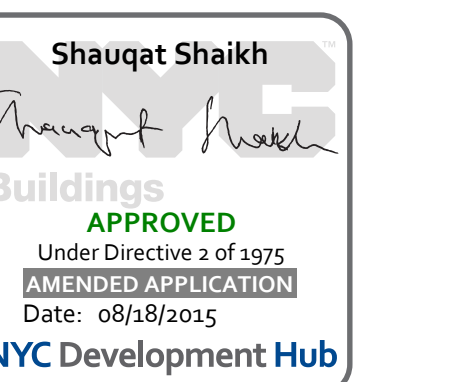
PROTECTIVE CORNER GUARD 3' = 1'-0" 14

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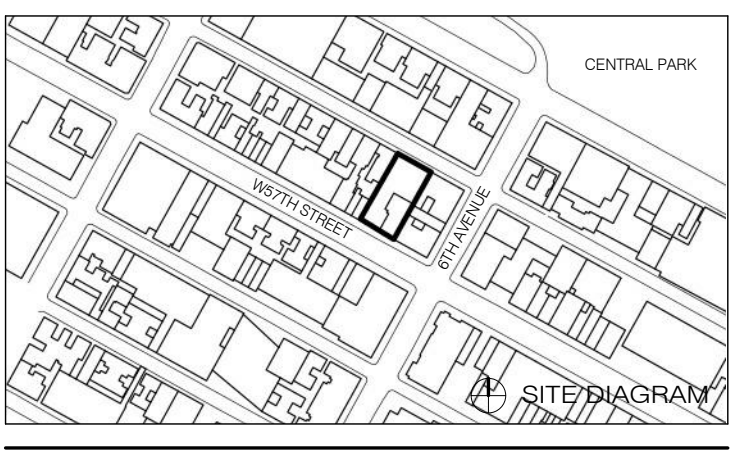


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NEW YORK, NY 10021  
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NO.	DATE	REVISION

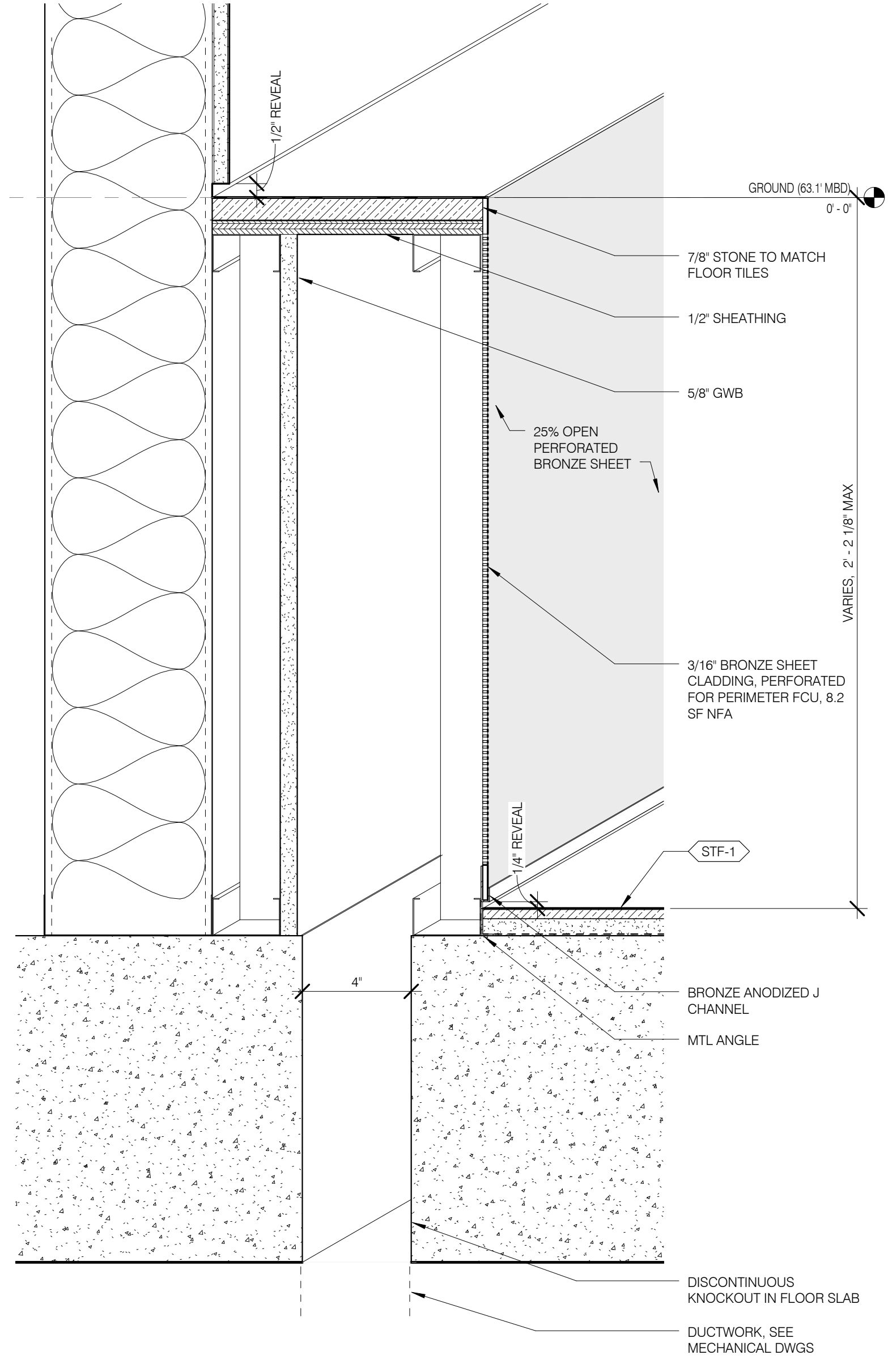
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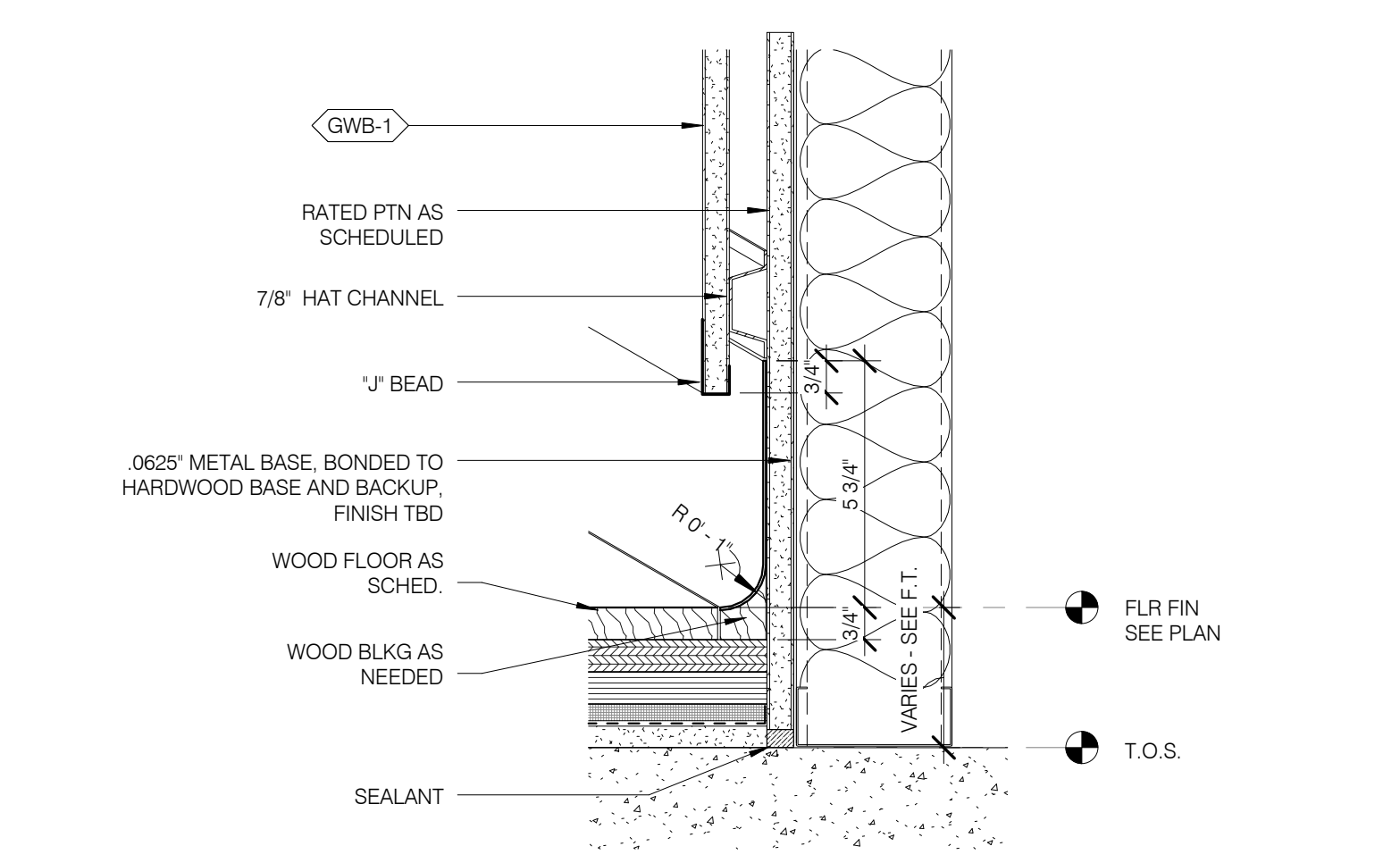
TYPICAL WALL BASES

SEAL & SIGNATURE	DATE	3.27.15
PROJECT NO.	130907	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DATE	12.13.2008	
DRAWING NUMBER		

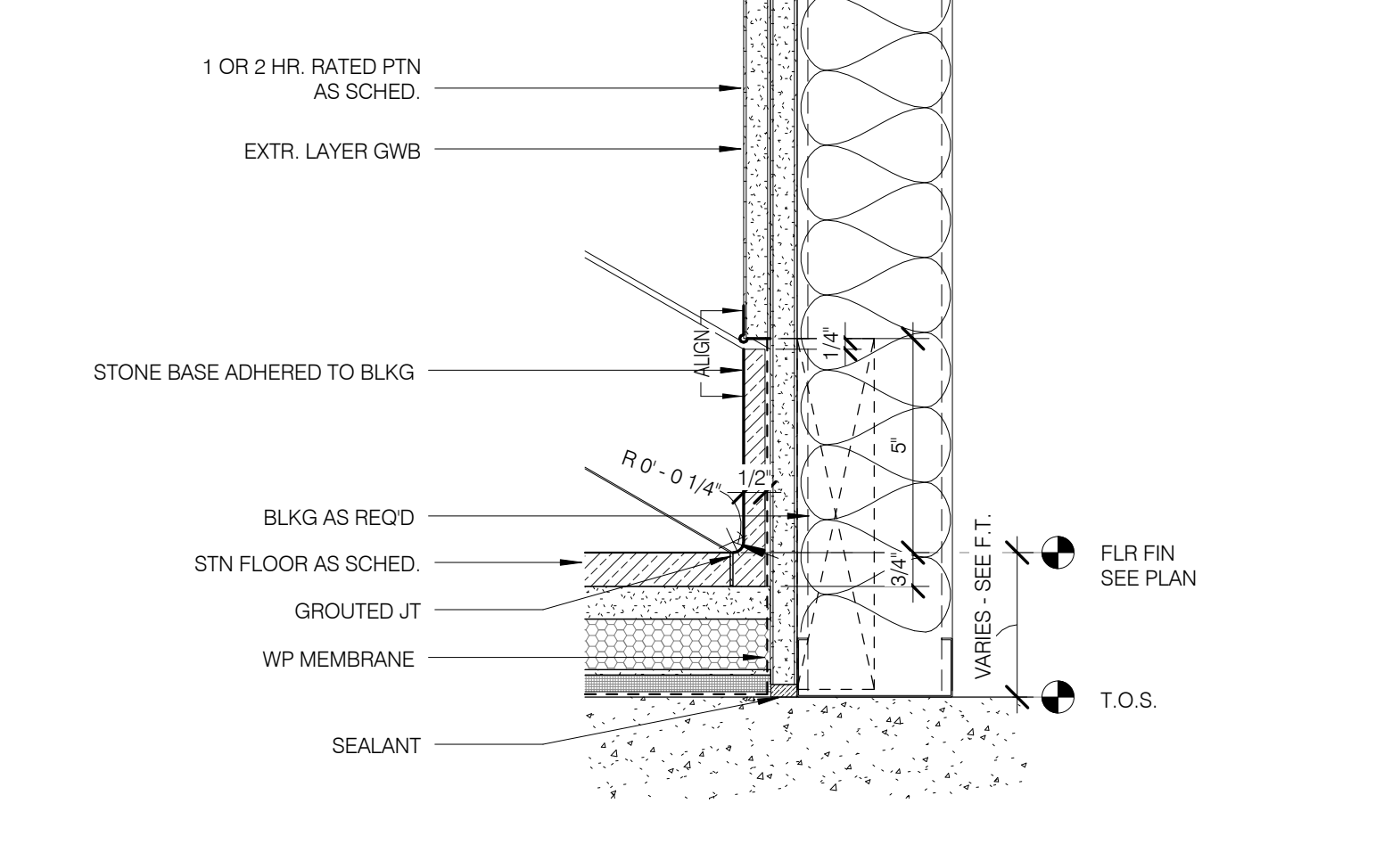
**A-702.01**



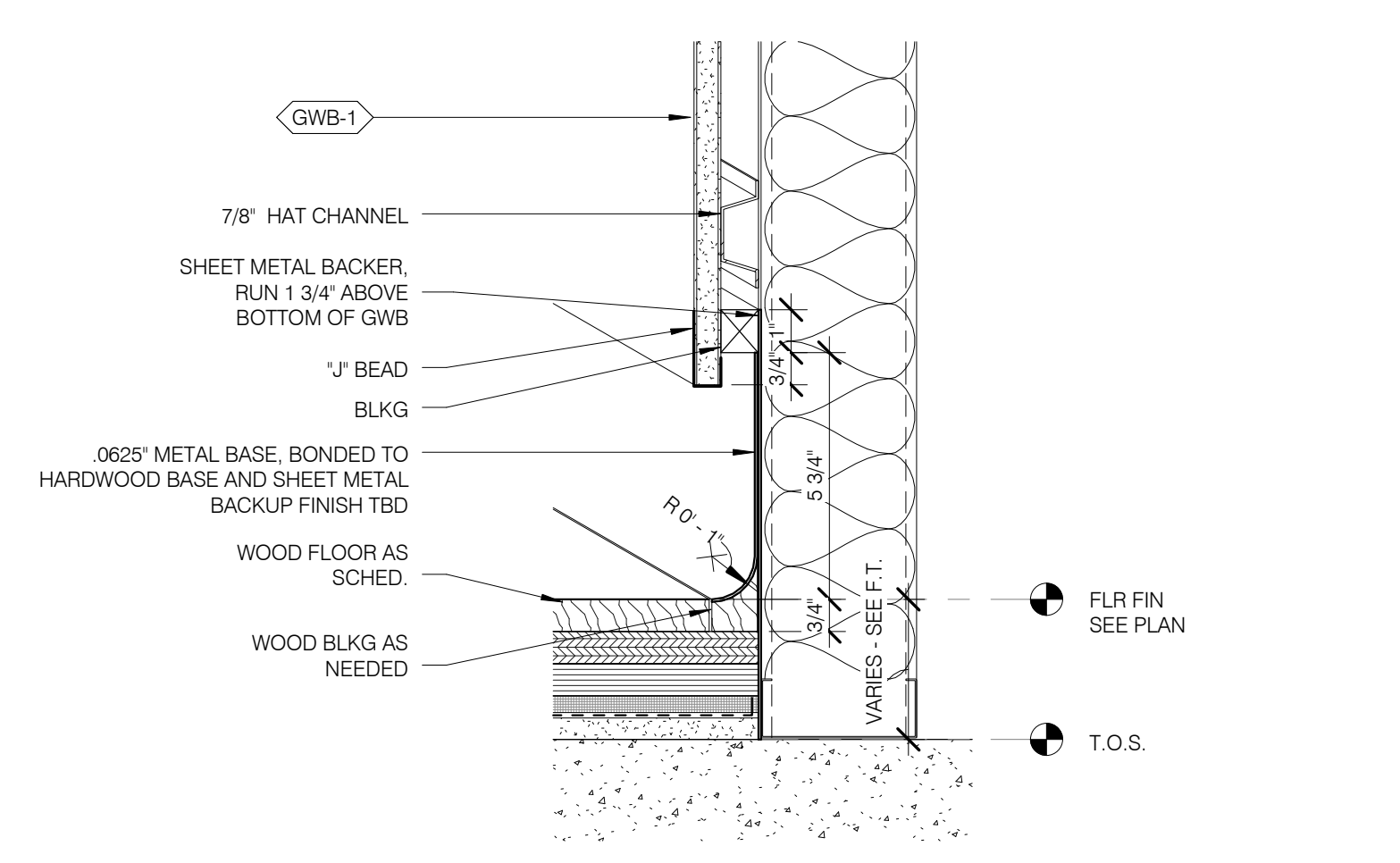
0121 E RETAIL ATRIUM EAST WALL BASE DETAIL 3" = 1'-0" 11



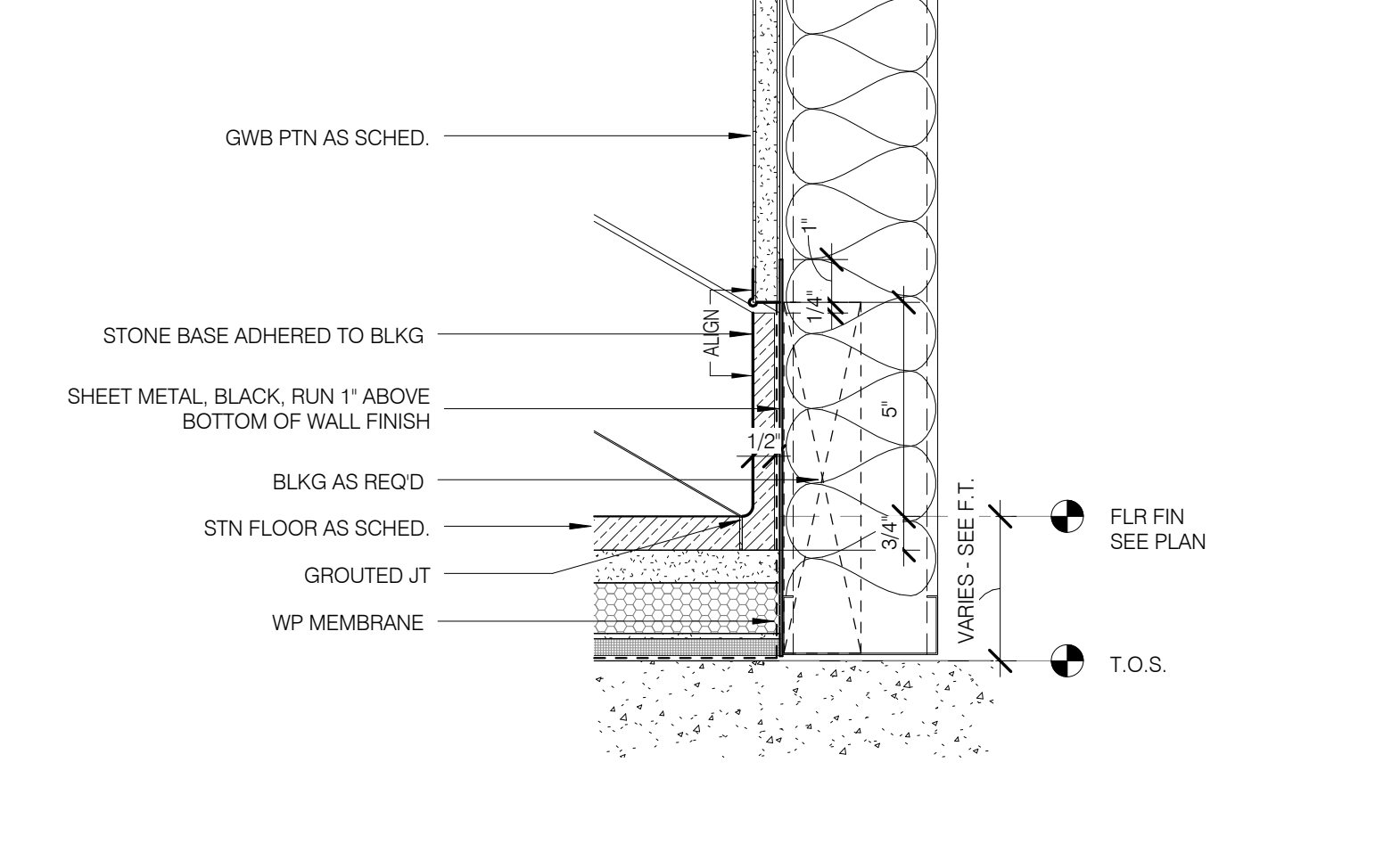
MB-2 - RECESSED MTL BASE @ RATED PARTITION 3" = 1'-0" 8



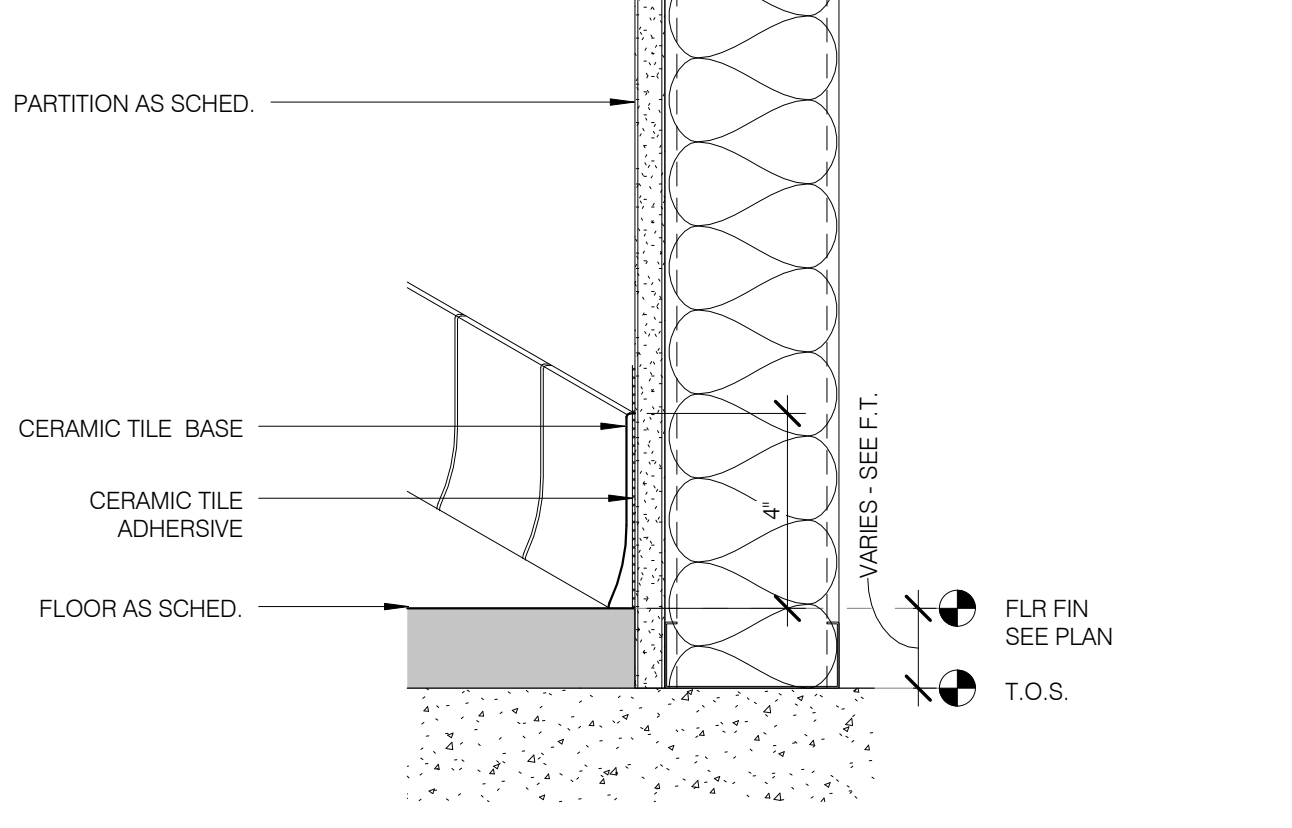
SB-2 - FLUSH STONE BASE @ RATED PARTITION 3" = 1'-0" 4



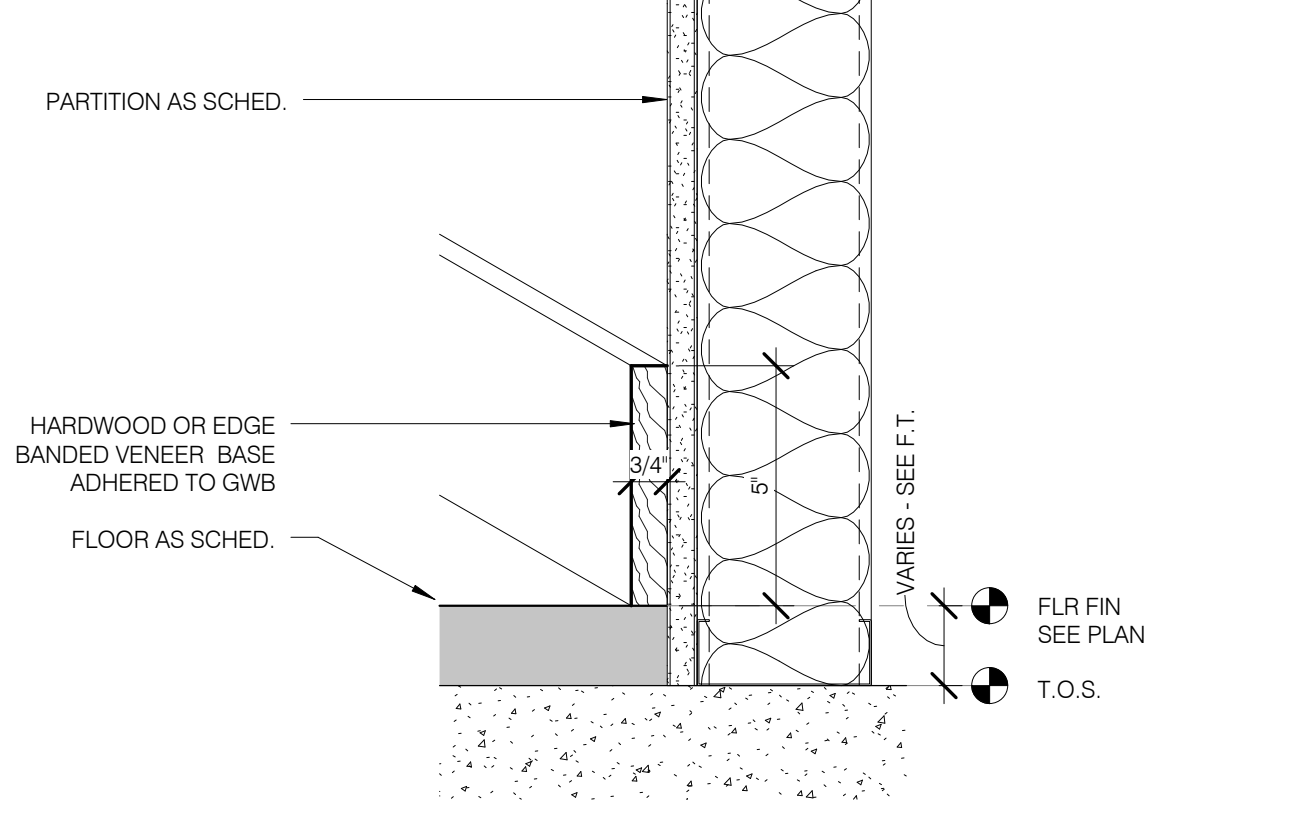
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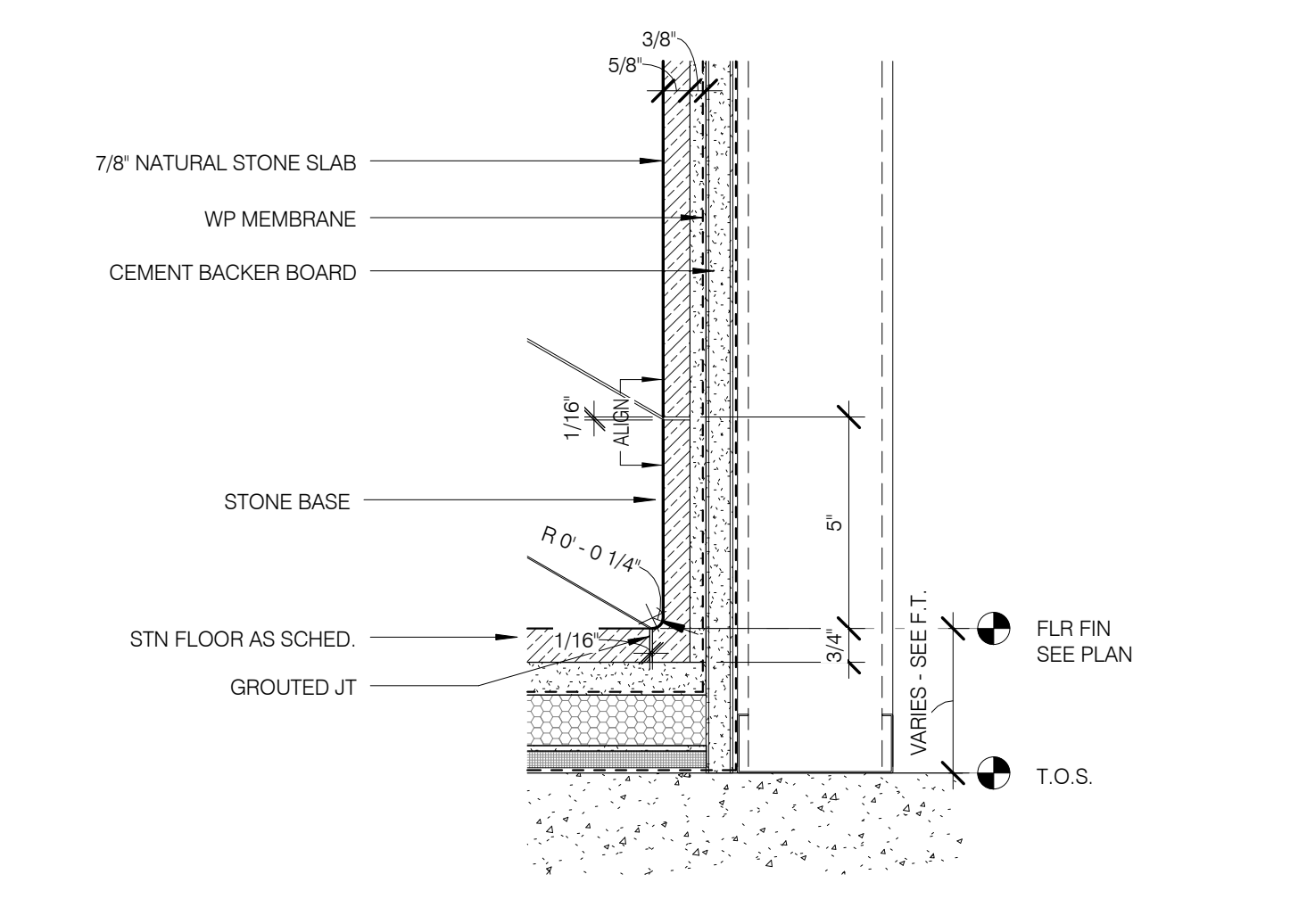
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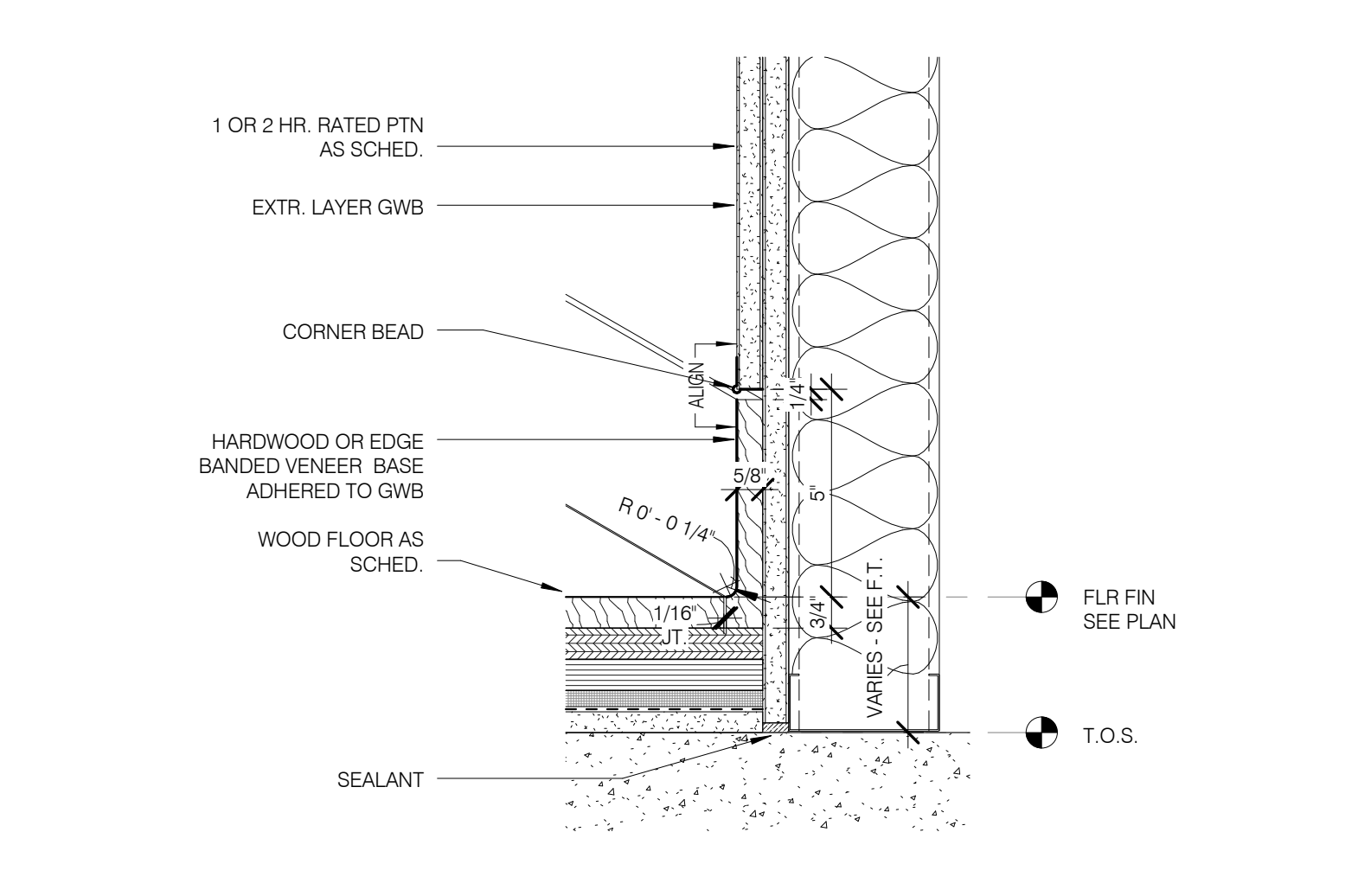
CTB-1 - CERAMIC TILE BASE 3" = 1'-0" 13



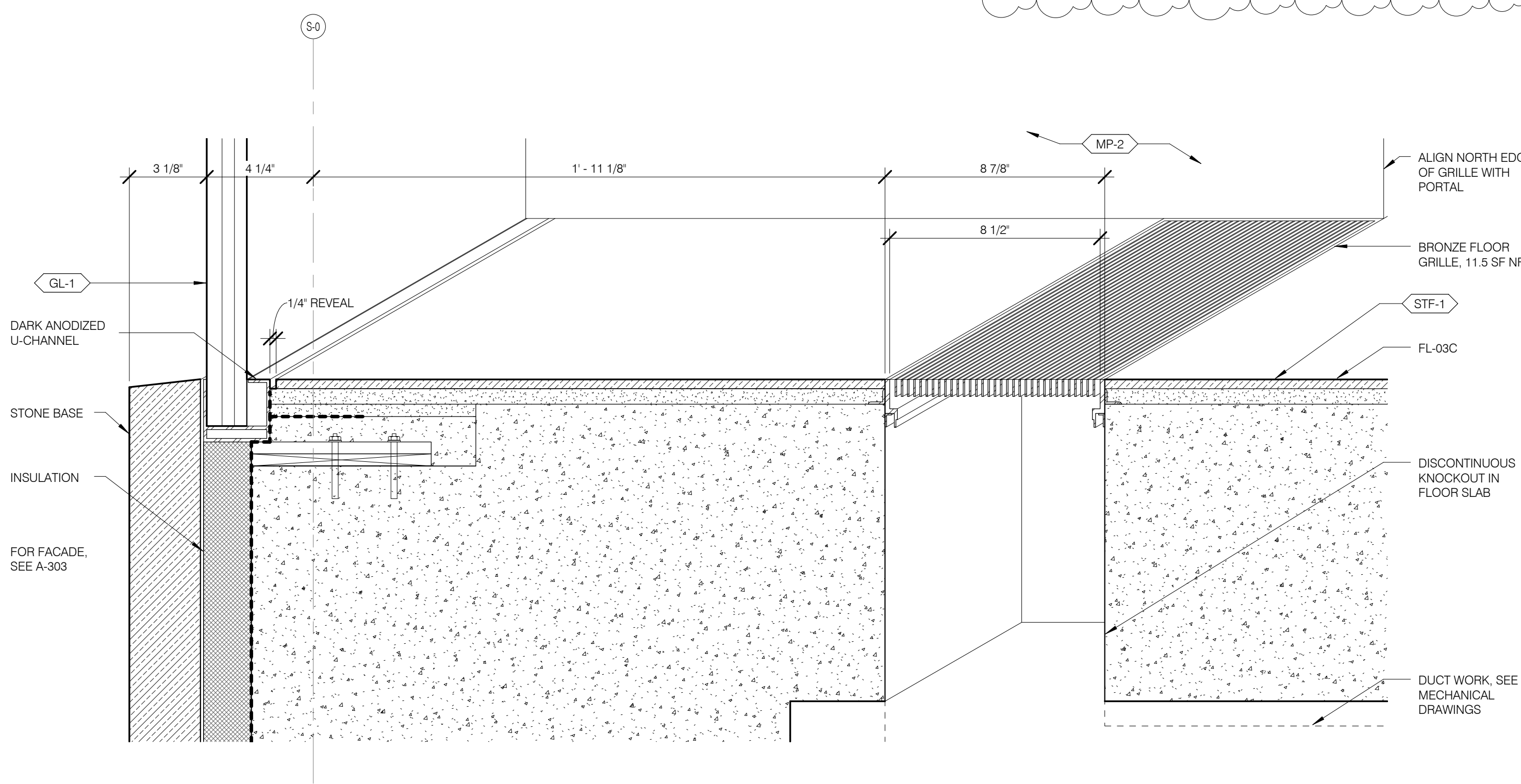
WB-3 - WOOD BASE 3" = 1'-0" 10



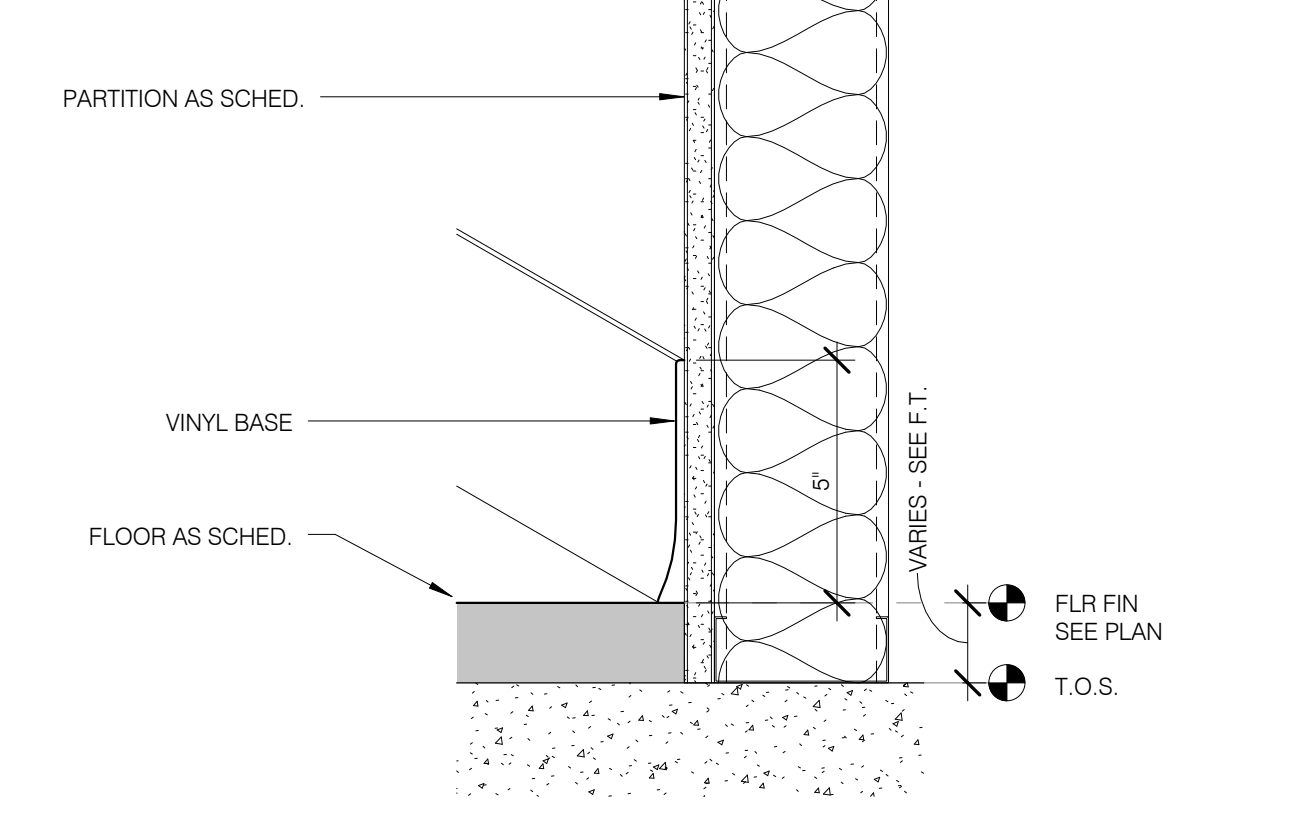
SB-4 - FLUSH STONE BASE @ STONE TILE WALL 3" = 1'-0" 6



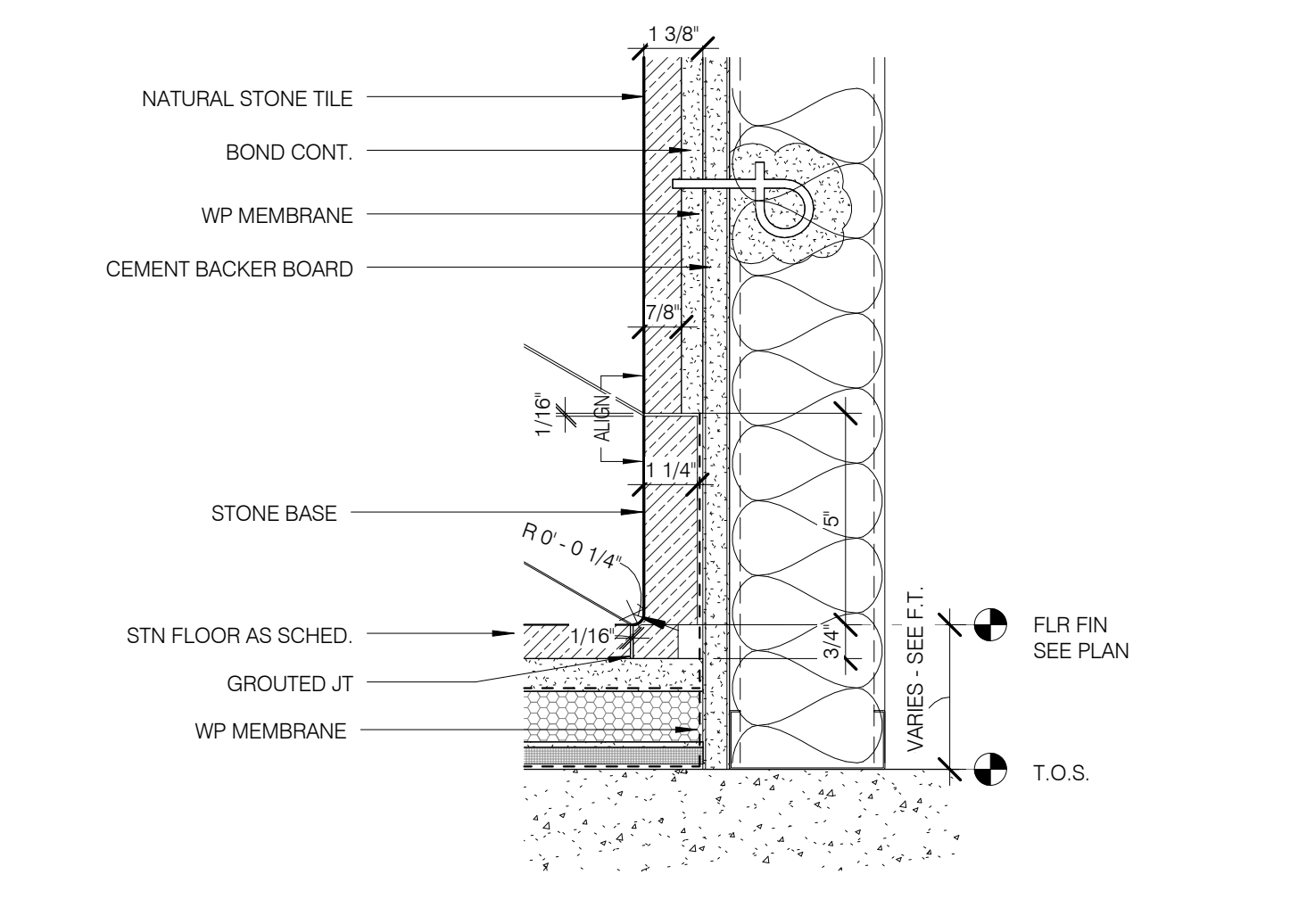
WB-2 - FLUSH WOOD BASE @ RATED PARTITION 3" = 1'-0" 2



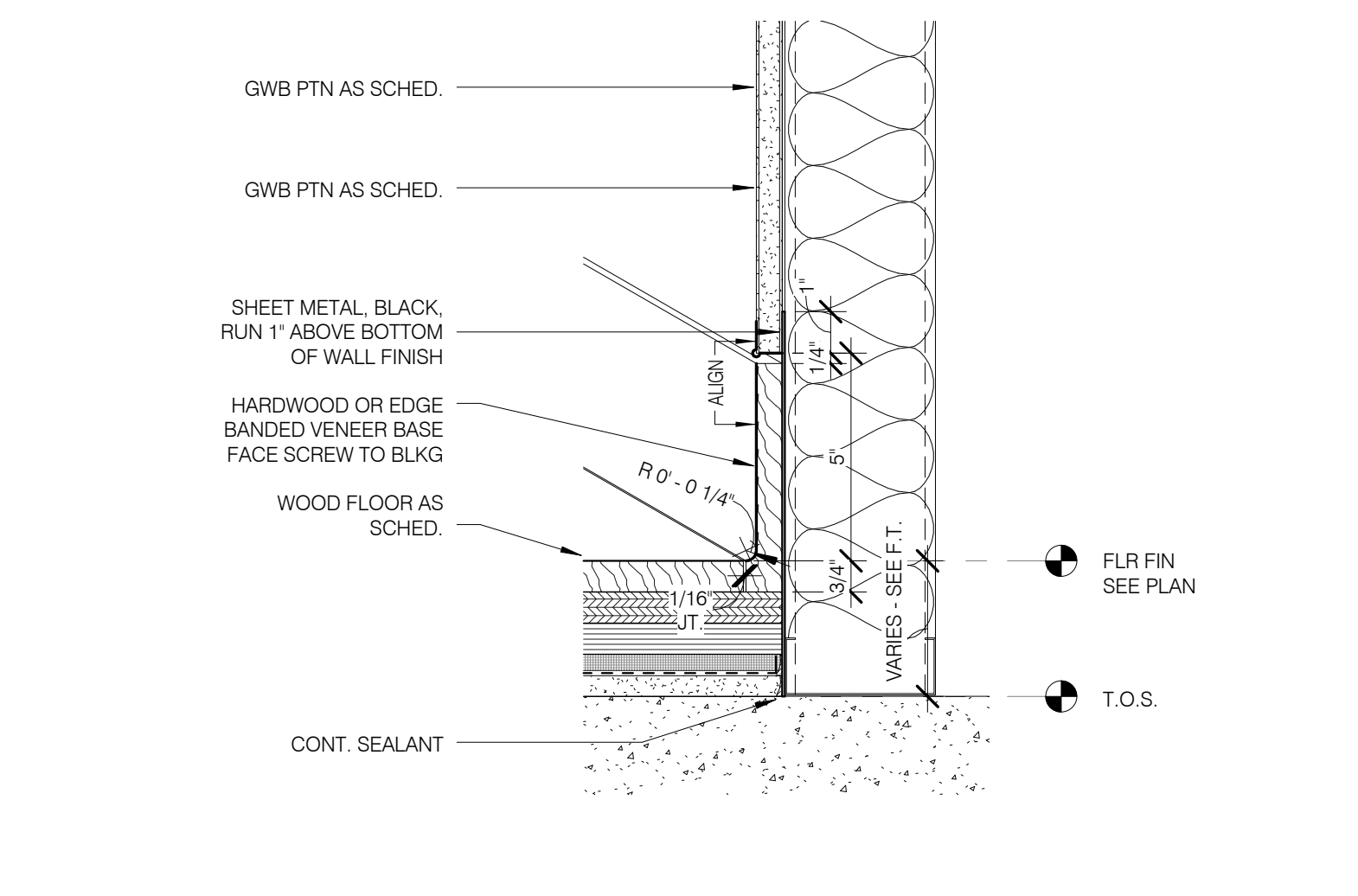
BRONZE FLOOR GRILL @ RETAIL ATRIUM FAÇADE 3" = 1'-0" 12



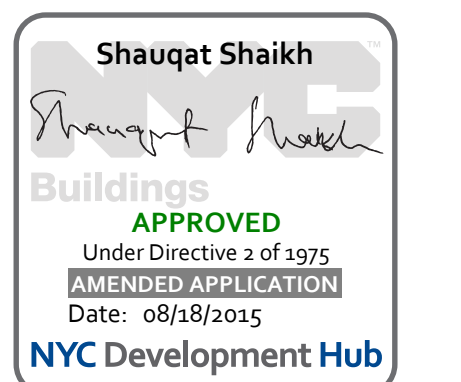
VB-1 - VINYL BASE 3" = 1'-0" 9



SB-3 - FLUSH STONE BASE @ STONE SLAB WALL 3" = 1'-0" 5



WB-1 - FLUSH WOOD BASE @ NON-RATED PARTITION 3" = 1'-0" 1



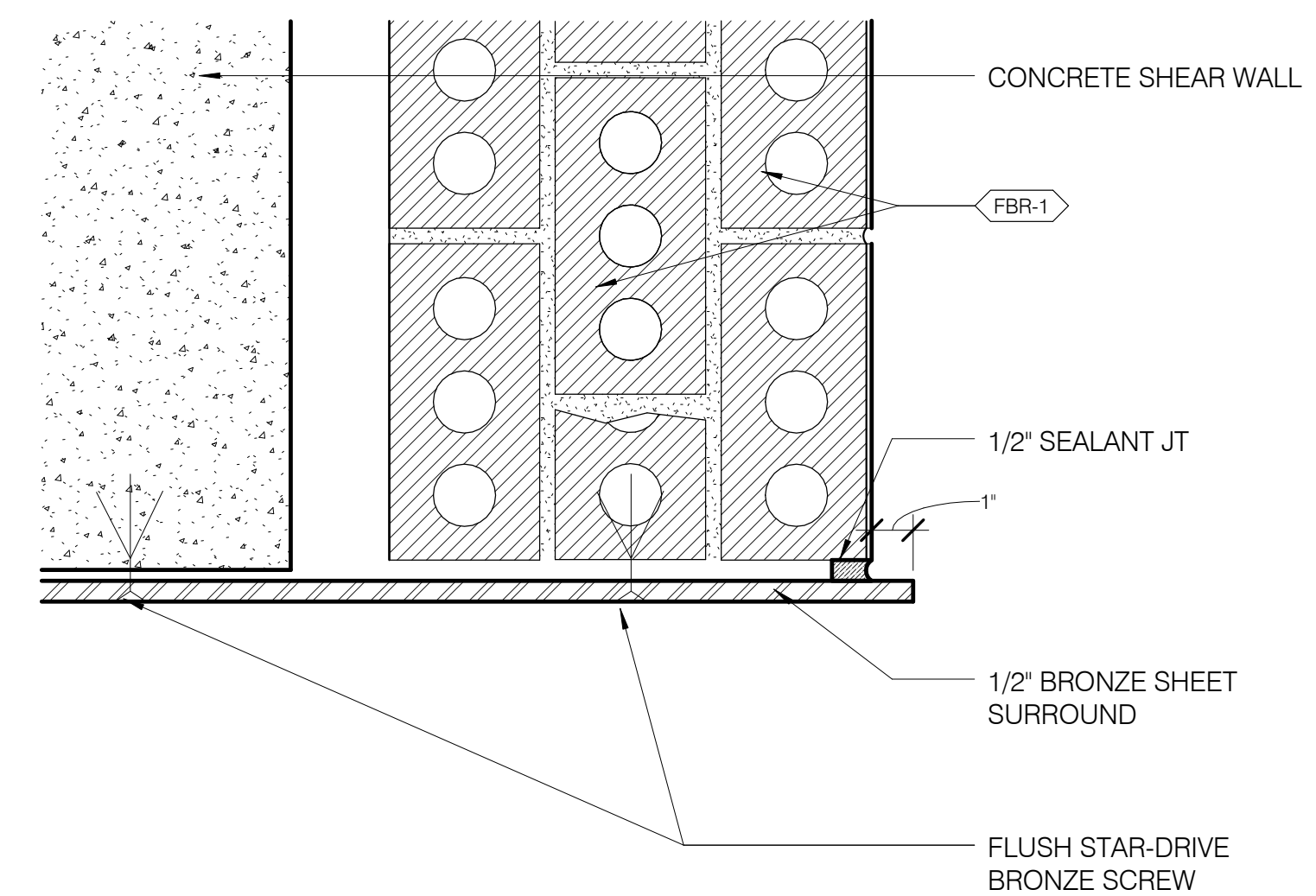
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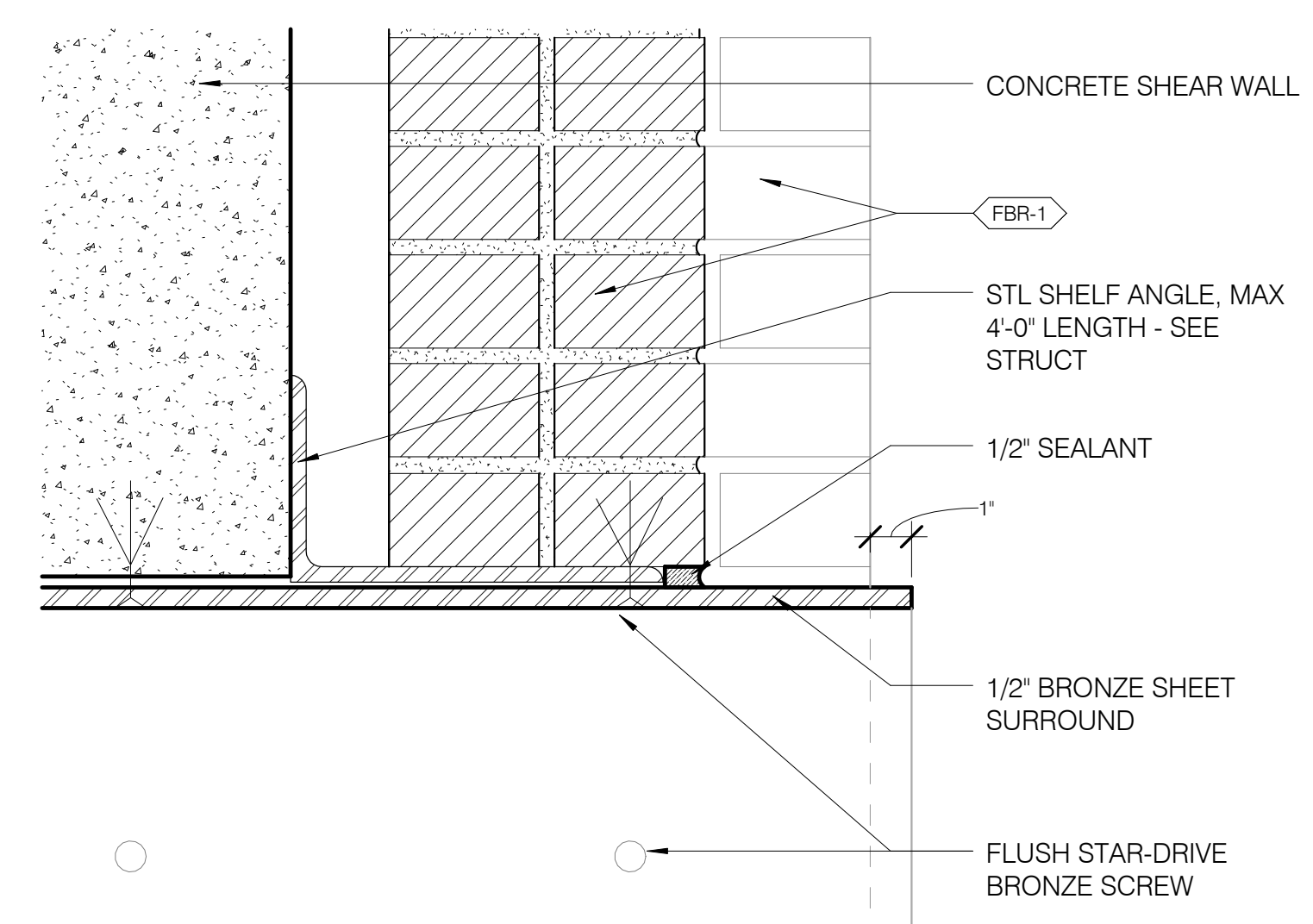
NO.	DATE	REVISION
1	3.27.15	DOB PAA

DRAWING TITLE  
**WALL DETAILS - RESTORED BRICK COURTYARD WALL**

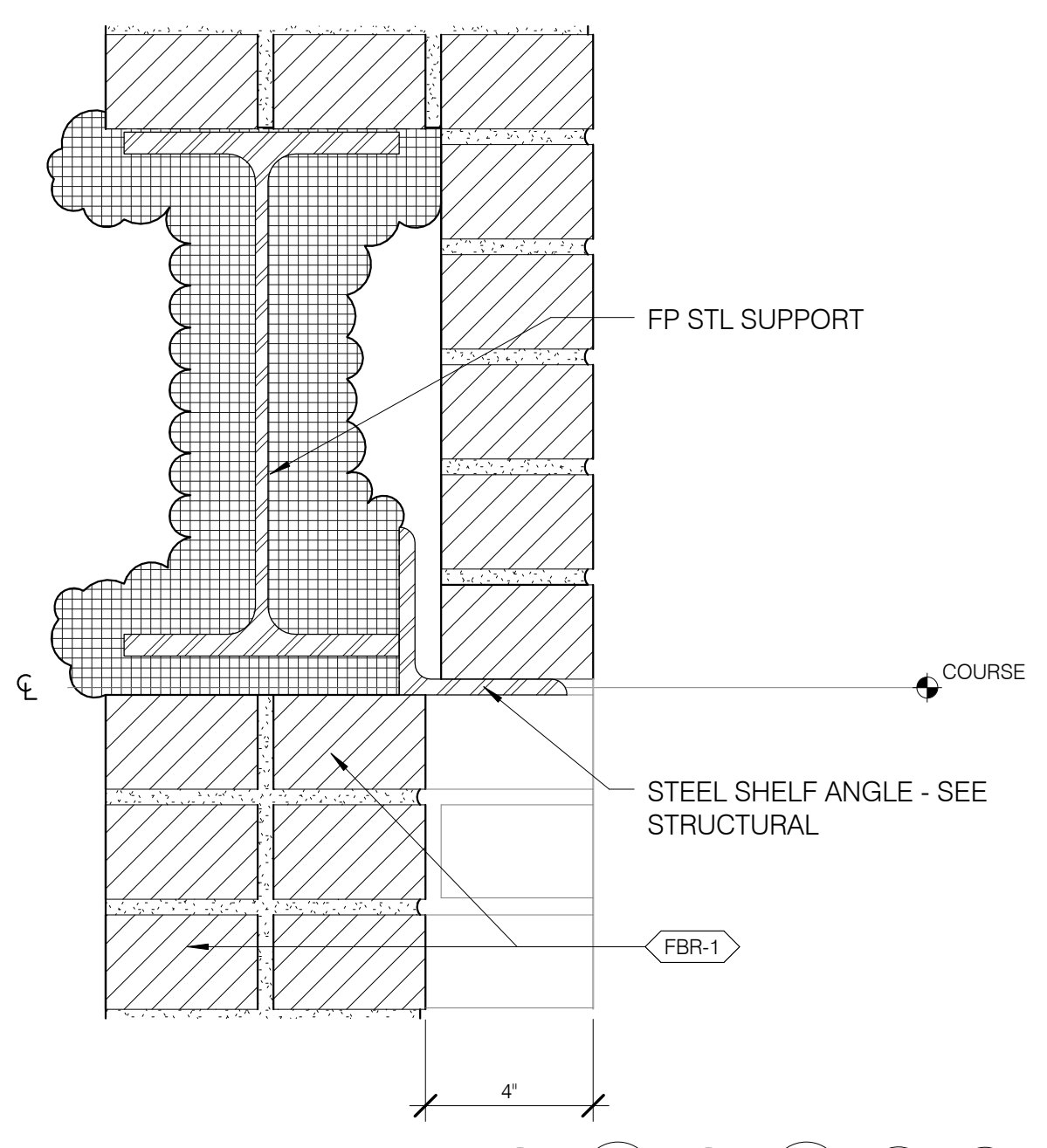
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PROJECT NO.	130907	
DRAWN BY	SHAP	
CHECKED BY	SHAP	
DATE	12/13/2008	
DRAWING NUMBER	A-705.01	



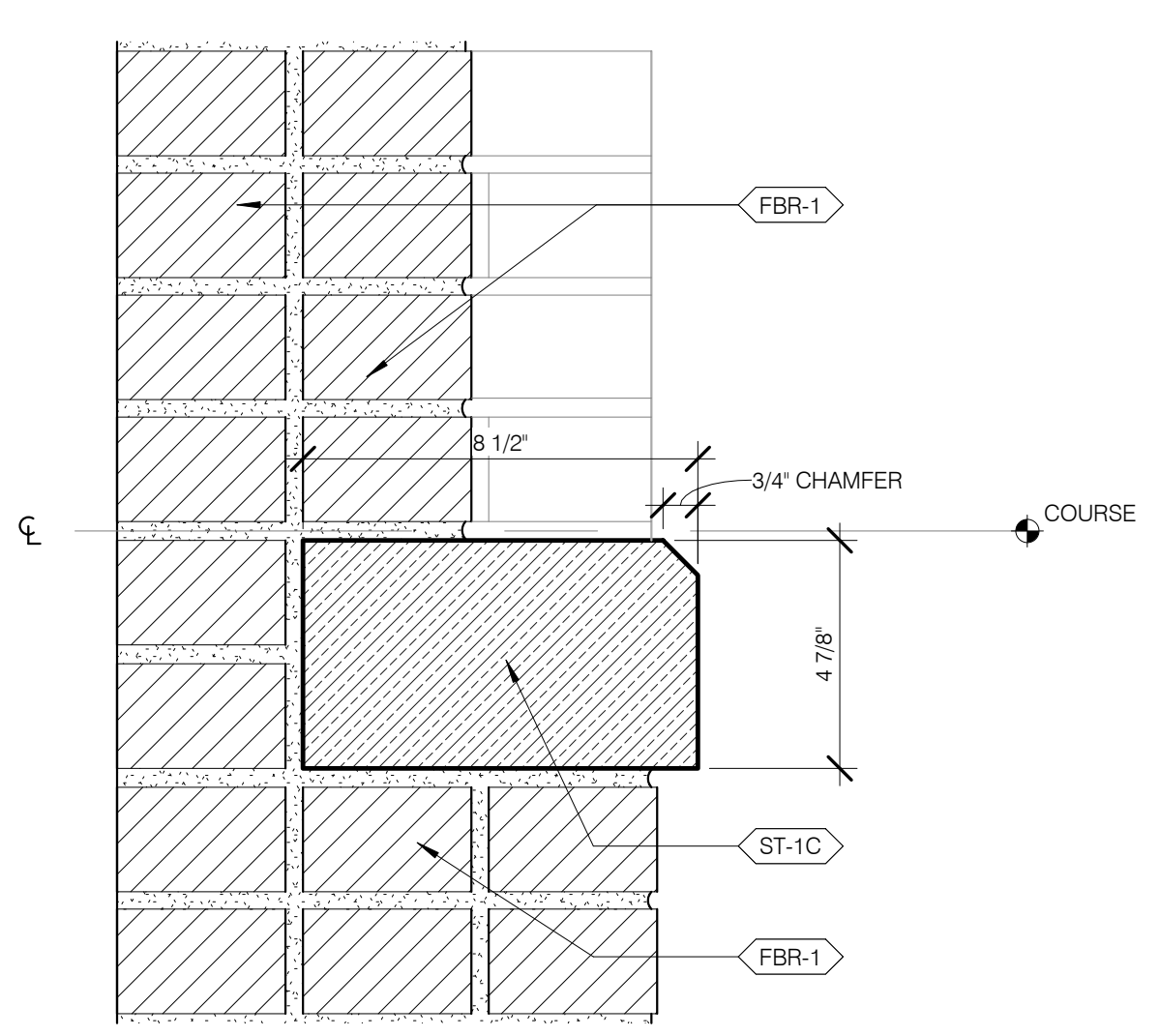
JAMB PLAN DETAIL @ PUNCHED OPENING 3' = 1'-0" 6 A-705.01 A-705.01



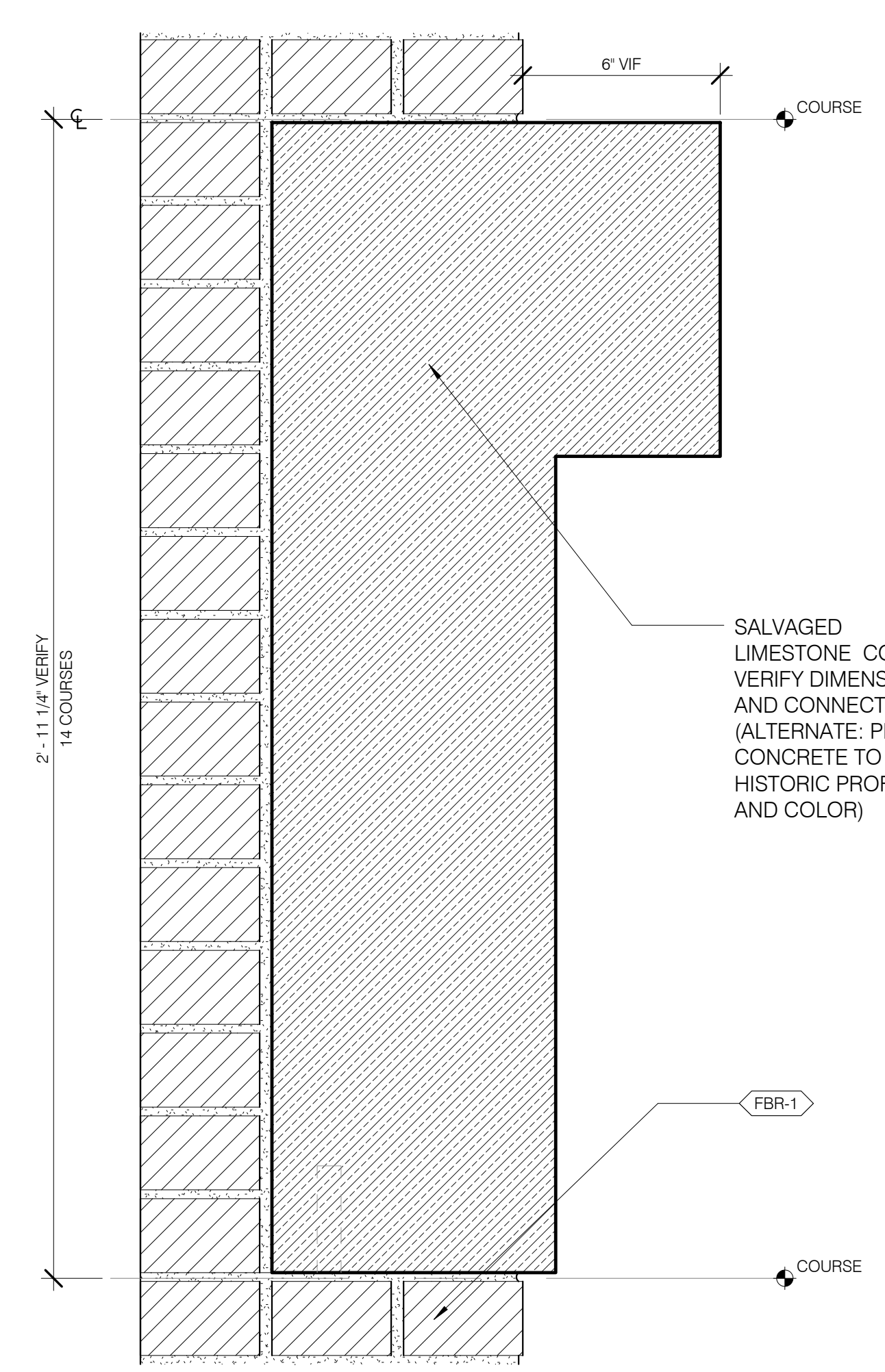
HEAD SECTION @ PUNCHED OPENING 3' = 1'-0" 5 A-705.01 A-705.01



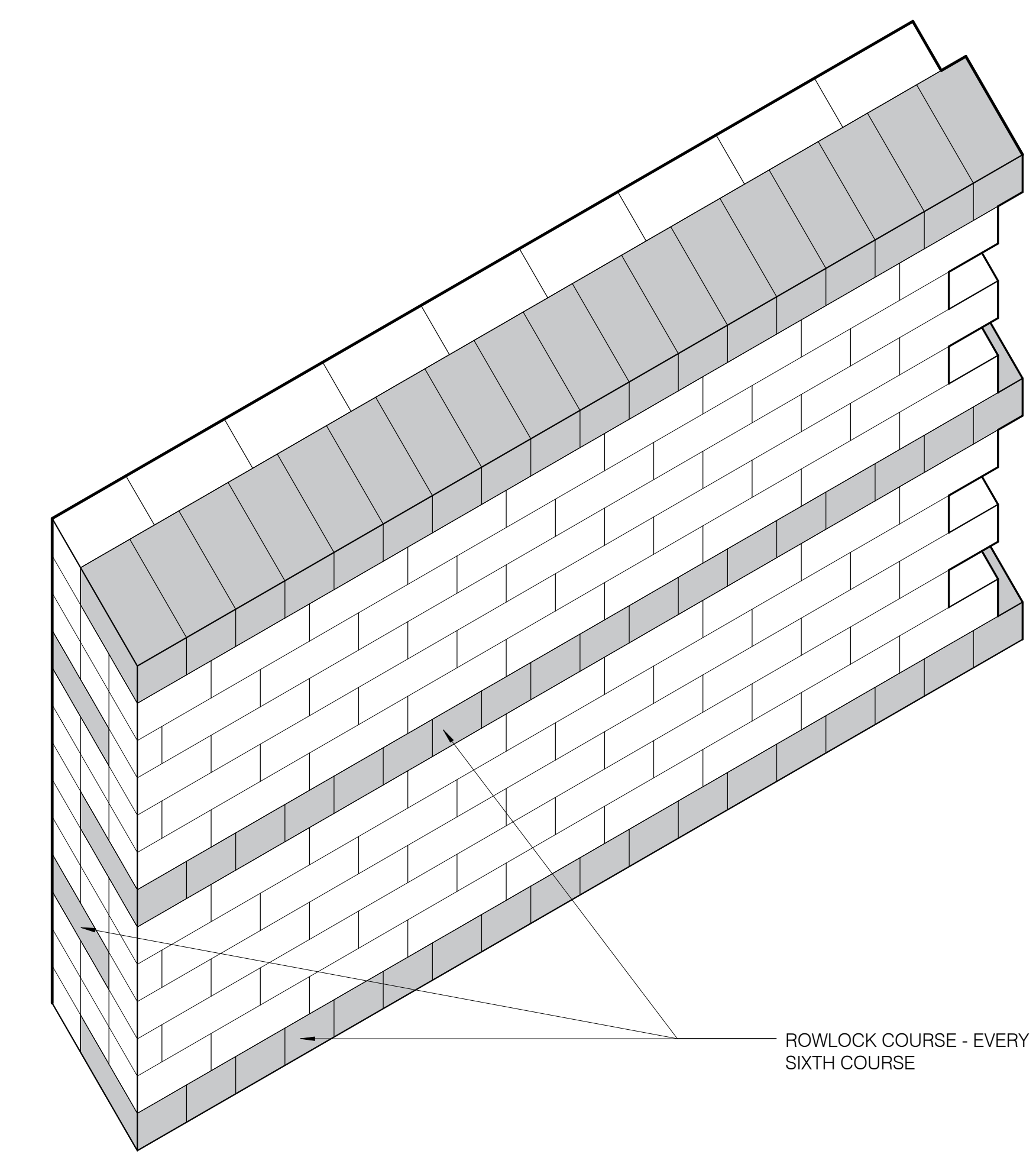
HEAD SECTION @ BLIND WINDOW RECESS 3' = 1'-0" 4 A-705.01 A-705.01



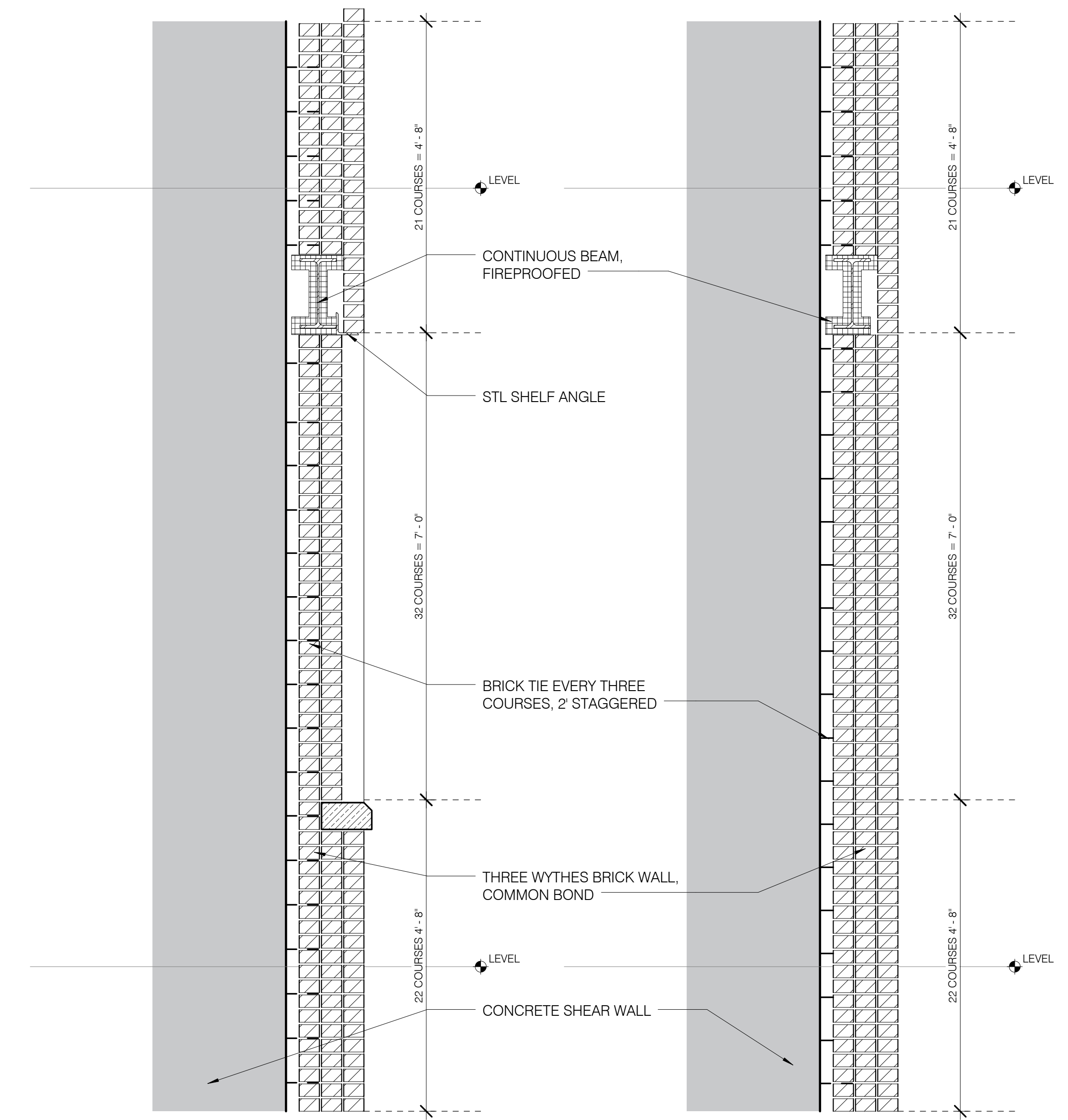
BASE SECTION @ BLIND WINDOW RECESS 3' = 1'-0" 3 A-705.01 A-705.01



STONE COURSE @ RESTORED BRICK WALL 3' = 1'-0" 7 A-705.01 A-705.01



BONDING DIAGRAM @ RESTORED BRICK WALL 1 1/2\"/>



SECTION OPTION 2 - TYP BLIND RECESS

SECTION OPTION 2 - SUPPORT MEMBER + ANGLE

SHEAR WALL CONNECTION @ RESTORED BRICK WALL 3/4\"/>

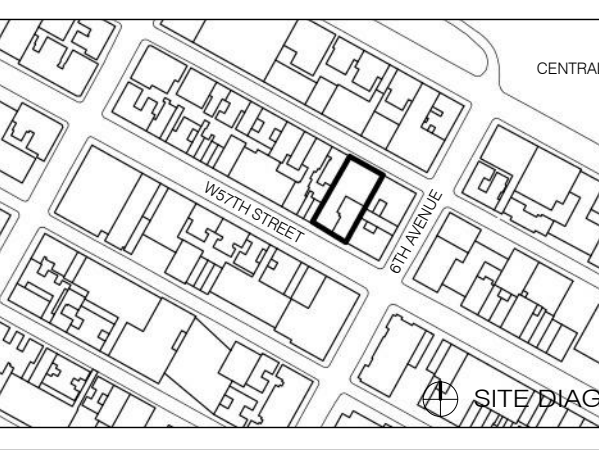
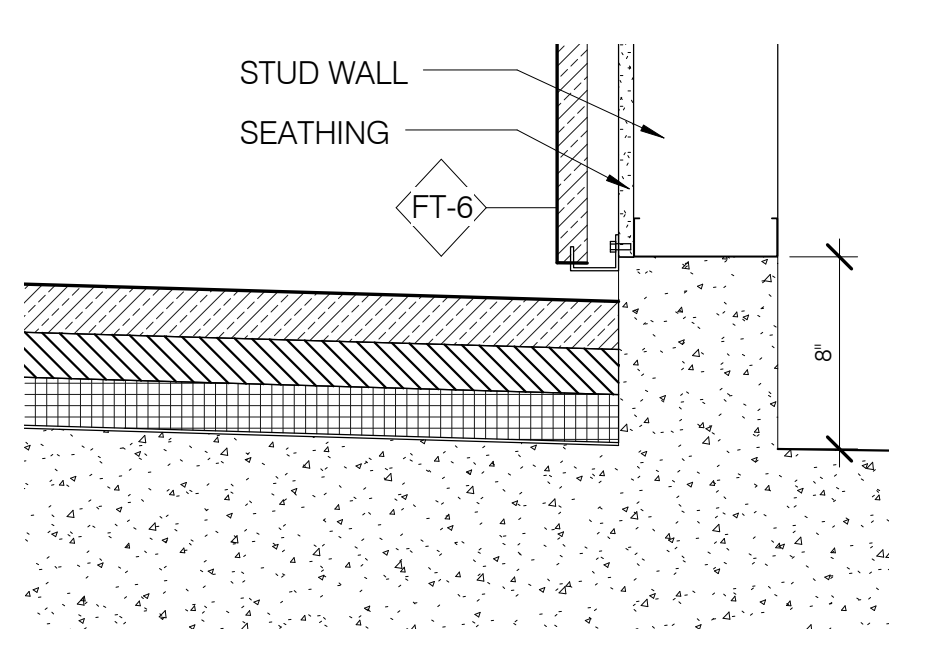


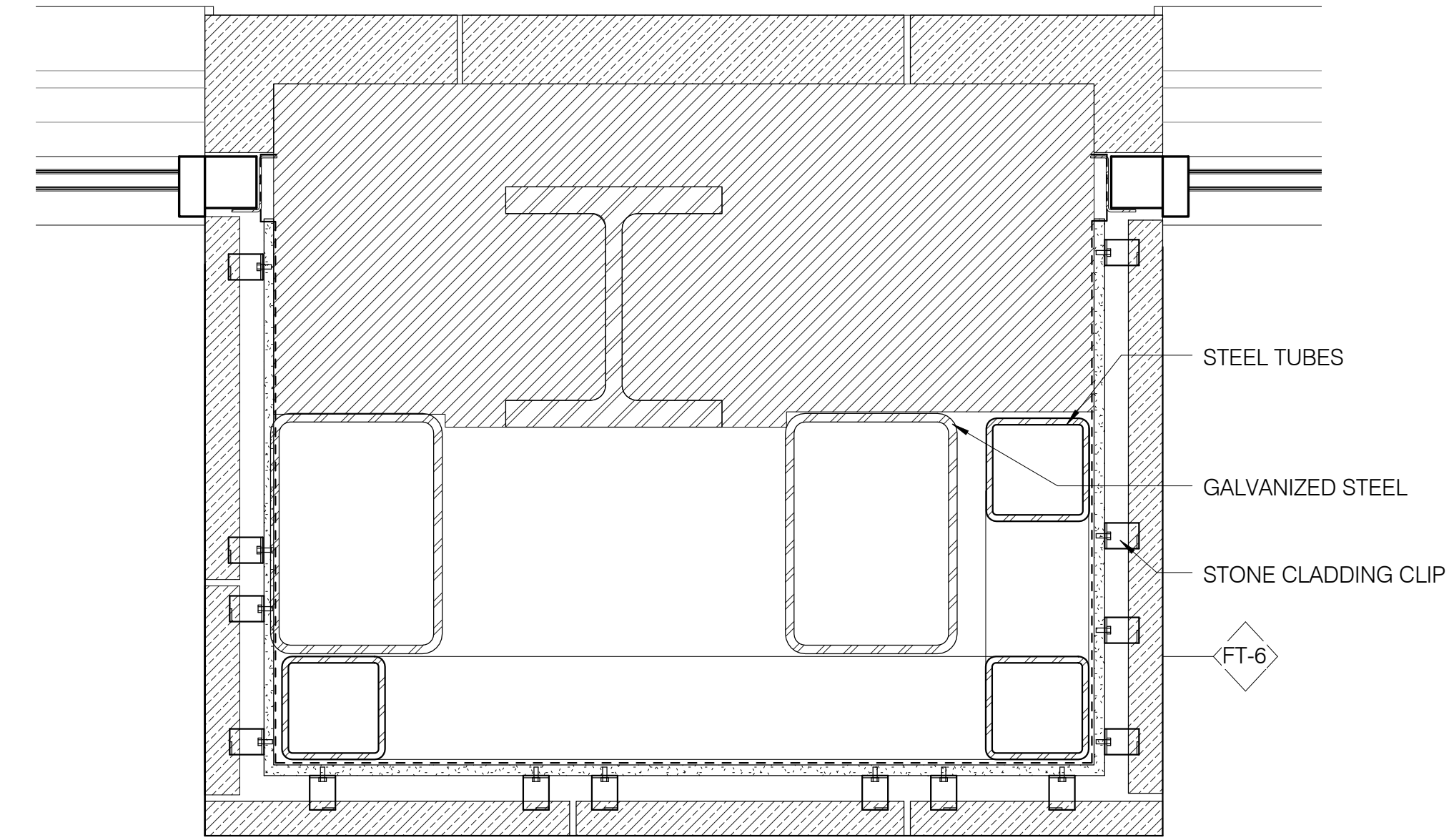
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DRAWING TITLE: PORTE COCHERE - WALL DETAILS

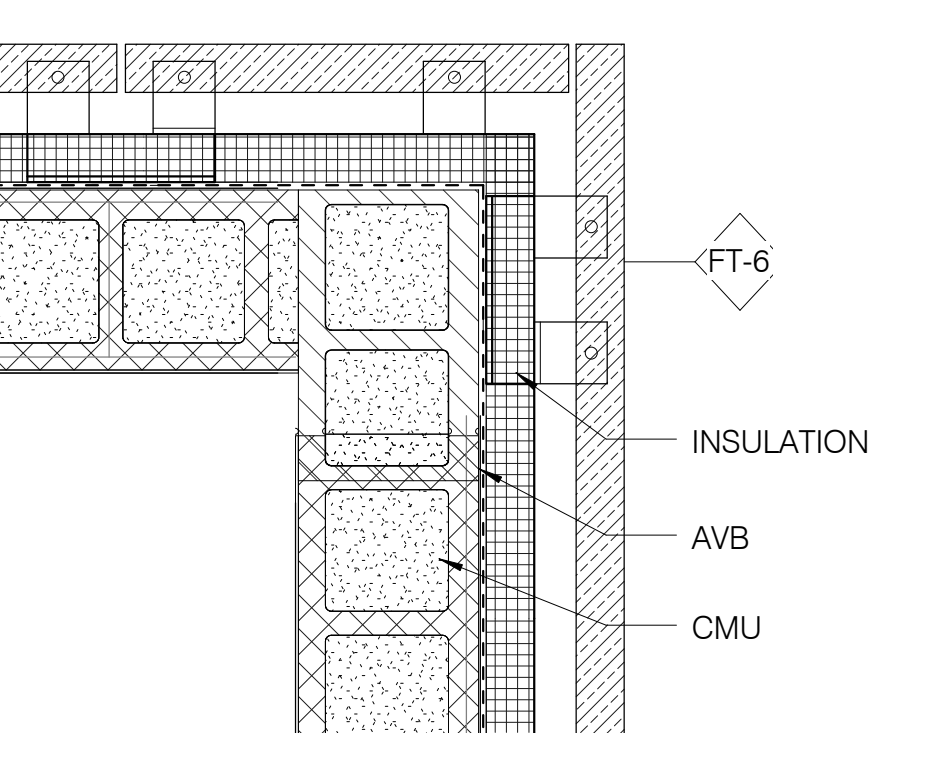
SEAL & SIGNATURE: [Professional Seal] DATE: 3/27/15  
PROJECT NO.: 130607  
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JOB NO.: 12133266  
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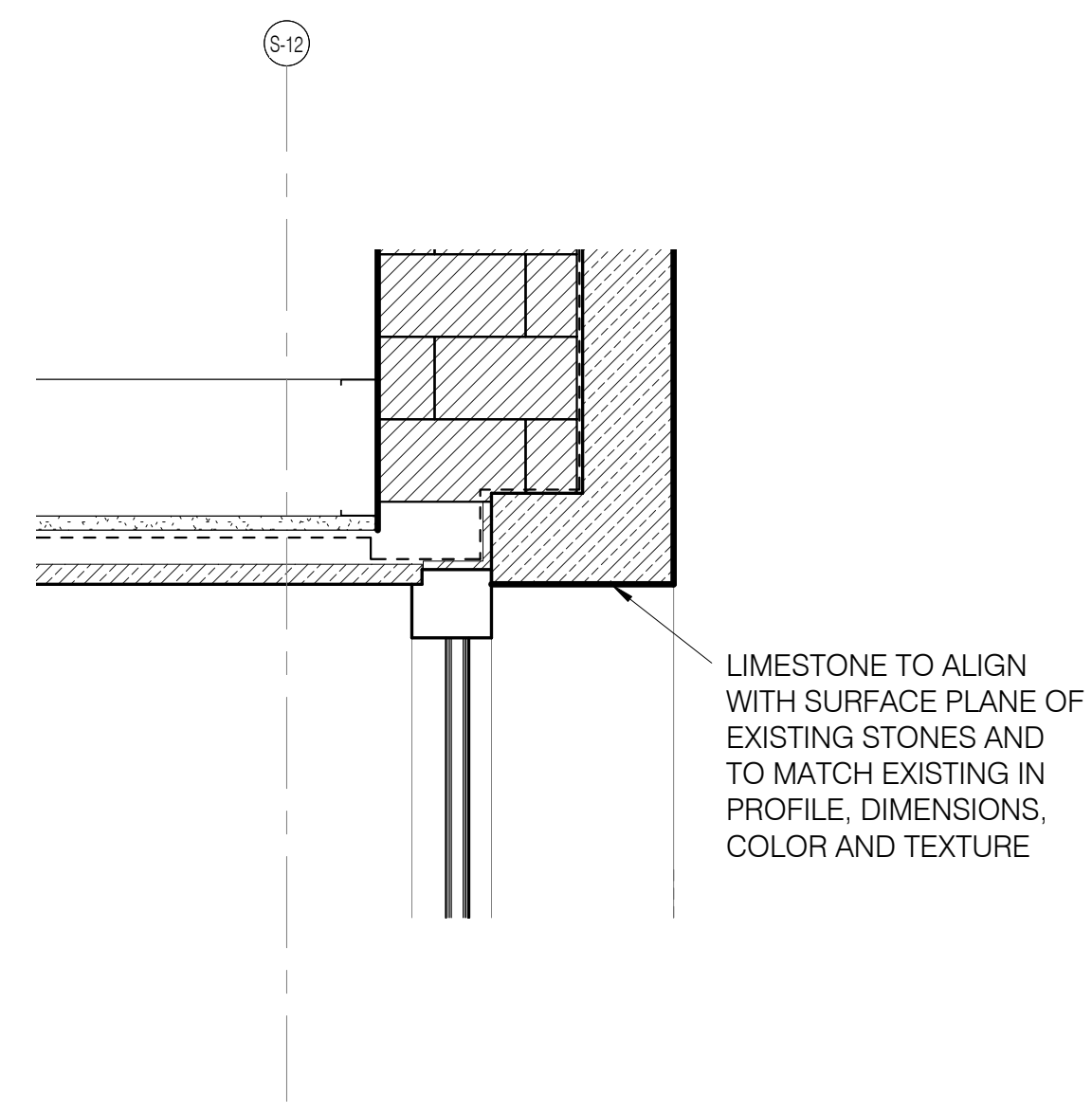
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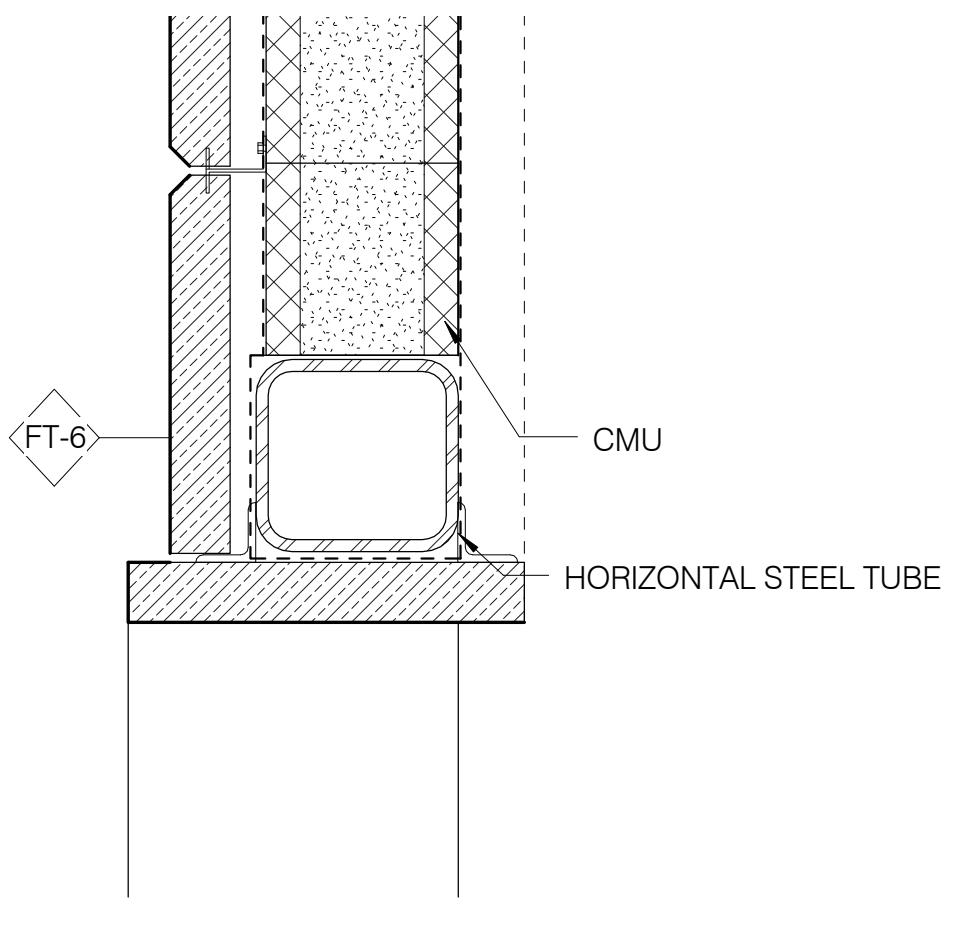
PORTE COCHERE COMPOSITE WALL 1 1/2" = 1'-0" 15 A-706.01



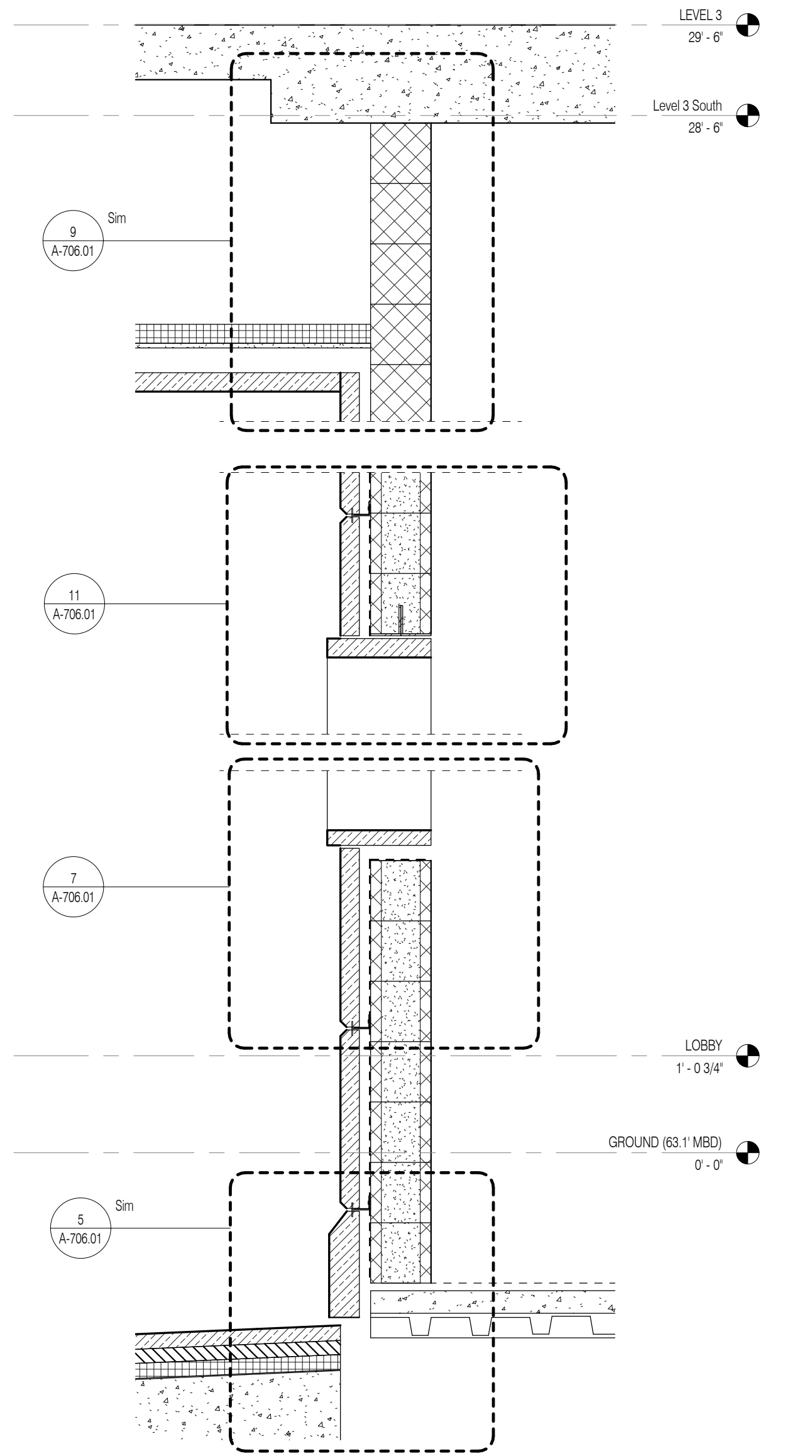
PORTE COCHERE ENTRY JAMB DETAIL 1 1/2" = 1'-0" 13 A-706.01



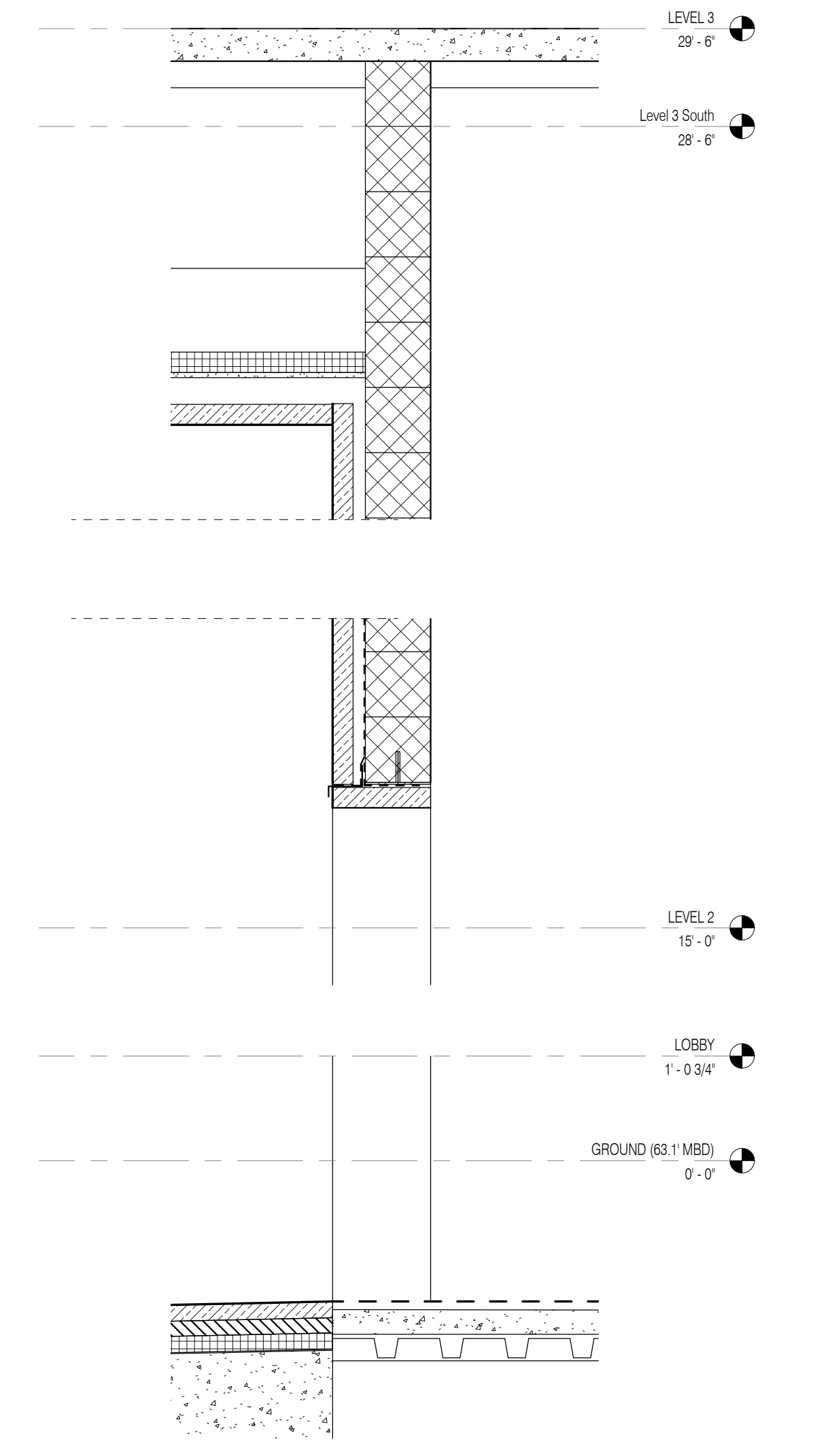
PORTE COCHERE WINDOW HEAD 1 1/2" = 1'-0" 12 A-706.01 A-706.01



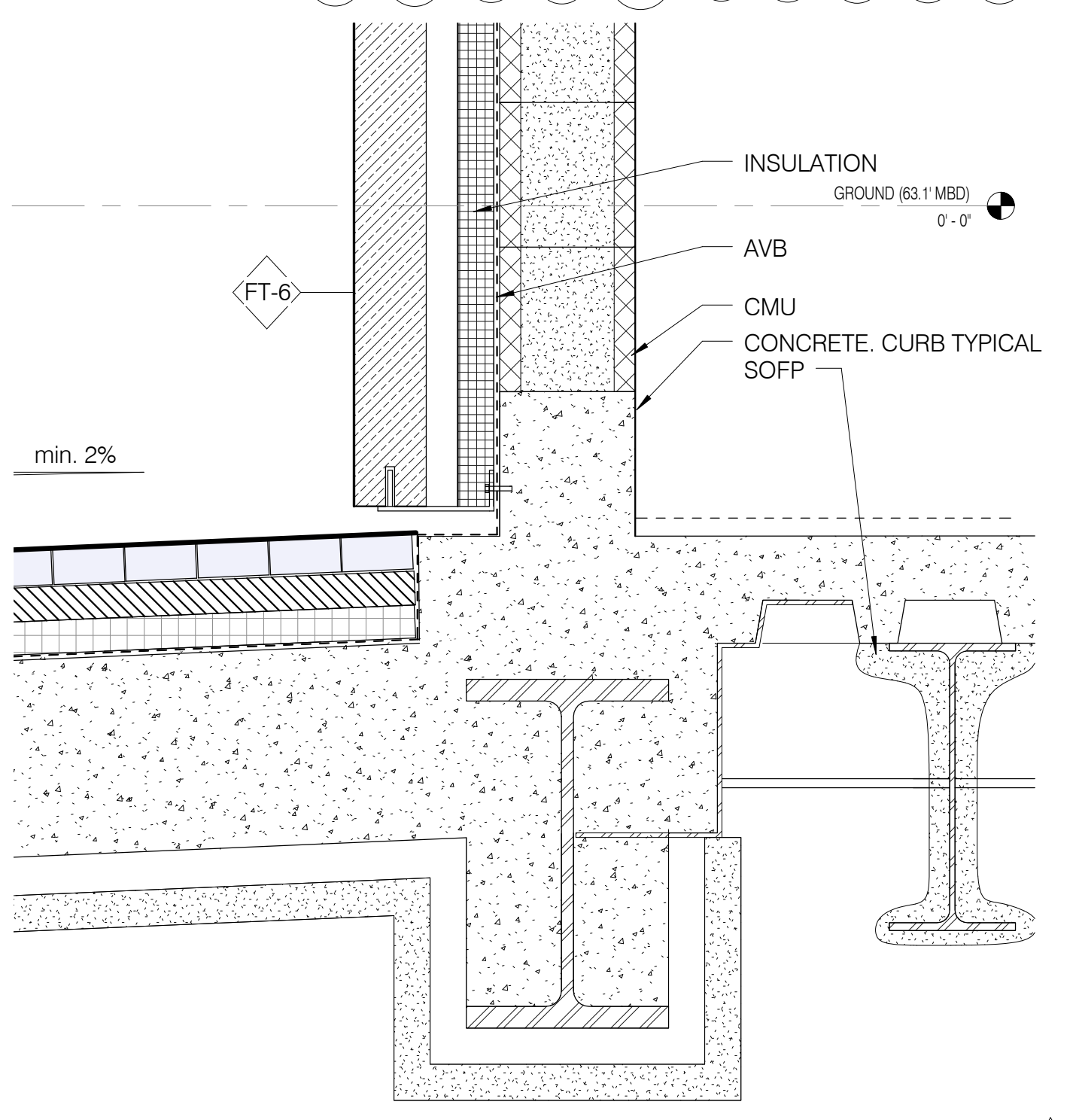
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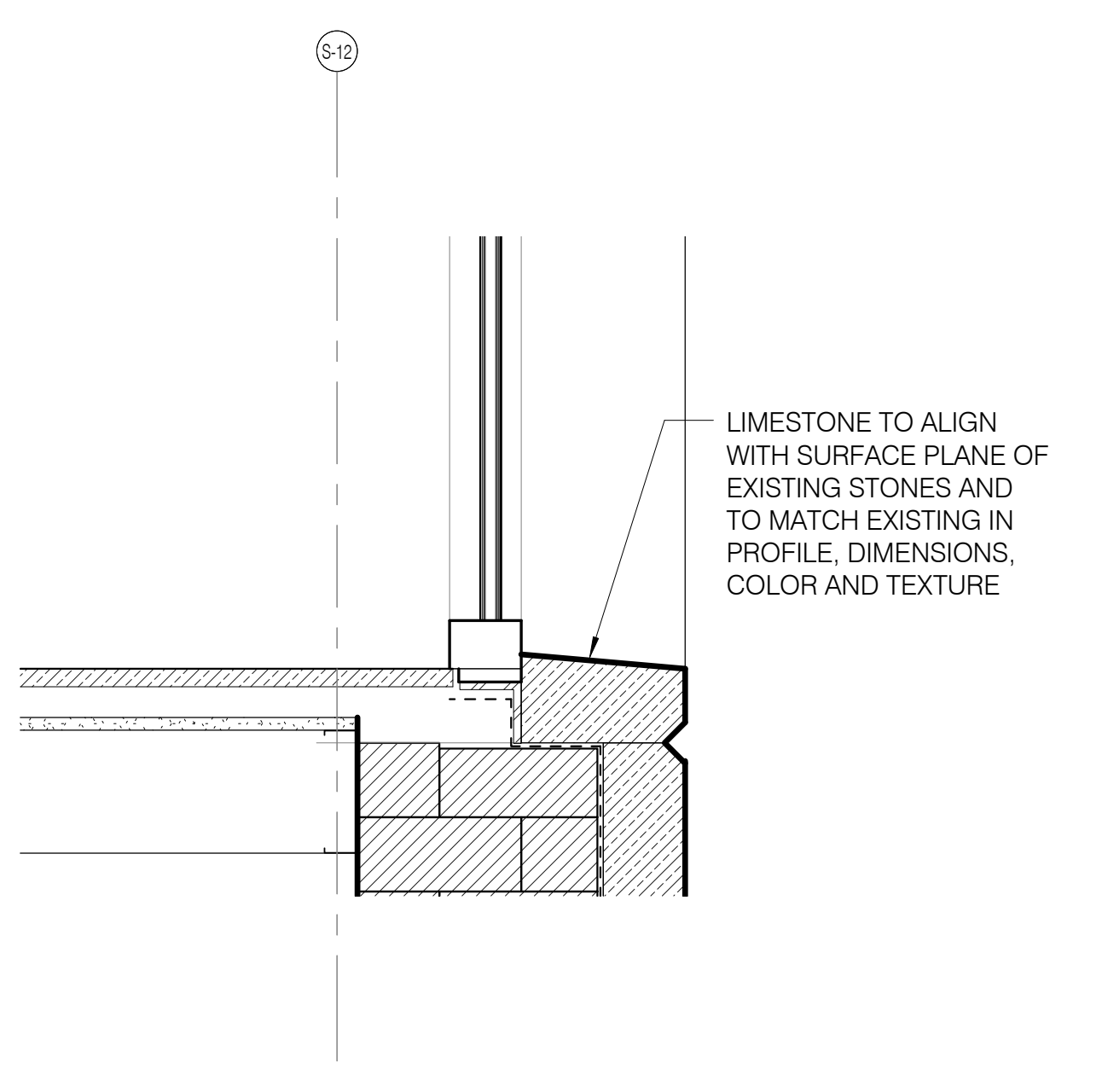
PORTE COCHERE OPENING SECTION 3/4" = 1'-0" 4 A-706.01 A-706.01



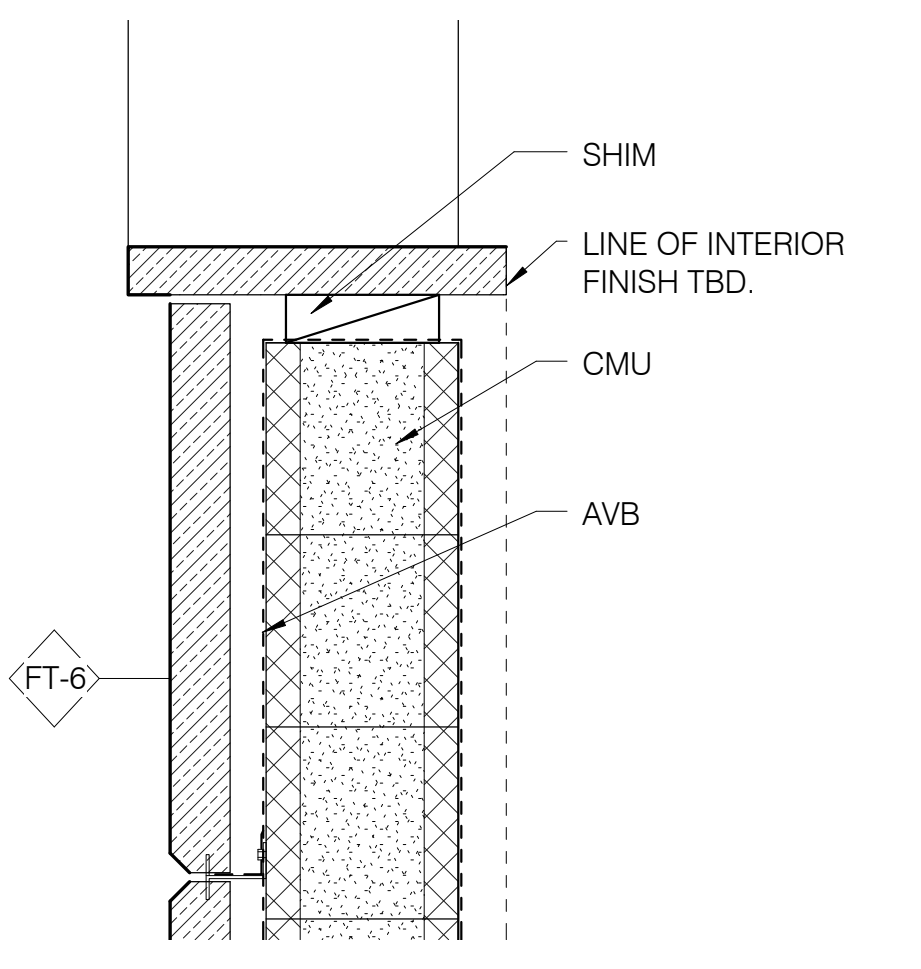
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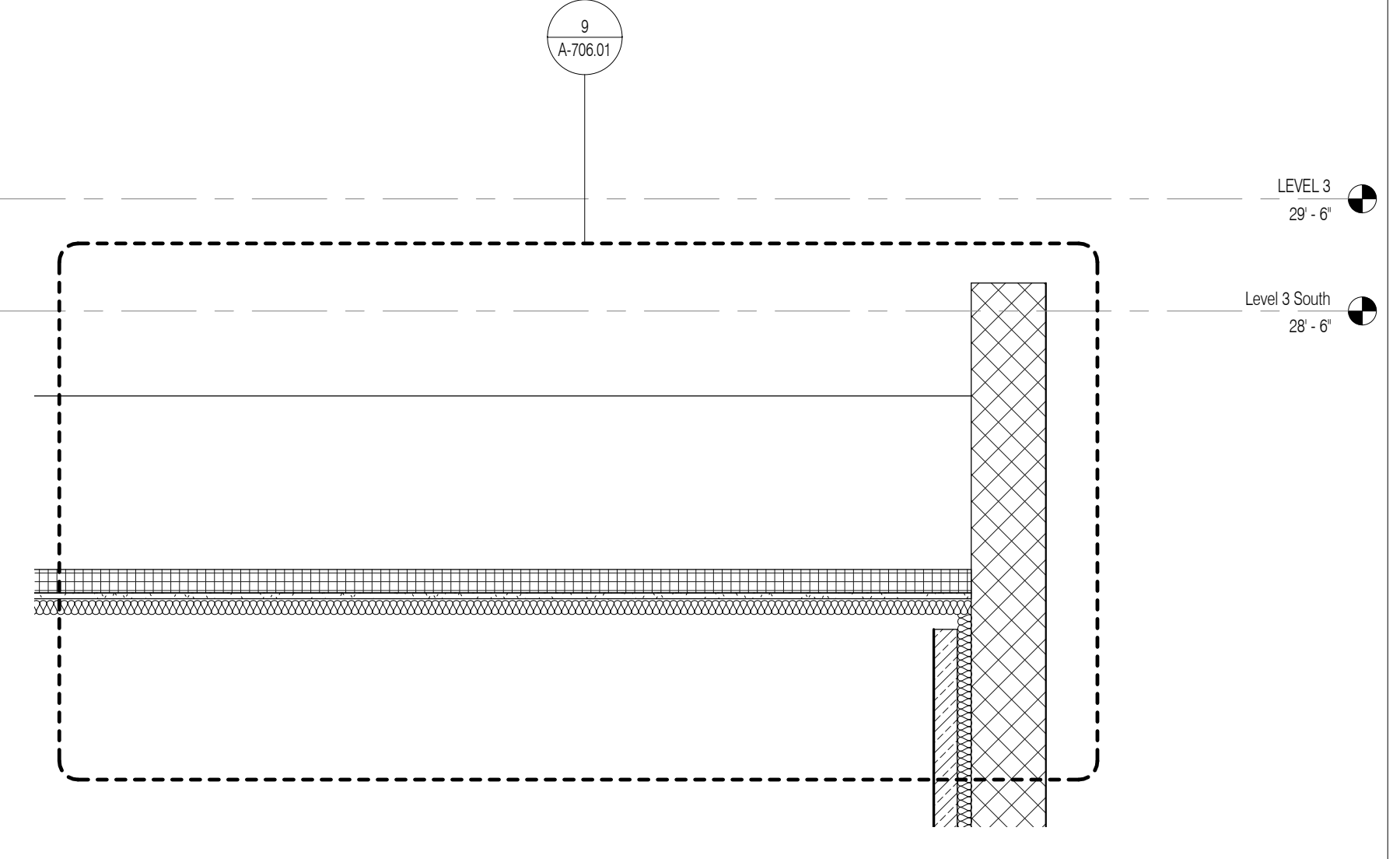
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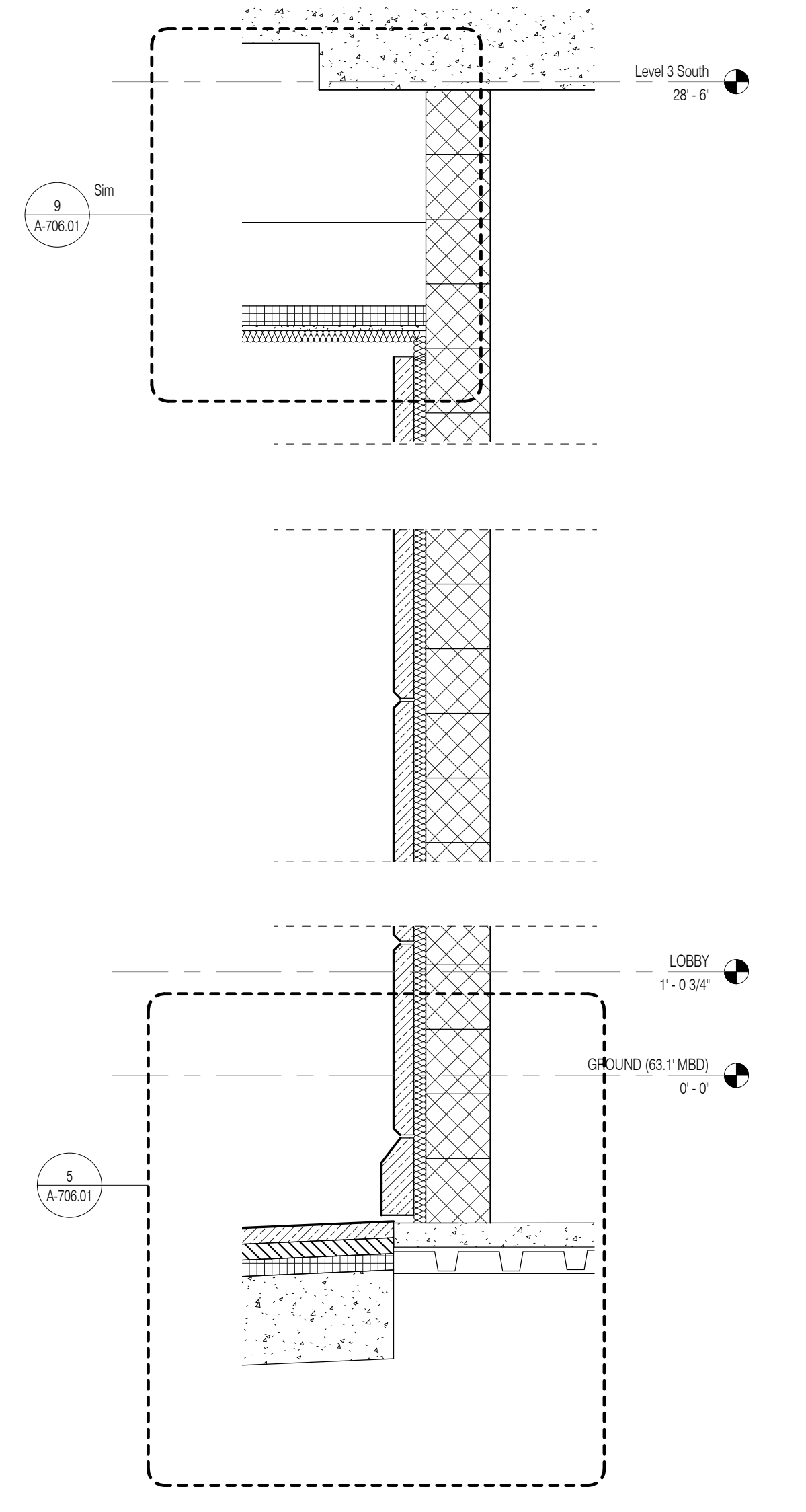
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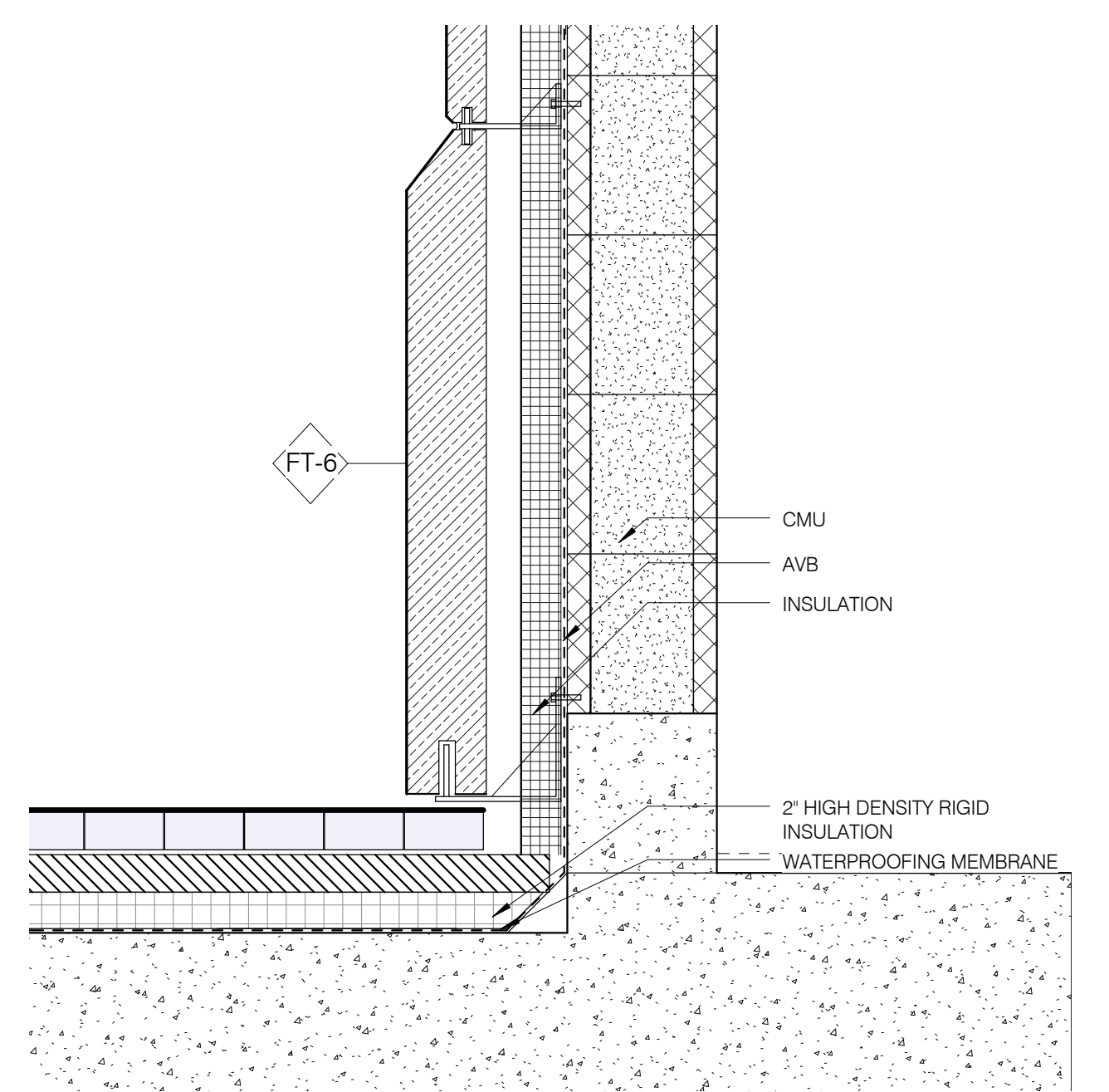
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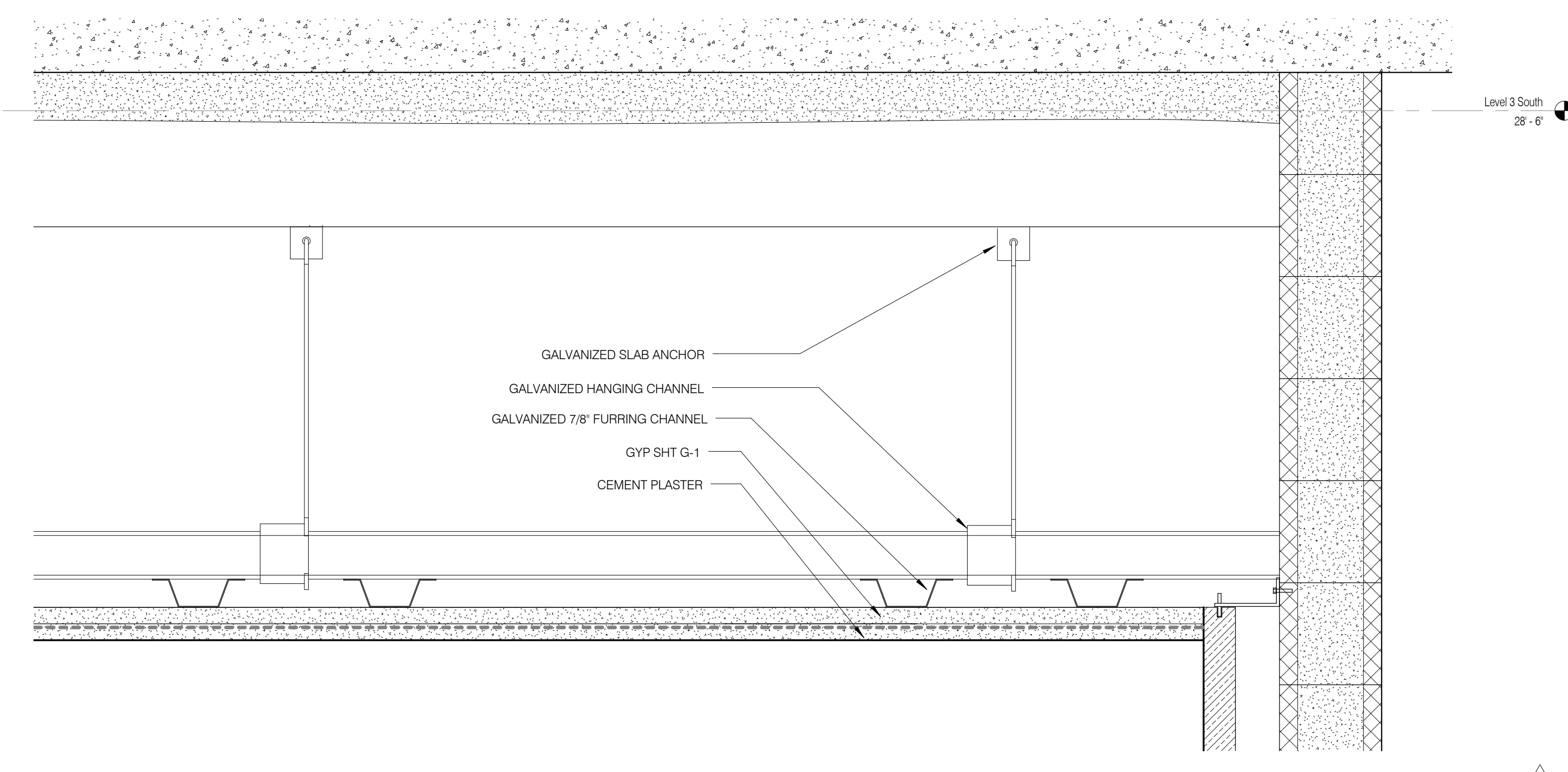
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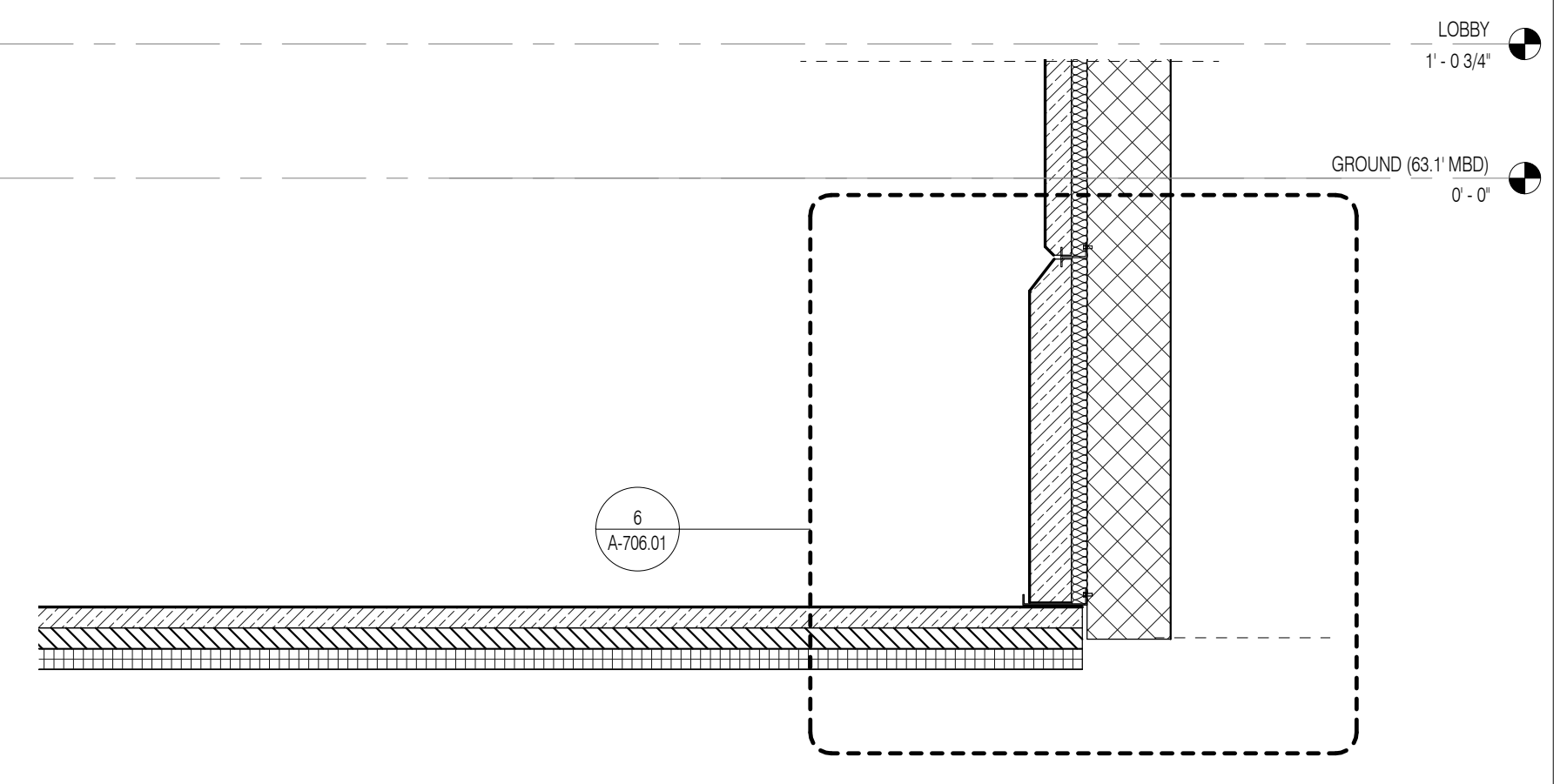
PORTE COCHERE SOUTH WALL SECTION 3/4" = 1'-0" 1 A-706.01



PORTE COCHERE EAST WALL BASE 1 1/2" = 1'-0" 6 A-706.01 A-706.01



PORTE COCHERE CEILING SECTION 1 1/2" = 1'-0" 9 A-706.01 A-706.01



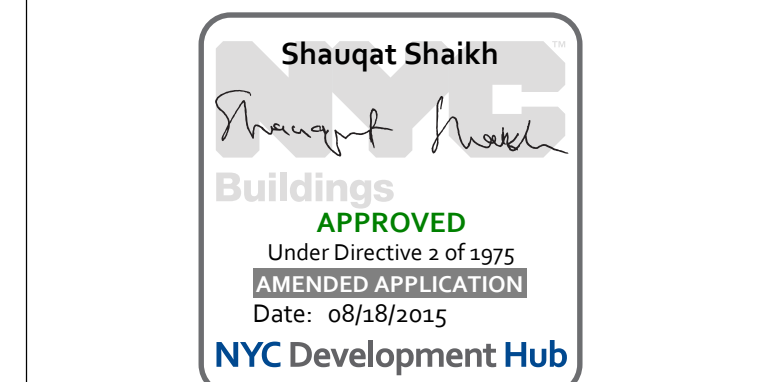
PORTE COCHERE EAST WALL SECTION 3/4" = 1'-0" 2 A-706.01

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MEP ENGINEER	JANOSI, BAIAM & BOLLER 40 WINE STREET, 2ND FLOOR NEW YORK, NY 10002 TEL: 212 693 6933	RESTORATION	JAN HIND FOKORNY ASSOCIATES 30 WEST 57TH STREET, 4TH FLOOR NEW YORK, NY 10019 TEL: 212 258 4482
CIVIL ENGINEER	AKRIF ENGINEERING, P.C. 80 FIFTH AVE SOUTH, 7TH FLOOR NEW YORK, NY 10003 TEL: 646 288 8928	GEOTECH	MITCHELL 105 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 288 4900
ACOUSTIC	LONGMAN LINDSEY 40 WEST 40TH STREET, 4TH FLOOR NEW YORK, NY 10018 TEL: 917 288 4900	LIGHTING	CONSERVATORIE INTERNATIONAL 105 WALKER STREET, 7TH FLOOR EAST NEW YORK, NY 10002 TEL: 212 252 4462



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